



Administrative Approval Action

Case File / Name: ASR-SR-25-2019
OAK PARK SHOPPING CENTER

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 4.32 acre site zoned CX-3- PL is located on the south side of Glenwood Avenue between the intersections of Oak Park Drive and Hollyridge Drive. The site is located at 6005 Glenwood Avenue.

REQUEST: This is a 8,727 square foot addition of a new building (fronting Oak Park Road) to an existing development. This new building is to be used for retail, office, and/or restaurant.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 28, 2022 by Rivers and Associates, Inc..

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The developer has cited exemptions to cross access and block perimeter that need to be noted on the cover sheet of the plans.

Urban Forestry

2. A tree impact permit will be issued for the removal of existing right of way trees and the protection of right of way trees to remain along Glenwood Ave. Tree protection fencing will be required to be shown on the SPR review for the right of way trees to remain.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Sidewalk Deed of Easement Required

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Perpetual Access Easement



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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The developer has proposed a 36' wide City of Raleigh Perpetual Easement (Access) along the street fronting the property , just south of Glenwood Avenue between Oak Park Road and Hollyridge Drive. The legal documents and process to be submitted through legal document review process.

Engineering

2. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A cross access agreement through the site to the property line with the adjacent sites with connected drives shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

Stormwater

5. All means pipes conveying flow from offsite through the parcel shall be shown on all plats for recording as private drainage easements, with widths as described in the Stormwater Design Manual.



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☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A public infrastructure surety for 21 street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
2. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Stormwater

3. If total land disturbance will be over 12,000 sq ft, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 14 street trees along Hollyridge Drive, 6 street trees along Glenwood Ave and 7 street trees along Oak Park Road.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right of way street trees by Urban Forestry Staff.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:



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3-Year Expiration Date: September 22, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 05/26/2022
Development Services Dir/Designee

Staff Coordinator: Michael Walters

ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR **CONTACTING THE PUBLIC WORKS DEPARTMENT AT 919.986-6469**, AND THE **PUBLIC UTILITIES DEPARTMENT AT 919.986-6460** AT **LEAST TWENTY FOUR HOURS** PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTATEMENT OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTANTLY FINE A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

NOTES

1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
2. THERE ARE RETAINING WALLS GREATER THAN 5' IN HEIGHT ON THE SITE. AS SUCH, A BUILDING PERMIT MUST BE SUBMITTED AND A SPECIAL INSPECTION PERFORMED. (CODE REFERENCE: 2012 NC BUILDING CODE 1704 SPECIAL INSPECTIONS)

RIGHT-OF-WAY OBSTRUCTION NOTES:

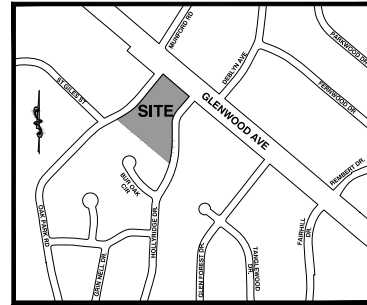
1. STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
2. A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR DETOUR PLAN SHALL BE SUBMITTED TO RIGHTWAYPERMITS@RALAIGH.GOV AT WWW.RALEIGH.GOV AND A SPECIAL INSPECTION PERFORMED.
3. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND INSURE ALL PERMITS ARE OBTAINED.
4. THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PLAN FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NC DOT ROAD WITHIN RALEIGH'S JURISDICTION.
5. ALL TRAFFIC CONTROL SIGNALS AND PRACTICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL AND THE LATEST EDITION OF THE NC DOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NC DOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NC DOT SUPPLEMENT TO THE MANUAL.
6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPARABLE WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL SIGNALS (MUTCD).
7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

NOTE(S)

1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
2. THERE ARE RETAINING WALLS GREATER THAN 5' IN HEIGHT ON THE SITE. AS SUCH, A BUILDING PERMIT MUST BE SUBMITTED AND A SPECIAL INSPECTION PERFORMED. (CODE REFERENCE: 2012 NC BUILDING CODE 1704 SPECIAL INSPECTIONS)

