



Administrative Approval Action

Case File / Name: ASR-SR-27-2019
VERTICAL WALLS STORAGE YARD

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of New Bern Avenue, west of Corporation Pkwy at 1041 Corporation Pkwy.

REQUEST: Development of a 1.91 acre tract/83,085 sf zoned IX-3 into a proposed Light Industrial use with Limited Outdoor Storage yard. There will be .05 acres/1,951 sf of right-of-way dedication for a net area of 1.86 acres/81,134 sf. No proposed building structures are being built on-site. The plan shows a gravel storage yard with underground stormwater detention and a paved driveway and parking area.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 3, 2020 by CE GROUP.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Proposed retaining walls & fencing details plan is provided with the SPR plans set, if SPR plans are required for submittal for compliance according to the use-standards noted Sec.7.5.3.A.2 (for Limited Outdoor Storage) & Sec.7.2.8.
2. Detail plans for the retaining walls and fencing along the entire site shall be provided including the grades for 'top' & 'bottom' of walls noted on the BLDNR plans (if only SPR plans sets are submitted, the retaining wall details must be provided with the SPR plans set instead). The wall and fencing requirements must demonstrate and show compliance with Sec.7.2.4.B
3. The final site plan shall include details for the proposed site lighting complying with Sec. 7.4.1 and 7.4.5 for height and design requirements. Required landscaping design use-standards shall be met for planting installation in accordance to Sec. 7.2.4.B.

Engineering

4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and be shown on a plat approved for recordation prior to any building permit or site permit issuance (if no building permits are required).



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5. Prior to building permit issuance (or site permitting if no building permits are required) a fee-in-lieu for 1' of sidewalk along Corporation Parkway shall be paid to the City of Raleigh (UDO 8.1.10).
6. Prior to building permit issuance (or site permitting if no building permits are required) a 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

General Condition

7. An illustration or details for the required long-term bicycle parking shelter requirements (Sec.7.1.2.C) is shown with exhibit and noted on the final plans set demonstrating compliance with the design requirements noted in Sec.7.1.8.B.3.

Stormwater

8. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
9. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
10. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
11. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
12. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

13. Surety for (10) street trees is required prior to completion of site permitting review.
14. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 10 street trees along Corporation Parkway

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General



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1. A Type C1 Street Protective Yard is required for this project and a note shall be placed on all final plats stating this requirement.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

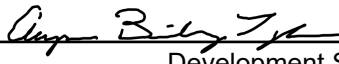
3-Year Expiration Date: July 2, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 07/02/2020
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601-9196-2005 | (404) 919-6613
3100 Midland Road | Raleigh, NC 27601-9196-6000



DEVELOPMENT
SERVICES
DEPARTMENT

When submitting, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input checked="" type="checkbox"/> Open Lot
Assigned Project Coordinator Assigned Lead Designer	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # **593003**

GENERAL INFORMATION	
Development Name Vertical Walls Storage Yard	Is this a City-Owned Project? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Existing District IX-3	Is this a City-Owned Project? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Use Light Industrial Use with Limited Outdoor Storage	
Property Address 1041 Corporation Parkway	Major Street Location New Bern Avenue
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:	
P.I.N. 1724-73-6480	P.I.N. 1724-73-6480
What is your project type?	<input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Duplex <input type="checkbox"/> Other: If other, please describe: Light Industrial Use with Limited Outdoor Storage
<input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Non-Residential Child Care <input type="checkbox"/> Telecommunications Tower <input type="checkbox"/> Religious Institution	<input type="checkbox"/> Hospital <input type="checkbox"/> Nursing Center <input type="checkbox"/> Assisted Living <input type="checkbox"/> Office <input type="checkbox"/> Retail/Wholesale <input type="checkbox"/> Bank <input type="checkbox"/> Industrial Building <input type="checkbox"/> College/Campus

