



Administrative Approval Action

Case File / Name: ASR-SR-29-2019
HOME2 CRABTREE SUNSET EXTENSION REVISION - 12/16/22

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Glenwood Avenue, south of Century Drive at 2101 Century Drive.

REQUEST: This approval is for a sunset date extension for the previously approved plans. The original plans were approved on 10/30/2019. The sunset extension request was made on 10/24/22 and the new sunset date is 10/24/24 per UDO section 10.2.8 F

Development of a 4.5 acre tract zoned OP-12 and SHOD-2 into a 76,025 square foot/ 120 room proposed new hotel building development on the same site as an existing 176 room hotel. This proposed new hotel building is associated with a newly proposed subdivision plan, SUB-S-42-2018-Century Drive Subdivision, which establishes two new lots, New Lot 1 (2.55 acres) and New Lot 2 (1.91 acres) with right-of-way dedication totaling .04 acres/1,742 sf.

There is an existing hotel on New Lot 1 and this proposed hotel will be constructed on New Lot 2.

BOARD OF ADJUSTMENT (Case A-31-19): A variance was granted for the site by the BOA on April 8, 2019, for 0.06 acre reduction from the minimum lot size required for a hotel development set forth in Section 6.4.6.D.2 of the UDO. The BOA also approved a variance for a 0.35 parking space reduction for the minimum number of required parking spaces for the existing 176 room hotel building on Lot 1 and the new 130 room hotel proposed on Lot 2, per Section 7.1.2 of the UDO, totaling 199 parking spaces for the 306 rooms on both sites.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:**

SPR-0263-2019: DSLC - Site Permitting Review/Major [Signature Set]
RCMP-0254-2020: DSLC - Recorded Maps/Boundary Survey - Major

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated October 27, 2022 by MCADAMS.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Provide Seasonal Highwater Table for Stormwater Treatment Device. Must be greater than 2' below the bottom of the device.



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2. A flood proofing plan in accordance with FEMA floodproofing standards shall be submitted.
3. A recorded plat for the subdivision plan, "Century Drive Subdivision" SUB-S-42-2018, is approved & recorded at the Wake County Register of Deeds prior to the mylar signature or approval of the Site Permit Review (SPR) plans set.
4. Conditions to A-31-19 are complied with & shown on the SPR plans (Site Permit Review).
5. The transparency table sf & calculations, for the second floor surface area, as shown on the North elevation on sheet AP004, are re-calculated & the calculation totals for the "% required" and "provided" are also revised on the SPR plans.
6. All parking islands dimensional requirements are labeled and shown on the Site Permit Review (SPR) plans & show compliance with Sec.7.1.7.D.2.
7. All proposed new lighting comply with Sec.7.4 of the UDO and a detail illustration showing compliance is included with the Site Permit Review (SPR) plans set.

Engineering

8. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

9. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
10. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
11. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).
12. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

13. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
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<input checked="" type="checkbox"/>	Slope Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
2. A fee-in-lieu for 1' in sidewalk width across the entire frontage is paid to the City of Raleigh (UDO 8.1.10).
3. A public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
4. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Comply with all conditions of A-31-19.

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for subdivision and all water line utility easement dedications.
3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

4. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).



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5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 7 street trees along Century Drive.

The following are required prior to issuance of building occupancy permit:

General

1. All street lights and street signs required as part of the development approval are installed.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: October 24, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Daniel L. Stegall Date: 12/21/2022
Development Services Dir/Designee

Staff Coordinator: Jermont Purifoy

HOME2 SUITES AT CENTURY DRIVE

2101 CENTURY DRIVE
RALEIGH, NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW

PROJECT NUMBER: SPEC-16988
CITY OF RALEIGH CASE #: ASR-SR-29-2019
BOARD OF ADJUSTMENT VARIANCE #: A-31-18
DATE: APRIL 12, 2019
REVISED: JUNE 11, 2019
REVISED: AUGUST 29, 2019
REVISED: SEPTEMBER 6, 2019