GENERAL NOTES

1. PROPOSED USES SHALL COMPLY WITH CITY OF RALEIGH ZONING REGULATIONS FOR C2-3.4 ZONING DISTRICT.
2. PAVED AREAS SHALL BE COMPACTED TO MINIMUM DRY DENSITY EXCEPT FOR THE TOP 6" OF SUBGRADE WHICH SHALL BE COMPACTED TO 100% MAXIMUM DRY DENSITY IN ACCORDANCE WITH AASHTO-T99.
3. AGGREGATE BASE COURSE SHALL BE TYPE A AND CONFORMING TO SECTION 250 OF THE NCDOT STANDARD SPECIFICATIONS.
4. BITUMINOUS CONCRETE SURFACE COURSE SHALL BE TYPE SP-15B CONFORMING TO SECTION 645 OF THE NCDOT STANDARD SPECIFICATIONS.
5. ALL MATERIALS AND INSTALLATION METHODS FOR WATER SYSTEM SHALL MEET THE MINIMUM REQUIREMENTS OF THE CITY OF RALEIGH SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER SYSTEMS EXISTING.
6. ALL MATERIALS AND INSTALLATION METHODS FOR SANITARY SEWER SYSTEM SHALL MEET THE MINIMUM REQUIREMENTS OF THE CITY OF RALEIGH SPECIFICATIONS.
7. CONTRACTORS SHALL VERIFY ALL EXISTING AND PROPOSED INVERTS ON SITE AND NOTIFY THE ENGINEER OF ANY CONFLICTS PRIOR TO ANY INSTALLATION OF UTILITIES.
8. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PERMITS WILL BE INSTALLED ALONG PROTECTED TREES OR GROVES OF TREES AND SHALL BE PLACED AS SHOWN ON THE PLANS AND AT INTERVALS NOT TO EXCEED 30'.
9. PROTECT EXISTING CONCRETE WALLS AND CONCRETE AREAS WITH EXPANSION AND CONTROL JOINTS IN PRE-APPROVED LOCATIONS. EXPANSION JOINTS SHALL BE 12" WIDE WITH EDGES TOoled TO 1/4" RAD. AND FILLED WITH HOT RUBBER ASPHALT SEALANT. PROVIDE EXPANSION JOINTS AS SHOWN ON THE PLANS AND AT ALL CORNERS, INTERSECTIONS, CHANGES IN SLOPE OR DIRECTION, AGAINST EXISTING OR NEW WALLS OR PAVERMENTS, AND AT INTERVALS NOT TO EXCEED 30'.
10. EACH PRIME CONTRACTOR PERFORMING EXCAVATIONS OR UNDERGROUND WORK SHALL BE RESPONSIBLE FOR THE LOCATION OF ANY EXISTING UTILITIES IN THE AREA OF THEIR WORK. NOTIFY THE UTILITY LOCAL SERVICE 1-800-855-8841 AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION IN ORDER THAT EXISTING UTILITIES IN THE AREA MAY BE FLAGGED AND STAKED. CONTRACTOR SHALL USE ALL CARE NECESSARY WHEN WORKING IN AREAS KNOWN OR SUSPECTED TO CONTAIN UNDERGROUND UTILITIES, INCLUDING HAND DIGGING.
11. AN APPROVED STORM WATER MANAGEMENT PLAN IS REQUIRED.
12. NCDOT DRIVEWAY PERMIT IS NOT REQUIRED.
13. AN APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS REQUIRED.
14. A LANDSCAPING PLAN INDICATING CITY OF RALEIGH REQUIREMENTS AND LOCATION OF PROPOSED LANDSCAPING WILL BE SUBMITTED TO THE CITY OF RALEIGH PLANNING DEPARTMENT FOR REVIEW AND APPROVAL.
15. THE NEW BUILDING WILL NOT HAVE A FIRE SPRINKLER SYSTEM.
16. CITY OF RALEIGH UTILITIES POINT OF SERVICE FOR WATER SHALL BE AT THE WATER METER LOCATED AT THE RIGHT-OF-WAY OR AT THE EDGE OF THE WATERLINE EASEMENT.
17. NEW BUILDING CONSTRUCTION MUST COMPLY WITH ALL APPLICABLE BUILDING CODES.
18. SITE SHALL MEET ALL ACCESSIBILITY REQUIREMENTS OF THE NC BUILDING CODE VOL. 1-C, DEPT. OF INSURANCE APPROVAL OF CONSTRUCTION.
19. NO WETLANDS EXIST WITHIN THE CONSTRUCTION LIMITS OF THIS PROPERTY.
20. ALL PAYMENT MARKINGS FOR PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET THE CITY OF RALEIGH AND NCDOT STANDARDS.
21. ALL SIGNS AND PAYMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET THE LATEST VERSION AND INTERPRETATION OF THE MUTCD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES STANDARDS.
22. TRAFFIC CONTROL, SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER AND IN ACCORDANCE WITH MUTCD STANDARDS.
23. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
24. ALL PAYMENT MARKINGS FOR PARKING SPACES AND CROSSINGS SHALL BE 6" SOLID WHITE STIPES.
25. A PERMIT IS REQUIRED FOR THE REMOVAL OF ANY TREE OR SHrub. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED. CONTACT THE CITY OF RALEIGH FOR MORE DETAILS.
26. GENERAL CONTRACTOR WILL COORDINATE WITH EXISTING UTILITY PROVIDERS FOR INSTALLATION OR MODIFICATION OF UTILITY SERVICES.
27. HANDICAP PARKING SPACES SHALL BE PROVIDED DURING CONSTRUCTION PHASES WHERE TEMPORARY HANDICAP SPACES ARE NECESSARY. INSTALL SIGNS AS REQUIRED.
28. USE HYDRAULIC FLOW TEST TO CONDUCT FLOW ANALYSIS AND ADD TO PLANS PER NCF 507.1 USING NCF APPENDIX B METHOD OR THE ISO METHOD AT TIME OF BUILDING PERMIT REVIEW.
29. WITHIN THE AREA DELINEATED AS A RIGHT-OF-WAY, THERE SHALL BE NO SIGN OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, POLYMER, BARRIER, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 34 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION ON THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
30. DUMPSTER ENCLOSURES SHALL BE COMPATIBLE WITH BUILDING MATERIALS AND COLORS.



SOLID WASTE INSPECTION STATEMENT

1. SOLID WASTE SERVICES TO BE PROVIDED BY PRIVATE VENDOR.
2. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
3. THIS PROJECT HAS DUMPSTERS FOR SOLID WASTE AND CARDBOARD RECYCLING.

Sheet List Table	
Sheet #	Sheet Title
C1.01	COVER SHEET
C1.02	APPROVAL DOCUMENTS
C2.01	EXISTING CONDITIONS PLAN
C2.02	SITE DEMOLITION PLAN
C3.01	SITE PLAN
C3.02	GRADING, DRAINAGE & UTILITIES PLAN
C3.03	IMPERVIOUS SURFACE - EXISTING
C3.04	IMPERVIOUS SURFACE - PROPOSED
C3.07	TRANSPORTATION PLAN
C3.08	TRANSPORTATION PLAN - DETAIL
C3.11	DETAILED LAYOUT - NEW BUILDING
C3.12	DETAILED GRADING - NEW BUILDING
C3.31	DETAILED PLANS - SERVICE ROAD
C3.41	DETAILED PLANS - OAK PARK RD.
C3.51	DETAILED PLANS - HOLLYRIDGE DR.-NORTH
C3.52	DETAILED PLANS - HOLLYRIDGE DR.-SOUTH
C4.01	SITE DETAILS
C4.02	SITE DETAILS
C4.03	SITE DETAILS
C4.04	STORMWATER DETAILS
C4.05	UTILITIES DETAILS
L1.01	TREE CONSERVATION PLAN
L1.02	LANDSCAPE PLAN
L1.03	LANDSCAPE AREAS PLAN
L2.01	LANDSCAPE DETAILS
A1.01	FIRST FLOOR PLAN
A1.02	SECOND FLOOR PLAN
A1.03	ROOF PLAN
A2.01	BUILDING ELEVATIONS
A2.02	BUILDING ELEVATIONS
A2.03	TRANSPARENCY CALCULATIONS
DE1.01	SITE LIGHTING PLAN