WORK SCOPE	Per City Code Section 10.2.8.3.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 8 of the UDO), indicate impacts on parking requirements. Constructors outdoor storage yard with limited parking
DESIGN ADJUSTMENT OR ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - alternate. Block Perimeter and cross access
CLIENT/DEVELOPER/OWNER	Byrd-Cannon Holdings, LLC 612 W. Lane Street Raleigh, NC 27603 Phone: 919-337-2131 Email: VerticalWalls@MSN.com
CONSULTANT	Joe Faulkner, RLA 301 Glenwood Avenue Suite 220, Raleigh, NC 27603 Phone: 919-367-8795 ext 102 Email: Joe@CEGroupInc.com

WWW.RALEIGHNC.GOV

REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information Existing Zoning: IX-3 If more than one district, provide the zoning of each: Overlay District: Total Site Acres: Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 1.91 ACRES Off street parking Required: 1 SP/800 Provided: 2 spaces CDA (Certificate of Appropriateness) case #: BOA (Board of Adjustment) case #: Code (Comprehensive Ordinance) #: Stormwater Information Existing Impervious Surface: <input type="checkbox"/> gsf <input type="checkbox"/> sq ft Proposed Impervious Surface: 35,740 SF New Area Over Buffer: <input type="checkbox"/> Yes <input type="checkbox"/> No Wetlands: <input type="checkbox"/> Yes <input type="checkbox"/> No Flood Study: <input type="checkbox"/> Yes <input type="checkbox"/> No	Building Information Proposed building footprint: Existing building footprint: 1,911 sq ft Proposed building footprint: 1,911 sq ft Total sq. ft. gross (existing & proposed): 0 gsf Proposed height of building: 10 ft # of stories: 1 Calling height of 1st floor: 0 For Residential Developments: 1. Total # of Apartments, Condos or Residential Units: 0 2. Total # of Congregate Care in Life Care/Assisted Living: 0 3. Total Number of Units: 0 4. Overall Total # of Dwelling Units (2-4 Above): 0 5. Is this project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

I, **Joe Faulkner, RLA**, hereby designate **Joe Faulkner, RLA** as my agent for the purpose of this application, to receive and respond to administrative comments, to withdraw plans on my behalf and to represent me in any public meeting regarding this application.

I have read and acknowledge that I am submitting this project to the City of Raleigh for review and approval. I understand that the City of Raleigh has the authority to deny or conditionally approve this project.

Signed: **Joe Faulkner, RLA** Date: **6/10/20**
 Title: **President**
 Printed Name: **Joe Faulkner**

WWW.RALEIGHNC.GOV

REVISION 05.13.16

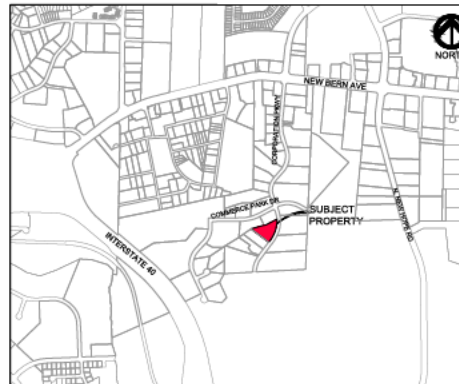
ADMINISTRATIVE SITE REVIEW FOR VERTICAL WALLS STORAGE YARD

1041 CORPORATION PARKWAY
RALEIGH, NORTH CAROLINA

APRIL 10, 2019
REVISED JUNE 3, 2020

OWNER

BYRD-CANNON HOLDINGS, LLC
c/o ASHLEY C. LINTON, PRESIDENT
612 W. LANE STREET
RALEIGH, NC 27603
PHONE: 919-337-2131
EMAIL: verticalwalls@msn.com



VICINITY MAP
1" = 1,000'

SOLID WASTE NOTE

THIS DEVELOPMENT WILL NOT REQUIRE SOLID WASTE FACILITIES.