SITE DATA	
PARCELS	0795-79-7800, REAL ESTATE ID: 0086493
TOTAL SITE AREA	196,020 SF / 4.50 AC
LOTS (PER SUB-S-42-2018)	LOT 1 = 111,251 SF / 2.55 AC LOT 2 = 83,178 SF / 1.91 AC ROW DEDICATION = 1,742 SF / 0.04 AC VARIANCE GRANTED (A-31-18) TO MINIMUM LOT AREA
IMPROVED SITE AREA	LOT 1 = 26,571 SF / 0.61 AC = 23.9% OF LOT 1 AREA LOT 2 = 83,178 SF / 1.91 AC = 100%
EXISTING ZONING	OP-12 SHOD 2
PROPOSED ZONING	NO CHANGE
PROPOSED USE	LOT 1: EXISTING 176 ROOM HOTEL LOT 2: 120 ROOM HOTEL
BUILDING HEIGHT	MAXIMUM: 150' PROPOSED: 55'
BUILDING SETBACK	PRIMARY STREET (MIN): 5' REAR LOT LINE (MIN): 0' OR 6' SIDE LOT LINE (MIN): 0' OR 6'
PARKING SETBACK	PRIMARY STREET (MIN): 10' REAR LOT LINE (MIN): 0' OR 3' SIDE LOT LINE (MIN): 0' OR 3'
EXISTING PARKING	282 SPACES (BOTH LOTS)
PARKING REQUIREMENTS	LOT 1: 176 EXISTING ROOMS (1 SPACE/ROOM) = 176 SPACES LOT 2: 120 PROPOSED ROOMS (1 SPACE/ROOM) = 120 SPACES REQUIRED SPACES (BOTH LOTS): 296 X 0.65* = 192 SPACES* *A-31-18 PARKING VARIANCE FOR MIN. 0.65 SPACES/ROOM TO SERVE UP TO 306 HOTEL ROOMS ON BOTH LOTS.
PARKING PROVIDED	PROVIDED LOT 1: EXISTING TO REMAIN: 72 SPACES PROPOSED STANDARD SPACES: 39 SPACES PROPOSED COMPACT SPACES: 10 SPACES* TOTAL PARKING PROVIDED FOR LOT 1 = 72+39+10 = 121 SPACES PROVIDED LOT 2: EXISTING TO REMAIN: 0 SPACES PROPOSED STANDARD SPACES: 121 SPACES PROPOSED COMPACT SPACES: 30 SPACES* TOTAL PARKING PROVIDED FOR LOT 2 = 121+30 = 151 SPACES TOTAL STANDARD SPACES (BOTH LOTS) = 232 SPACES TOTAL COMPACT SPACES (BOTH LOTS) = 40 SPACES* TOTAL PARKING (BOTH LOTS) = 272 SPACES *COMPACT SPACES NOT USED TO SATISFY PARKING REQUIREMENTS
PROVIDED PARKING RATIO PER VARIANCE A-31-18	232 STANDARD SPACES/296 ROOMS = 0.78 SPACES/ROOM
MAXIMUM PARKING ALLOWABLE	272 TOTAL SPACES/192* = 142% (MAX IS 150%)
HC PARKING	REQUIRED: 272 SPACES = 7 SPACES INCLUDING 2 VANS EXISTING TO REMAIN: 4 VAN SPACES PROPOSED: 5 SPACES INCLUDING 2 VANS
BICYCLE PARKING	REQUIRED: LOT 1 = 0 SPACES* / LOT 2 = 6 SPACES PROPOSED: LOT 1 = 0 SPACES / LOT 2 = 8 SPACES *NOT IMPROVING LOT 1 SITE AREA MORE THAN 25%
CAC DISTRICT	GLENWOOD
RIVER BASIN	NEUSE
WATERSHED OVERLAY	N/A
AMENITY AREA	REQUIRED (10% OF SITE AREA): LOT 1 = 11,125 SF / 0.26 AC LOT 2 = 8,318 SF / 0.19 AC PROPOSED: LOT 1 = 11,837 SF / 0.27 AC (11%) LOT 2 = 8,607 SF / 0.20 AC (10.3%)