Preliminary
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

OAK PARK SHOPPING CENTER

RETAIL/RESTAURANT/OFFICE BUILDING

Raleigh, Wake County, North Carolina

ADMINISTRATIVE SITE REVIEW

ISSUE / REVISIONS:	
1	1ST ASR SUBMITTAL 04/02/19
2	2ND ASR SUBMITTAL 08/16/19
3	3RD ASR SUBMITTAL 11/04/19
4	COR CORRD. 02/24/20
5	3RD ASR SUBMITTAL 09/02/20
6	4TH ASR SUBMITTAL 03/16/21
7	NCDOT ST TREE REVIEW 09/20/21
8	5TH ASR SUBMITTAL 10/07/21
9	6TH ASR SUBMITTAL 04/26/22

DESIGN TEAM

OWNER/DEVELOPER:
OAK PARK, INC.
6001 GLENWOOD AVE.
RALEIGH, NC 27612-2601
919-575-0181
HTEH@OAKPARKSHOPPING.COM

ARCHITECT:
D. ALLEN POOVEY, R.A.
CONSULTING ARCHITECT
1421 SCALES ST.
RALEIGH, NC 27608
919-215-8885
DWAYNEPOOVEY@ATT.NET

LANDSCAPE ARCHITECT:
RIVERS AND ASSOCIATES, INC.
742 MCNIGHT DR., SUITE 200
KNIGHTDALE, NC 27545
919-205-5463
SUN@RIVERSANDASSOCIATES.COM

CIVIL ENGINEER:
RIVERS AND ASSOCIATES, INC.
742 MCNIGHT DR., SUITE 200
KNIGHTDALE, NC 27545
919-205-5463
PMEDER@RIVERSANDASSOCIATES.COM

STRUCTURAL ENGINEER:
QUEEN ENGINEERING AND DESIGN, PA
5530 MUNFORD RD #115,
RALEIGH, NC 27612
919-420-0480
BRUCE@QEDPA.NET

SURVEYOR - EXISTING CONDITIONS:
JOHN V. PHELPS, JR. SURVEYORS
5110 BUR OAK CIR.
RALEIGH, NC 27612-1101
919-781-3659
JRH1@BELLSOUTH.NET

MUNICIPAL CONTACTS

- **PLANNING AND ZONING CITY OF RALEIGH**
PLANNING DEPARTMENT
MICHAEL WALTERS
4009 DISTRICT DRIVE
RALEIGH, NC 27601
919-995-2636
- **STREETS AND HIGHWAYS NCDOT**
DIVISION 5, DISTRICT 1
M. SCOTT WHEELER, PE
4009 DISTRICT DRIVE
RALEIGH, NC 27601
919-733-3213
919-735-5778 FAX
- **BUILDING INSPECTIONS CITY OF RALEIGH**
INSPECTIONS DEPARTMENT
ONE EXCHANGE PLAZA, SUITE 504
RALEIGH, NC 27602
919-516-2723
- **EROSION CONTROL CITY OF RALEIGH**
STORMWATER UTILITY
222 WEST HARRIS ST., SUITE 301
RALEIGH, NC
919-516-2168
- **TRANSPORTATION CITY OF RALEIGH**
PUBLIC WORKS DEPT.
ONE EXCHANGE PLAZA, SUITE 504
RALEIGH, NC
919-995-2409

Administrative Site Review Application (for UDO Districts only)

Development Services Center (for UDO Districts only) (Contact: Planning Dept. 919.986-6469)

Use the following information to complete the application: Building use, address, lot area, etc.

Building Type: ☐ Industrial ☐ Office ☐ Retail ☐ Restaurant ☐ Other

Address: Lot Area: Zoning:

Project description (provide a brief description of the project, including the building use, address, lot area, etc.):

Project Name: Project Address: Project Zoning:

Project Description:

Project Location:

Project Contact:

Project Phone:

Project Email:

Project Website:

Project Map:

Project Photos:

Project Documents:

Project Other:

Project Status:

Project Date:

Project Review:

Project Approval:

Project Denial:

Project Appeal:

Project Other:

Information to be submitted by the applicant to the Development Services Center (for UDO Districts only)

Project Name: Project Address: Project Zoning:

Project Description:

Project Location:

Project Contact:

Project Phone:

Project Email:

Project Website:

Project Map:

Project Photos:

Project Documents:

Project Other:

Project Status:

Project Date:

Project Review:

Project Approval:

Project Denial:

Project Appeal:

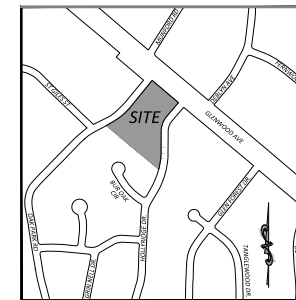
Project Other:



OAK PARK, INC.
Oak Park Shopping Center
6005 GLENWOOD AVE. - CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

COVER SHEET

DATE: APRIL 2, 2019
DESIGNED BY: PRM
DRAWN BY: PM, SC, MS
CHECKED BY: JSJ
PROJECT NO.: 2017140
DRAWING NO.: W-3813
SCALE: AS NOTED
SHEET NO.: C1.01



VICINITY MAP

$$I^* = 500'$$

CSM

[illegible]

EX. SITE/SURVEY DATA

Site / LocationOak Park Shopping Center
.....6005 Glenwood Ave.
.....Raleigh, NC 27612