Right-of-Way Obstruction Notes:

- Block, fence, and sidewalk obstructions on a driveway. If for any work that impacts the right-of-way or closing of any street, lane, or sidewalk, the contractor must apply for a permit with Right-of-Way Services.
- A permit request with a traffic control and/or pedestrian plan shall be submitted to rightofway@raleighnc.gov at www.raleighnc.gov keyword "Right-of-Way Services".
- Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- The City of Raleigh requires an approved Right-of-Way Obstruction Permit for work on any public street or sidewalk and NC DOT road within Raleigh's jurisdiction.
- All Traffic Control signage and practices shall adhere to the Manual on Uniform Traffic Control, and the latest edition of the NC DOT "Standard Specification for Roadway Structural", NC DOT "Roadway Standard Drawing Manual", and the NC DOT supplement to the MUTCD.
- All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and new concrete pavement routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
- All permits must be available and visible on site during the operation.

SITE DATA

CURRENT OWNER: BYRD-CANNON HOLDINGS, LLC
 SITE ADDRESS: 1041 CORPORATION PARKWAY
 RALEIGH, NC 27603
 PERMITS: 17399 / 181
 PLAY BOOK / PAGE: 184/186 / 180
 CURRENT USE: VACANT
 PROPOSED USE: LIGHT INDUSTRIAL USE WITH LIMITED OUTDOOR STORAGE
 GROSS SITE AREA: 11.951 SF / 0.27 AC
 RW CORRIDOR AREA: 11.951 SF / 0.27 AC
 NET SITE AREA: 11.951 SF / 0.27 AC
 BUILDING HEIGHT: 3 STORIES / 10' MAX
 CLOSING IMPROVEMENTS AREA: 35,740 SF / 0.81 AC
 PROPOSED IMPROVEMENTS AREA: 35,740 SF / 0.81 AC
 PARKING CALCULATED: 250 SPACES
 REQUIRED: 1 SPACE PER 800 SF OF GFA
 PROVIDED: 2 SPACES INCLUDING 1 ACCESSIBLE SPACE
 LONG TERM BICYCLE SPACES REQUIRED: 4 SPACES MIN
 LONG TERM BICYCLE SPACES PROVIDED: 4 SPACES
 LONG TERM BICYCLE PARKING MUST BE COVERED AND WEATHER RESISTANT.

GENERAL NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEYS ARE CONDUCTED OUT ON AND BETWEEN 1000000 TO 1000000 BY CE GROUP, INC.
- EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON ON-THE-GROUND SURVEYS AND FROM BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO STARTING CONSTRUCTION INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
- THE CONTRACTOR SHALL CONTACT THE CITY OF RALEIGH PRIOR TO STARTING CONSTRUCTION INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ALL WATER AND SANITARY SEWER INSTALLATION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL CITY STANDARDS AND SPECIFICATIONS.
- THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER FEMA FLOOD MAP NUMBER 17017SHU EFFECTIVE MAY 1, 2010.
- CITY OF RALEIGH SECTION 10.2.8.3.1 (MUTCD)

INDEX TO DRAWINGS

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| LANDSCAPE PLAN | 5 |
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| SITE DETAILS | 7 |



Digitally signed by
Jermont Purifoy
Reason: I am
approving this
document
Date: 2020.06.30
11:24:33-04'00'