BOARD OF ADJUSTMENT VARIANCE APPROVAL

BOA CASE #A-31-18:
WHEREAS CAROLINA HOTEL INVESTORS-CRABTREE LLC, PROPERTY OWNER, REQUEST A 0.6 ACRE VARIANCE FROM THE MINIMUM LOT SIZE REQUIRED FOR HOTELS SET FORTH IN SECTION 6.4.8.2.2 OF THE UNIFIED DEVELOPMENT ORDINANCE AS WELL AS A 0.35 PARKING SPACE REDUCTION IN THE MINIMUM NUMBER OF PARKING SPACES REQUIRED BY SECTION 7.1.2 OF THE UNIFIED DEVELOPMENT ORDINANCE, FOR THE EXISTING 176 ROOM HOTEL ON AN EXISTING 4.5 ACRE TRACT ZONED OFFICE PARK-12 AND LOCATED AT 2101 CENTURY DRIVE, AND FOR A NEW HOTEL WITH UP TO 130 ROOMS TO BE CONSTRUCTED ON A NEW 1.9 ACRE SITE SUBDIVIDED OUT OF THE EXISTING PARCEL AND 189 PARKING SPACES TO SERVE THE 306 HOTEL ROOMS ON BOTH LOTS. IN THE ALTERNATIVE, THE PROPERTY OWNER REQUEST A 10' VARIANCE FROM THE SHOD-2 PROTECTIVE YARD DEPTH REQUIREMENTS SET FORTH IN SECTION 6.3.1.10.3.2 OF THE UNIFIED DEVELOPMENT ORDINANCE AS WELL AS A 0.45 SPACE REDUCTION IN THE MINIMUM NUMBER OF PARKING SPACES REQUIRED BY SECTION 7.1.2 OF THE UNIFIED DEVELOPMENT ORDINANCE TO ALLOW A NEW HOTEL WITH UP TO 130 ROOMS TO BE CONSTRUCTED ON THE SAME PARCEL AS THE EXISTING HOTEL RESULTING IN A 15' SHOD-2 PROTECTIVE YARD AND 169 PARKING SPACES TO SERVE THE 306 ROOMS IN BOTH HOTELS ON THE EXISTING 4.5 ACRE SITE ZONED OFFICE PARK-12 AND SPECIAL HIGHWAY OVERLAY DISTRICT-2 AND LOCATED AT 2101 CENTURY DRIVE.

DECISION: 1) APPROVED THE FIRST VARIANCE AS REQUESTED.
2) ALTERNATIVE REQUEST WITHDRAWN.

DATE OF APPROVAL: MARCH 12, 2018

BOA CASE #A-29-19
DECISION: APPROVED A 1 YEAR EXTENSION OF TIME TO OBTAIN PERMITS.

THE VARIANCE WAS ORIGINALLY APPROVED ON MARCH 12, 2018. NOTICE OF APPROVAL WAS PROVIDED ON APRIL 9, 2018. ASSISTANT ZONING ADMINISTRATOR ERIC HODGE (SWORN) OUTLINED THE 1-YEAR TIME PERIOD REGULATION FOR OBTAINING PERMITS AFTER VARIANCE APPROVAL AND THE PROCEDURE FOR GRANTING EXTENSIONS TO THAT TIME PERIOD NOTING IF THE PERIOD EXPIRES, THE APPLICANT WOULD HAVE TO START BACK AT THE BEGINNING OF THE PROCESS. HE STATED STAFF DOES NOT OPPOSE THE REQUEST.

DATE OF APPROVAL: APRIL 8, 2019

SOLID WASTE COMPLIANCE STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE.
- REFUSE WILL BE COLLECTED IN DUMPSTERS LOCATED ON SITE TWICE WEEKLY ON MONDAYS AND THURSDAYS AT APPROXIMATELY 11 AM.