Owner / Developer	Oak Park, Inc.
.....	6001 Glenwood Ave.
.....	Raleigh, NC 27612-2601
Total area in tract	4.655 Acres
.....	202,749 SF
Existing Building Heated Area	43,510 SF
Wake County PIN	00786-85-4932
Old Parcel Number	377-00000-0117
Real Estate ID	0051753
Zoning Classification	CX-3-PL
Drainage Basin	Crabtree
Township	House Creek

NOTES

- Survey data received in electronic format from John Y. Phelps, Jr. Professional Surveyor, 5110 Bur Oak Circle, Raleigh, NC 27612, in November 2018.
- Existing storm pipe sizes from iMAPS.
- Existing water and sewer main sizes from City of Raleigh Utility Department.
- Existing street centerline are from survey, and
- Existing handicap curb ramp locations from field measurements & field observations.
- Survey references include:
 Book of Maps 1964, Page 228
 Deed Book 1633, Page 250
- Off site access drive at 5236 Oak Park Road from GIS.

CURVE DATA					
CURVE	ARC	RADIUS	CHORD		
C-1	L=131.32	189.20	S 20°19'42" E	W	128.70
C-2	L=138.66°	606.60°	S 07°00'41" W		136.36°
C-3	L=172.55°	470.74°	N 50°42'16" E		171.57°

40' 0 20'

1 inch = 40'

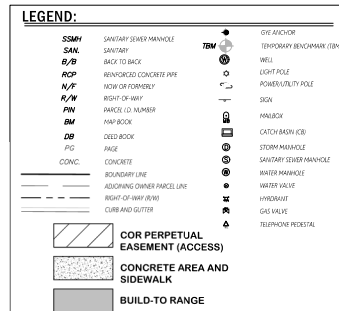
Rivers		ISSUE / REVISIONS:
1	2ND ASR SUBMITTAL	08.16.19
2	3RD ASR SUBMITTAL	11.04.19
3	BOA - W/ PRELIM. REV.	02.24.20
4	CON. COORD.	02.24.20
5	3RD ASR SUBMITTAL	09.02.20
6	4TH ASR SUBMITTAL	03.11.21

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Oak Park, Inc.
Oak Park Shopping Center
8005 GLENWOOD AVE. - CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

DATE:	APRIL 2, 2019
DESIGNED BY:	PRM
DRAWN BY:	PM, SC, MS
CHECKED BY:	JSJ
PROJECT No.	2017140
DRAWING No.	W-3813
SCALE:	AS NOTED
SHEET No.	

C2.01



NOTE: SEE SHEET C3.07, TRANSPORTATION PLAN, FOR STREET LIGHTING, TRAIL TO ZONE AND BLOCK PERIMETER INFORMATION.

PARKING REQUIREMENTS PER UDO:

RETAIL SALES PARKING:
Vehicle _____ 1 space per 300 sf of gross floor area plus
_____ 1 space per 600 sf of outdoor display area.
Bicycle _____ 1 space per 1,000 sf of gross
floor area (Min. 4 spaces)
Long Term: None

RESTAURANT - BAR PARKING:
Vehicle _____ 1 space per 150 sf of gross floor area or
_____ 1 space per 5 seats, whichever is greater.
Bicycle _____ Short Term: 1 space per 50,000 sf of gross
floor area (Min. 4 spaces)
_____ Long Term: 1 space per 25,000 sf of gross
floor area (Min. 4 spaces)

OFFICE PARKING:
Vehicle _____ 1 space per 400 sf of gross floor area
Bicycle _____ Short Term: 1 space per 10,000 sf of gross
floor area (Min. 1 space)
_____ Long Term: 1 space per 5,000 sf of gross
floor area (Min. 4 spaces)

VEHICLE PARKING REQUIRED:			
EX. RETAIL	25,834 SF / 300		86 sp
PROPOSED RETAIL	14,475 SF / 300		15 sp
EX. RESTAURANT (3)	13,476 SF / 150 SF		90 sp
	45,055 SF / 5 Seats		
PROPOSED RESTAURANT	2,400 SF / 150 SF		16 sp
	80 Seats / 5 Seats		
EX. OFFICE	4,820 SF / 400		11 sp
PROPOSED OFFICE	1,252 SF / 400		5 sp
<u>VEHICLE PARKING REQUIRED - SUBTOTAL</u>			
			223 sp
SHARED PARKING REDUCTION PER UDO			
SEC. 7.1.5-A (SEE PARKING STUDY)			-42 sp
PROXIMITY TO TRANSIT REDUCTION PER UDO			
SEC. 7.1.6-A (SEE BUS SCHEDULE ANALYSIS)			-18 sp
<u>VEHICLE PARKING REQUIRED - TOTAL</u>			
			163 sp
HANDICAP REQUIRED [TOTAL]			
HANDICAP VAN REQUIRED			7 sp
<u>(Includes 5 Van Accessible Handicap Spaces)</u>			
<u>BICYCLE PARKING REQUIRED</u>			
		<u>Short Term</u>	<u>Long Term</u>
RETAIL	30,309 SF	4	0
RESTAURANT	14,475 SF	4	0
OFFICE	6,052 SF	3	3
<u>BICYCLE PARKING REQUIRED</u>		<u>12</u>	<u>3</u>
<u>BICYCLE PARKING PROVIDED</u>		<u>12</u>	<u>8</u>

6	
5	
4	
3	
2	
1	
0	

NC GRID (NAD 83)

OAK PARK, INC.