CASE # SR-27-19
TRANSACTION # 593003

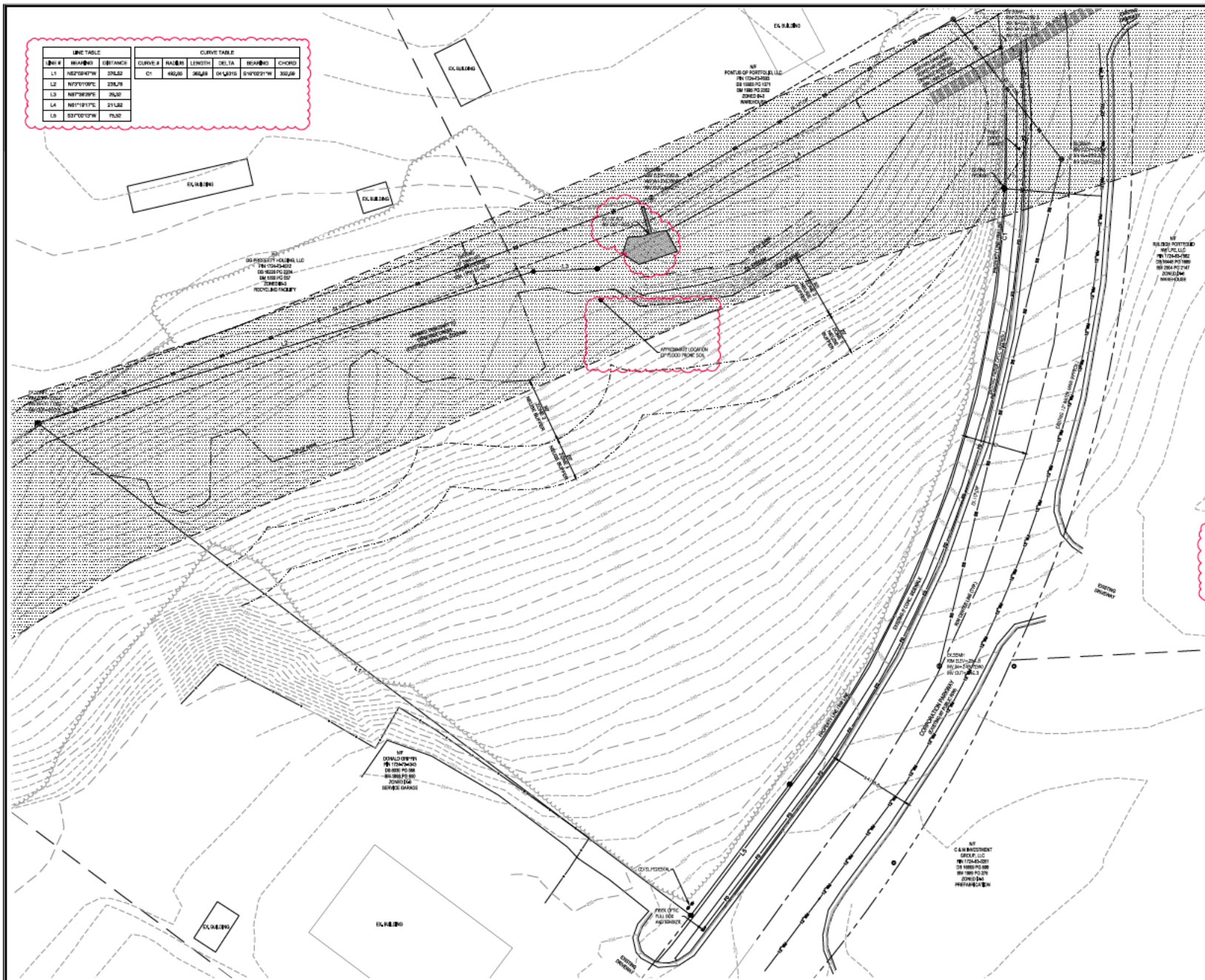
NO.	DATE	REVISIONS
1	APRIL 10, 2019	INITIAL REVIEW FOR PERMITS
2	JUNE 3, 2020	REVISION FOR PERMITS

CE GROUP
301 GLENWOOD AVE. 220
RALEIGH, NC 27603
PHONE: 919-367-8795
FAX: 919-322-0032
www.cegroupinc.com
License # C-1739