NOTES

- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OR EDGE OF PAVEMENT INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY OF THE RADIUS CURVATURE OR 20' FROM THE INTERSECTION OF THE RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. NO DRIVEWAYS OR PARKING SPACES SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
- WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

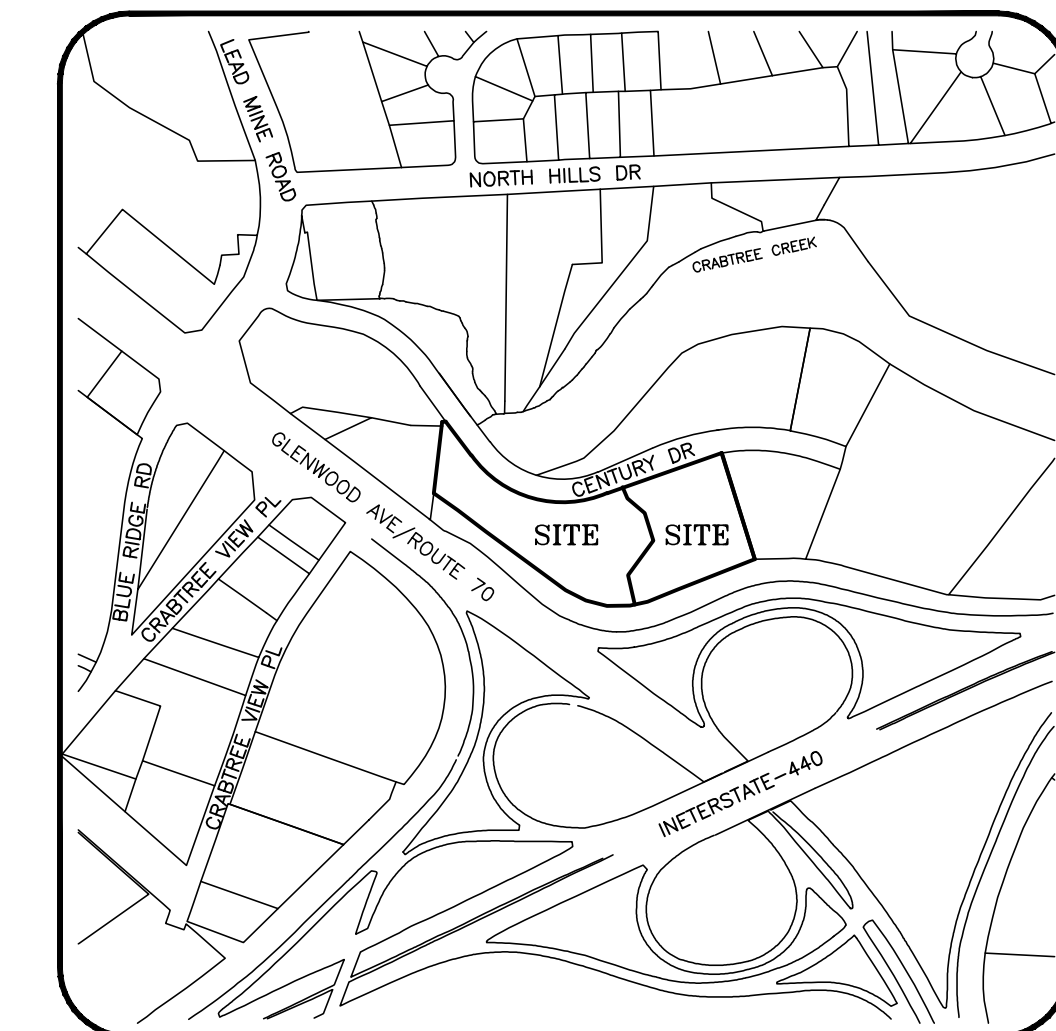
ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409 and the **Public Utilities Department** at (919) 996-4340 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection**, **Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards**, will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.



VICINITY MAP
1"=500'

Know what's below.
Call before you dig.