Oak Park Shopping Center

8005 GLENWOOD AV. - CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

SITE PLAN

Preliminary
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

DATE	DRAWN BY	CHECKED BY	PROJECT NO.	SHEET NO.
APRIL 2, 2019	PM, SC, MS	JSJ	2017140	1
			AS NOTED	

DATE: APRIL 2, 2019

DRAWN BY: PM, SC, MS

CHECKED BY: JSJ

PROJECT NO.: 2017140

SHEET NO.: 1

DATE: APRIL 2, 2019

DRAWN BY: PM, SC, MS

CHECKED BY: JSJ

PROJECT NO.: 2017140

SHEET NO.: 1

GLENWOOD AVE. - US HWY 70
+/-180' PUBLIC R/W (PRIMARY ST. FRONTAGE,
45MPH) EAST BOUND LANES (3)

3) EX. BOC-EX. BOC

GRADING & DRAINAGE NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
2. ALL REQUIRED PERMITS AND APPROVALS FROM AGENCIES CONCERNING THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
3. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS TO THE OWNER AND ARCHITECT.
4. ENSURE PAVEMENT GRADES ARE ESTABLISHED IN A MANNER THAT PREVENTS ANY POOLING OR STANDING WATER.
5. ADDITIONAL STRUCTURAL FILL MATERIAL AND/OR TOPSOIL MAY BE REQUIRED TO COMPLETE THE WORK.
6. CONTRACTOR SHALL ACHIEVE THE REQUIRED GRADES SHOWN ON THE DRAWINGS AND THE COMPACTED REQUIREMENTS ESTABLISHED IN THE SPECIFICATIONS AND DETAILS.
7. INSTALL ALL DRAIN BASIN AND DRAIN/INLET GRATES SQUARE WITH ADJACENT CONSTRUCTED SURFACES SHOWN ON THE PLANS.
8. ENSURE THAT PROPOSED EXTERIOR GRADE AT DOORS BE FLUSH WITH OR GREATER THAN FINISH INTERIOR FLOOR ELEVATION IN ACCORDANCE WITH ADA STANDARDS.
9. FINISH TOP OF WALL STRUCTURE (CAP OR FINISHED GRADE AT BOTTOM OF WALL).
10. BSC BACKSLOPE SPOT ELEVATIONS AT HANDICAP RAMPS INDICATE THE PROPOSED ELEVATION WITHOUT THE RAMPS INSTALLED AT THAT LOCATION.
11. RETAINING WALL DESIGN DETAILS, SEE STRUCTURAL PLANS FOR DESIGN AND DETAILS.
12. CONTRACTOR SHALL INSTALL 42" Ht. FENCE AT THE TOP OF ALL RETAINING WALLS OF 30" OR GREATER HEIGHT.

ACCESSIBILITY NOTES

1. PROVIDE ACCESSIBLE CURB RAMPS WHEREVER AN ACCESSIBLE ROUTE CROSSES A CURB.
2. ENSURE THAT PROPOSED EXTERIOR GRADE AT DOORS BE FLUSH WITH OR MAXIMUM 2" BELOW THE INTERIOR FINISHED FLOOR ELEVATION.
3. PROVIDE A MINIMUM OF 2% CROSS SLOPE AND A MAXIMUM OF 5% IN THE DIRECTION OF TRAVEL ON ALL ACCESSIBLE ROUTES, EXCEPT ON RAMPS.
4. GROUND SURFACES ALONG ACCESSIBLE ROUTES TO BE STABLE, FIRM, AND SLIP RESISTANT WITH MINIMUM COEFFICIENT OF FRICTION OF 0.06 AND UNIFORM SURFACE WITH MAXIMUM VARIATION OF 1/8" MAXIMUM WITH A REVEALED SLOPE NO GREATER THAN 1:5.
5. ACCESSIBLE ROUTES EXCEEDING 6% IN GRADE IN THE DIRECTION OF TRAVEL ARE NOTED ON THE PLANS AS "RAMPS". PROVIDE HANDRAILS AND ANCHORS AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH ADA, IBC, A117.1-2011 AND NC BUILDING CODE STANDARDS.
6. MANUEVERING CLEARANCES ARE NOTED AT DOORS & GATES SHALL NOT EXCEED 10% SLOPE IN ANY DIRECTION. ARE REQUIRED BY ADA, IBC, A117.1-2011 & NC BUILDING CODE. MANUEVERING CLEARANCE AREAS ARE SHOWN ON PLANS.

LEGEND

- AREAS TO BE REMOVED AND REPLACE
- PANTING LANDSCAPE AREA
- CONCRETE AREA AND SIDEWALK
- NEW CURB AND GUTTER

UTILITY NOTES

1. UTILITY CONSTRUCTION APPROVAL IS REQUIRED.
2. RIGHT-OF-WAY AND/OR EASEMENT DEDICATION PLAT IS REQUIRED.
3. WATER METERS SHALL BE SET INSIDE CITY OF RALEIGH WATERLINE EASEMENTS WITH BACKFLOW ASSEMBLIES ON PRIVATE PROPERTY.
4. WATERLINE EASEMENT BOUNDARY TO PROVIDE 5' AROUND ALL METERS AND EACH SIDE OF WATERLINE BETWEEN METERS AND R/W LINE.
5. WATERLINE ASSESSMENT FEES ARE DUE PRIOR TO PLAT RECORDATION.
6. FLOW ANALYSIS MUST BE PROVIDED PRIOR TO ISSUANCE OF BUILDING PERMITS. (2012 NCEPC 507.3)

ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-2400, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

NOTES

1. POST DEVELOPMENT IMPERVIOUS SURFACE AREA IS LESS THAN PRE DEVELOPMENT IMPERVIOUS SURFACE AREA. STORMWATER MANAGEMENT PLAN IS NOT REQUIRED.
2. SEE SHEETS C3.12, C3.31, C3.41, C3.51 AND C3.52 FOR DETAILED GRADING, AND UTILITY PLANS.
3. SEE SHEETS C3.12, C3.31, C3.41, C3.51 AND C3.52 FOR SLOPES ON SIDEWALKS AND RAMPS ALONG ACCESSIBLE ROUTES BETWEEN PUBLIC SIDEWALKS AND BUILDING MAIN ENTRANCES.