ADMINISTRATIVE SITE REVIEW
VERTICAL WALLS STORAGE YARD
1041 CORPORATION PARKWAY
COVER
RALEIGH, NORTH CAROLINA

Date: JUNE 3, 2020
 Scale: N/A
 Drawn: RJH
 Checked: AJF
 Project No: 127-279
 Computer Desig. Name: 127-279 cover
 Sheet No: 1 of 7

LINE TABLE			CURVE TABLE					
LINE #	BEARING	DISTANCE	CURVE #	RADIUS	LENGTH	DELTA	BEARING	CHORD
L1	N62°08'47"W	276.52	C1	692.05	366.68	04°16'31.5	S10°02'21"W	330.26
L2	N73°01'09"E	238.78						
L3	N87°38'29"E	26.50						
L4	N81°11'17"E	21.52						
L5	S37°10'13"W	75.92						



GENERAL NOTES

- [illegible]

SITE DATA

CURRENT OWNER: BYVO-CANNON-HOLMES, LLC
 SITE ADDRESS: 4140 COMMERCE PARKWAY
 PLOT: 1722746480
 DEED BOOK / PAGE: 100-00000000000000000000
 PLAT BOOK / PAGE: BFM788 680
 PROPOSED USE: VARIANCE
 ZONED: LIGHT INDUSTRIAL USE WITH LIGHT RESIDENTIAL USE
 ZONED: LIGHT INDUSTRIAL MIXED USE
 NEIGH. CMT. AREA: NO
 ENV. CATEGOR.: AT 361 SF / 0.06 AC
 NEIGH. CMT. AREA: 361 SF / 0.06 AC

BUILDING / PARKING STRUCTURE (SPP/LOT)
 FRONT STREET 1F
 SIDE STREET 1F
 LOT 1 LINE 1F
 REAR LOT LINE 1F

BUILDING HEIGHT: 3 STOREYS / 50 FT

EXISTING IMPROVISED AREA: 40 SF / 0.00 AC

PROPOSED IMPROVISED AREA
 PAVEMENT/CONCRETE/TRAVEL: 15019 SF / 0.34 AC

PARKING CALCULATION (NO STRUCTURE)
 1 SPACE / 50 SF = 1 SPACE / 0.01 AC
 PROPOSED: 2 SPACES INCLUDING 1 ACCESSIBLE SPACE

LOW TRAFFIC BICYCLE SPACES REQUIRED: 4 SPACES
 1 SPACE / 50 SF = 1 SPACE / 0.01 AC

LOCATION OF FLOOD
HAZARD SOCS PER WAKE
COUNTY SOCS MAP



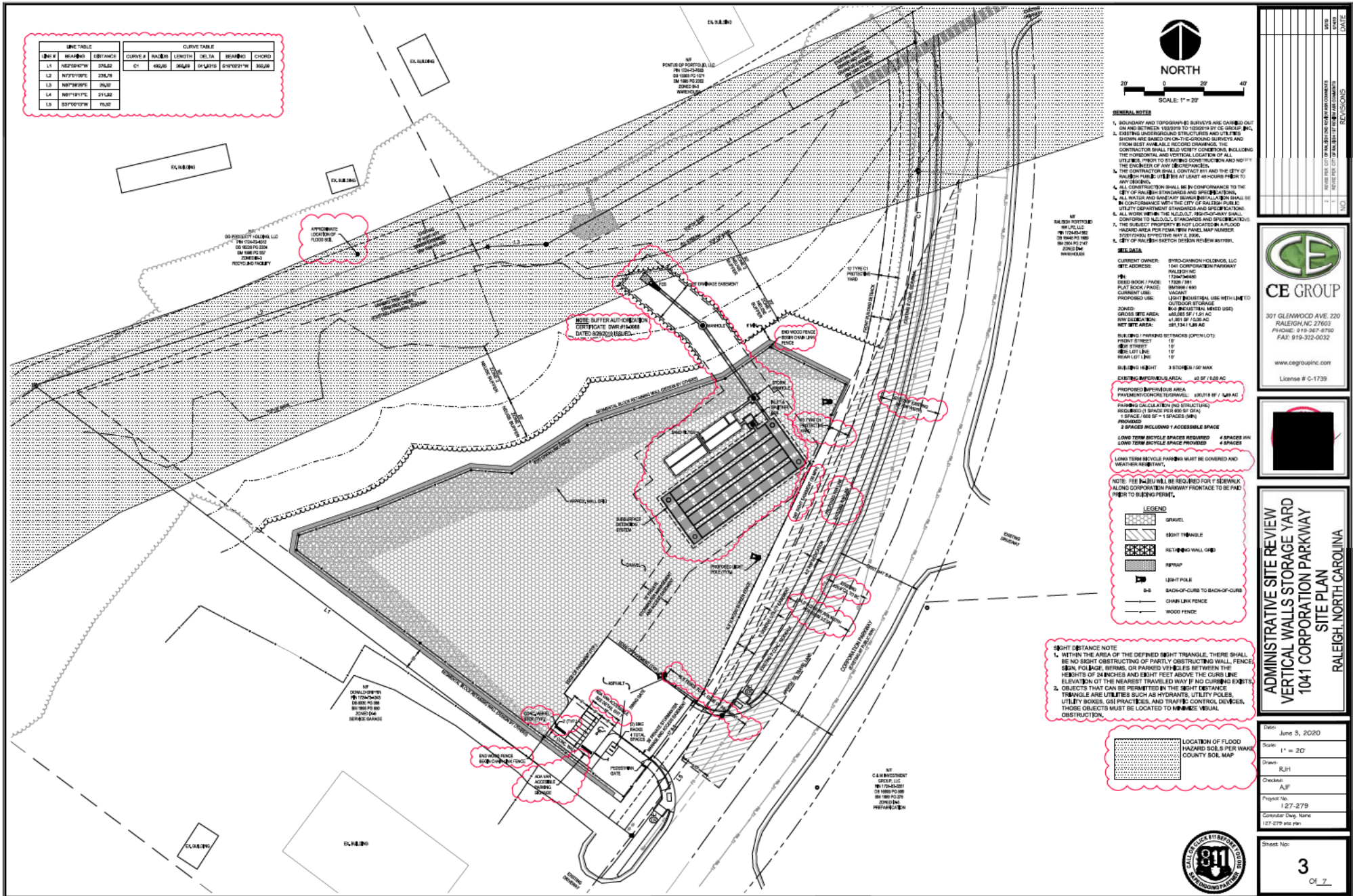
**ADMINISTRATIVE SITE REVIEW
VERTICAL WALLS STORAGE YARD
1041 CORPORATION PARKWAY
EXISTING CONDITIONS PLAN
RALEIGH, NORTH CAROLINA**

Date:	June 3, 2020
Scale:	1" = 20'
Drawn:	RJH
Checked:	AJF
Project No.	127-279
Computer Desg. Name:	127-279.eascan

Sheet No:	2	Of 7
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LINE TABLE			CURVE TABLE				
LINE #	BEARING	DISTANCE	CURVE #	RAADIUS	LENGTH	DELTA	CHORD
L1	N07°04'47"W	256.02	01	482.00	36.00	51°00'00"W	360.00
L2	N07°01'00"E	256.79					
L3	N07°01'00"E	256.79					
L4	N07°01'00"E	256.79					
L5	S07°01'00"W	79.00					



NO.	DATE	REVISIONS
1	06/03/2020	ISSUED FOR PERMIT
2	06/03/2020	REVISED CITY OF RALEIGH CITY ENGINEER'S REVIEW
3	06/03/2020	REVISED CITY OF RALEIGH CITY ENGINEER'S REVIEW