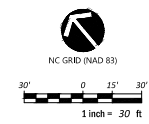
NOTE
1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

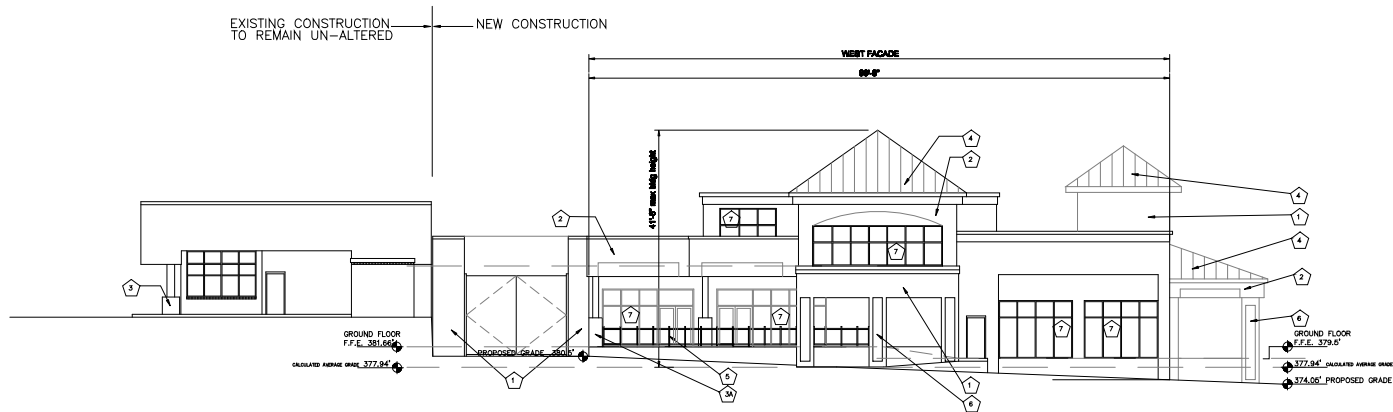
ISSUE	REVISIONS:	DATE
1	100% W/ PRELIM REV.	10.14.19
2	CORR. COORD.	09.24.20
3	3RD ASR SUBMITTAL	09.24.20
4	4TH ASR SUBMITTAL	04.14.21
5	5TH ASR SUBMITTAL	04.14.21
6	6TH ASR SUBMITTAL	04.14.21
7	7TH ASR SUBMITTAL	04.14.21
8	8TH ASR SUBMITTAL	04.14.21

Preliminary
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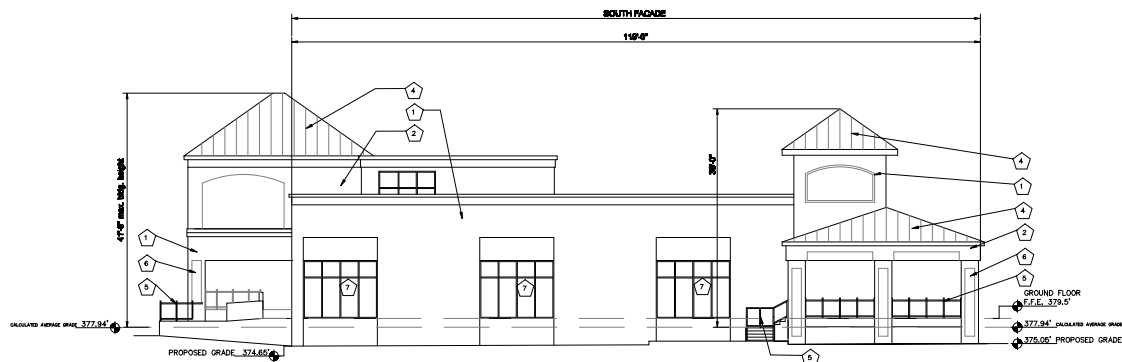
Oak Park Shopping Center
8005 GLENWOOD AV. - CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA
GRADING, DRAINAGE & UTILITIES PLAN

DATE: APRIL 2, 2019
DESIGNED BY: PRM
DRAWN BY: PM, SC, MS
CHECKED BY: JSJ
PROJECT NO.: 2017140
DRAWING NO.: W-3813
SCALE: AS NOTED
SHEET NO.: C3.02





1 WEST ELEVATION
OAK PARK ROAD ELEVATION



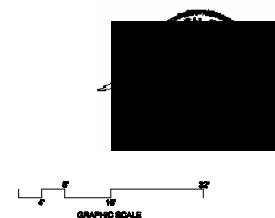
2 SOUTH ELEVATION

NOTES KEYED BY SYMBOL: (1-10)

- (1) FACE BRICK TO MATCH EXISTING MAIN BLDG. (RED/BROWN BLEND)
- (2) EIFS PANEL TO MATCH EXISTING MAIN BLDG. (WHITE AND GRAY)
- (3) EXISTING STRUCTURAL COLUMN AT "THRESH" - CONTEXT FOR NEW CONSTRUCTION TO PROVIDE DESIGN CONTINUITY
- (4) STRUCTURAL COLUMN - DETAILED TO MATCH CONTEXT OF EXISTING "THRESH" BUILDING TO PROVIDE DESIGN CONTINUITY
- (5) BLACK STANDING SEAM METAL ROOF TO MATCH EXISTING MAIN BLDG.
- (6) DECORATIVE RAILING - STYLE TO MATCH EXISTING ON SITE - COLOR: BLACK
- (7) DECORATIVE GATE - STYLE TO MATCH EXISTING ON SITE - COLOR: BLACK
- (8) BRICK PIER - DETAIL TO MATCH EXISTING PATTERN OF EXISTING MAIN BLDG.
- (9) INSULATED GLAZING IN CLEAR ANODIZED ALUM. STOREFRONT TO MATCH EXISTING
- (10) SIGNAGE TO MATCH EXISTING SHOPPING CENTER MOTIF
- (11) RECESSED BRICK PANEL WALL FEATURE
- (12) MASONRY SCREEN WALL