CE GROUP

301 GLENWOOD AVE. 220
RALEIGH, NC 27603
PHONE: 919-367-4700
FAX: 919-322-0032

www.cegroupinc.com
License # C-1739

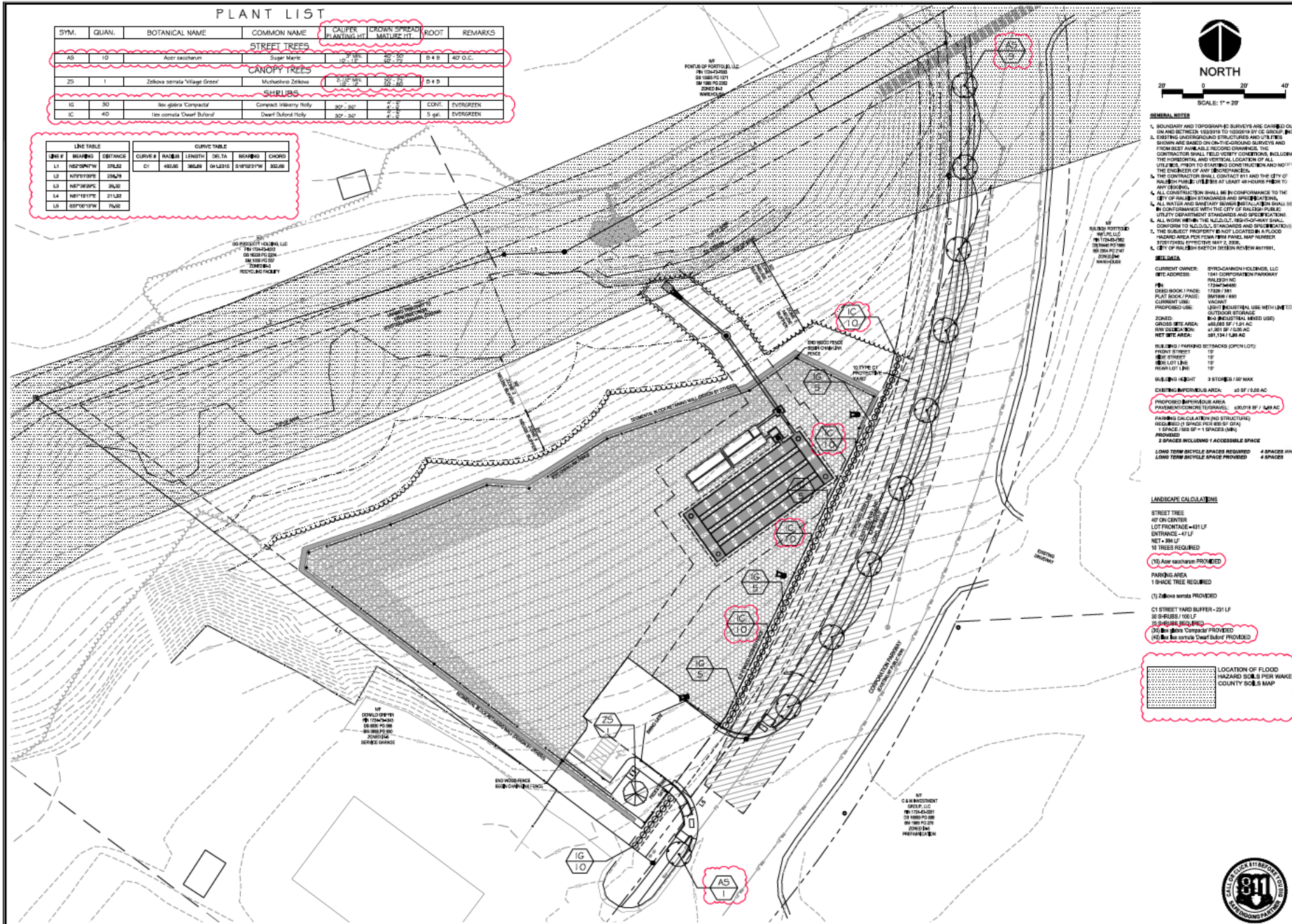


**ADMINISTRATIVE SITE REVIEW
VERTICAL WALLS STORAGE YARD
1041 CORPORATION PARKWAY
SITE PLAN
RALEIGH, NORTH CAROLINA**

Date:	June 3, 2020
Scale:	1" = 20'
Drawn:	RJH
Checked:	AJF
Project No:	127-279
Consulting Eng. Name:	127-279 site plan
Sheet No:	3