AVERAGE GRADE CALCULATIONS PER ELEVATION				
A BUILDING FACADE ELEVATION DRAWING	B PROPOSED GRADE LOW POINT	C PROPOSED GRADE HIGH POINT	D THREE PROPOSED AVERAGE GRADE B+C/2	
NORTH FACADE 2/A2.02	380.50'	381.55'	D ₁	381.025'
SOUTH FACADE 2/A2.01	374.85'	375.06'	D ₂	374.95'
EAST FACADE 1/A2.02	375.06'	381.55'	D ₃	378.30'
WEST FACADE 1/A2.01	374.85'	380.50'	D ₄	377.575'

BUILDING AVERAGE GRADE CALCULATION	
D ₁ + D ₂ + D ₃ + D ₄ / 4 = AVERAGE GRADE FOR BUILDING	
381.025 + 374.95 + 378.30 + 377.575 = 1511.75 / 4 = 377.9375' (377.94')	

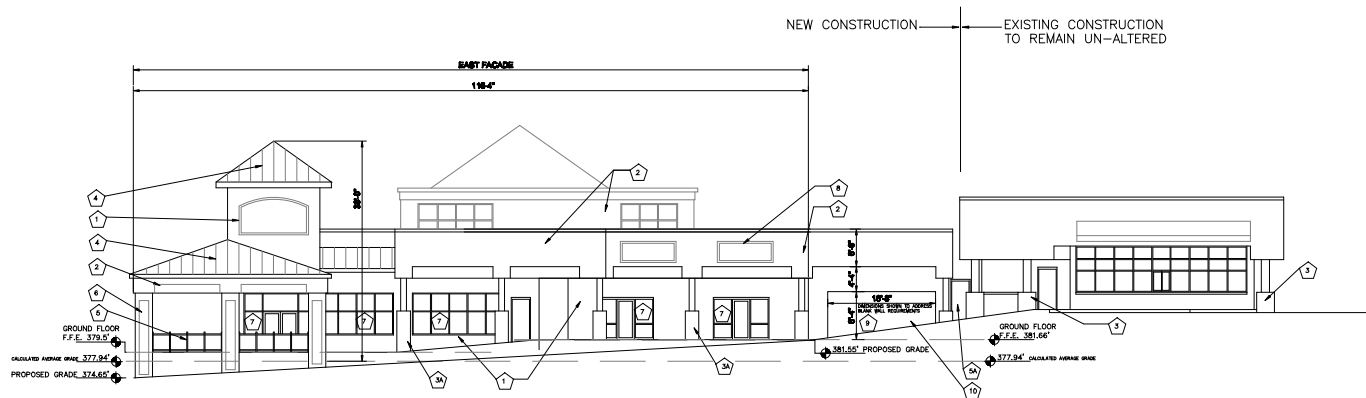


D ALLEN POOREY ARCHITECT
1424 SCHLESER STREET
RALEIGH, NC 27608
1 919 215 8885
dpoorey@att.net

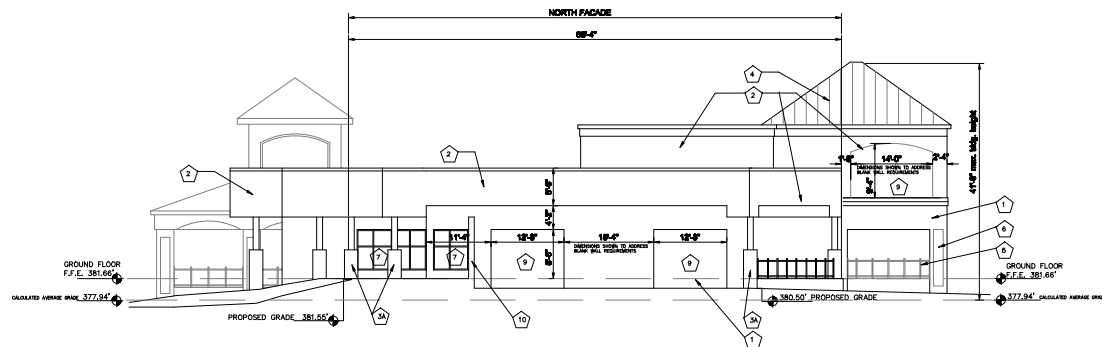
**NEW BUILDING
FOR
OAK PARK SHOPPING CENTER**

PROJECT NUMBER

A2.01



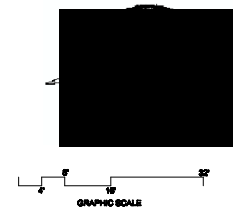
1 EAST ELEVATION
PARKING LOT ELEVATION



2 NORTH ELEVATION

NOTES KEYED BY SYMBOL: (1-19)

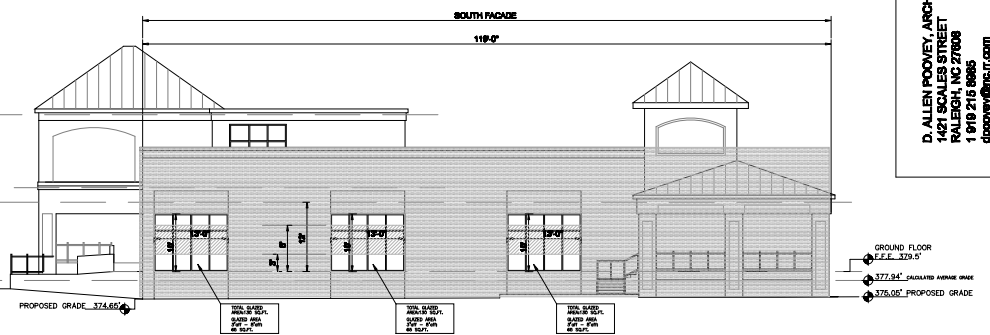
- (1) FACE BRICK TO MATCH EXISTING MAIN BLDG. (RED/BROWN BLEND)
- (2) EIFS PANEL TO MATCH EXISTING MAIN BLDG. (WHITE AND GRAY)
- (3) EXISTING STRUCTURAL COLUMN AT "TRESH" - CONTEXT FOR NEW CONSTRUCTION TO PROVIDE DESIGN CONTINUITY
- (4) STRUCTURAL COLUMN - DETAILED TO MATCH CONTEXT OF EXISTING "TRESH" BUILDING TO PROVIDE DESIGN CONTINUITY
- (5) BLACK STANDING SEAM METAL ROOF TO MATCH EXISTING MAIN BLDG.
- (6) DECORATIVE RAILING - STYLE TO MATCH EXISTING ON SITE - COLOR: BLACK
- (7) DECORATIVE GATE - STYLE TO MATCH EXISTING MAIN BLDG.
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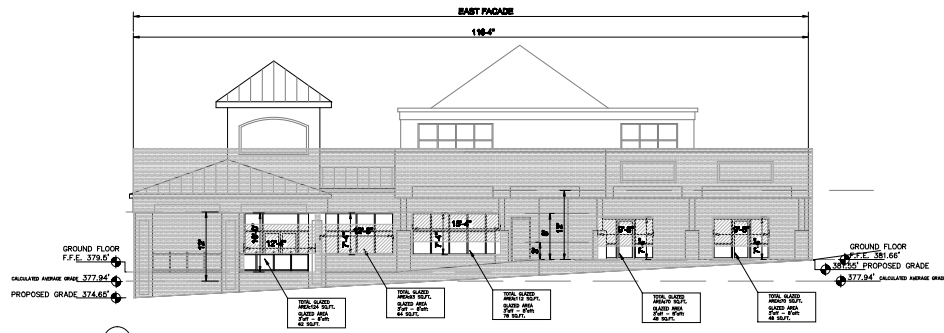
D. ALLEN POOREY ARCHITECT 1424 SOUTH STREET RALEIGH, NC 27608 1 919 215 8885 dpoorey@att.net			
DESIGNED BY	DATE: 2010.03.14	DATE: 2010.03.14	DATE: 2010.03.14
DRAWN BY: B	DATE: 2010.03.14	DATE: 2010.03.14	DATE: 2010.03.14
CHECKED BY:	DATE: 2010.03.14	DATE: 2010.03.14	DATE: 2010.03.14
APPROVED BY:	DATE: 2010.03.14	DATE: 2010.03.14	DATE: 2010.03.14
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE PREPARED BY THE ARCHITECT. THEY SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.			
NEW BUILDING FOR OAK PARK SHOPPING CENTER			
PROJECT NUMBER	A2.02		



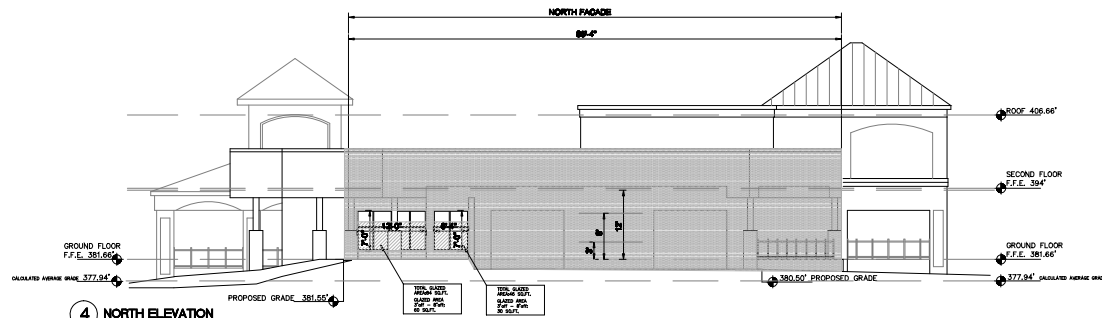
1 WEST ELEVATION
OAK PARK ROAD ELEVATION



2 SOUTH ELEVATION



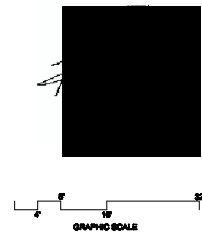
3 EAST ELEVATION
PARKING LOT ELEVATION



4 NORTH ELEVATION

TRANSPARENCY CALCULATIONS (PER ELEVATION)					
A BUILDING FACADE ELEVATION DRAWING	B APPROXIMATE AREA OF FACADE	C APPROXIMATE AREA OF GLAZING	D PERCENT FACADE GLAZED C/B = D	E APPROXIMATE AREA OF GLAZING 3' off- 8' off	F PERCENT OF GLAZING 3' off- 8' off E/D = F
GROUND LEVEL WEST FACADE 1/A2.03	1628 SQ.FT.	610 SQ. FT.	$D_g = 37.5$ NOT REQUIRED	305 SQ. FT.	50
SECOND LEVEL WEST FACADE 1/A2.03	622 SQ. FT.	158 SQ. FT.	$D_g = 25.4$ NOT REQUIRED	NA	NA
SOUTH FACADE 2/A2.03	3095 SQ.FT.	390 SQ. FT.	$D_g = 12.6$	NA	NA
EAST FACADE 3/A2.03	2650 SQ.FT.	470 SQ. FT.	$D_g = 18$	NA	NA
NORTH FACADE 4/A2.03	1772 SQ. FT.	128 SQ. FT.	$D_g = 7.2$	NA	NA

* TRANSPARENCY REQUIREMENTS APPLICABLE TO WEST FACADE ONLY.
WEST FACADE OF BUILDING ONLY PORTION OF FACING CITY OF RALEIGH
RIGHT OF BAY OAK PARK ROAD.



D ALLEN POONEY ARCHITECT
1404 SCHULET STREET
RALEIGH, NC 27608
1 919 215 8885
dpooney@nc.rr.com

DATE	DESCRIPTION	DATE	DESCRIPTION
2018.08.14	2018.08.14	2018.08.14	2018.08.14
2018.08.14	2018.08.14	2018.08.14	2018.08.14
2018.08.14	2018.08.14	2018.08.14	2018.08.14
2018.08.14	2018.08.14	2018.08.14	2018.08.14

NEW BUILDING
FOR
OAK PARK SHOPPING CENTER

A2.03