SYM.	QUAN.	BOTANICAL NAME	COMMON NAME	CAULIF PLANTING HT	CROWN SPREAD MAULTING HT	ROOT	REMARKS
STREET TREES							
A0	10	<i>Acacia saligna</i>	Super Marai	10-15	20-30	D+B	40' O.C.
CANOPY TREES							
Z5	1	<i>Zelkova serrata</i> 'Village Green'	Michauxiana Zelkova	5-6	20-30	D+B	
SHRUBS							
10	30	<i>Neo glabra Compacta</i>	Compact Inkberry Holly	30"-36"	2'-3'	CONT.	EVERGREEN
10	40	<i>Ilex cornuta Dwarf Bulford</i>	Dwarf Bulford Holly	30"-36"	2'-3'	5 gal.	EVERGREEN

LINE TABLE			CURVE TABLE					
LINE #	BEARING	DISTANCE	CURVE #	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	432.65	366.68	04 L315	5140'02"11W	352.66			



GENERAL NOTES

1. BOUNDARY AND TOPOGRAPHIC SURVEYS ARE CARRIED OUT ON AND BETWEEN 1959/60 TO 1959/61 BY THE GROUP.
2. EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THE CONTRACTOR'S RECORD DRAWINGS ARE TO BE TAKEN FROM THE MOST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS, INCLUDING THE DEPTH AND VERTICAL ALIGNMENT OF ALL UTILITIES, PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE CITY OF ANY DISCREPANCIES.
3. THE CONTRACTOR SHALL CONTACT THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT TO OBTAIN THE CITY OF RALEIGH PUBLIC UTILITIES LIST AT LEAST 60 HOURS PRIOR TO ANY CONSTRUCTION.
4. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS, ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT STANDARDS AND SPECIFICATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
5. THE SUBJECT PROPERTY MAY BE LOCATED IN A FLOOD HAZARD AREA. THE CONTRACTOR SHALL BE ADVISED BY THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

[illegible]

LANDSCAPE CALCULATIONS

STREET TREE
40' ON CENTER
LOT FRONTAGE = 431 LF
ENTRANCE - 47 LF
NET = 384 LF
10 TREES REQUIRED

(15) *Acer saccharum* PROVIDED

PARKING AREA
1 SHADE TREE REQUIRED

(1) *Zelkova serota* PROVIDED

C1 STREET YARD BUFFER - 231 LF
30 S-RUBS / 100 LF
70 TREES REQUIRED

(20) *Hamamelis 'Compacta'* PROVIDED
(40) *Black locust 'Dwarf Sulfur'* PROVIDED

LOCATION OF FLOOD
HAZARD SOILS PER WAKE
COUNTY SOILS MAP



			REVISIONS	DATE
NO.				
1	REVISE PER CITY OF MILWAUKEE BOARD COMMENTS	K079		
2	REVISE PER CITY OF MILWAUKEE BOARD COMMENTS	K080		



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ADMINISTRATIVE SITE REVIEW
VERTICAL WALLS STORAGE YARD
1041 CORPORATION PARKWAY
LANDSCAPE PLAN
RALEIGH, NORTH CAROLINA

Date:	June 3, 2020
Scale:	N/A
Drawn:	RJH
Checked:	AJF
Project No.	127-279
Computer Desg. Name	127-279 landscape plan

5
Of 7