Administrative Site Review Application (for UDO Districts only)



DEVELOPMENT
SERVICES
DEPARTMENT

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ext 919-996-1831
Litchford Satellite Office | 1520 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	Transaction Number Assigned Project Coordinator Assigned Team Leader
<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	

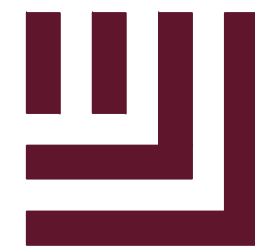
Has your project previously been through the **Due Diligence** or **Sketch Plan Review** process? If yes, provide the transaction # **493954**

GENERAL INFORMATION			
Development Name	Home2 Crabtree		
Zoning District	OP-12	Overlay District (if applicable)	SHOD-2
Proposed Use	Hotel		
Property Address(es)	2101 Century Drive, Raleigh, NC 27612		
Major Street Locator:			
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:			
P.I.N.	0795-79-7800	P.I.N.	
What is your project type?	<input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Duplex <input type="checkbox"/> Other: If other, please describe: _____		
WORK SCOPE	Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Proposed hotel with associated parking improvements.		
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE		
CLIENT/DEVELOPER/OWNER	Company Carolina Hotel Investors - Crabtree LLC Name (s) Russell Ranson, Principal Address 6110 Falcon Bridge Road, Suite 200, Chapel Hill, NC 27517 Phone 704-995-4180 Email rrranson@rkinvestors.com Fax		
CONSULTANT (Contact Person for Plans)	Company McAdams Name (s) Linda Vasil, P.E. Address 2905 Meridian Parkway, Durham, NC 27713 Phone 919-361-5000, x162 Email vasil@mcadamsco.com Fax		

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DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)			
Zoning Information		Building Information	
Zoning District(s) OP-12, SHOD-2		Proposed building use(s) Hotel	
If more than one district, provide the acreage of each:		Existing Building(s) sq. ft. gross 0	
Overlay District SHOD-2		Proposed Building(s) sq. ft. gross 76,025	
Total Site Acres	Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed)	76,025
Off street parking: Required 0	Provided 0	Proposed height of building(s) 55'	
CDA (Certificate of Appropriateness) case #		# of stories 5	
BOA (Board of Adjustment) case # A-31-18		Ceiling height of 1 st Floor 15'	
CUD (Conditional Use District) case # Z-			
Stormwater Information			
Lot 1	1.73AC/75,521 SF	acres/square feet	1.52AC/66,349 SF
Existing Impervious Surface	1.73AC/75,521 SF	acres/square feet	1.52AC/66,349 SF
Proposed Impervious Surface	1.88AC/81,892 SF	acres/square feet	1.45AC/63,210 SF
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils YES	Flood Study
FEMA Map Panel # 0795			
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more		
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7		
3. Total Number of Hotel Units 120	7. Open Space (only) or Amenity		
4. Overall Total # Of Dwelling Units (1-6 Above) 120	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
SIGNATURE BLOCK (Applicable to all developments)			
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.			
I hereby designate Linda Vasil, P.E. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.			
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.			
Signed	Managing Partner	Date	1/30/19
Printed Name	Nail Kapadia		
Signed		Date	
Printed Name			

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McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000

fax 919. 361. 2269

license number: C-0293

www.mcadamsco.com

CONTACT

ANDY PADIAC - PROJECT MANAGER

padiac@mcadamsco.com

LINDA VASIL - TECHNICAL MANAGER

vasil@mcadamsco.com

CLIENT

RK INVESTORS

3800 POMFRET LANE

CHARLOTTE, NORTH CAROLINA 28211

PHONE: 704-995-4180

EMAIL: RRRANSON@RKINVESTORS.COM



PROJECT DIRECTORY

DEVELOPER

RK INVESTORS

3800 POMFRET LANE

CHARLOTTE, NORTH CAROLINA 28211

PHONE: 704-995-4180

EMAIL: RRRANSON@RKINVESTORS.COM



McADAMS

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fax 919. 361. 2269
license number: C-0293

www.mcadamsco.com

CLIENT

RK INVESTORS
3800 POMFRET LANE
CHARLOTTE, NORTH CAROLINA 28211
PHONE: 704. 366. 8689



HOME2 AT CENTURY DRIVE ADMINISTRATIVE SITE REVIEW 2101 CENTURY DRIVE RALEIGH, NORTH CAROLINA, 27612

REVISIONS

NO.	DATE
1	06.11.2019 REVISED PER CITY OF RALEIGH COMMENTS
2	08.29.2019 REVISED PER CITY OF RALEIGH COMMENTS
3	09.06.2019 REVISED PER CITY OF RALEIGH COMMENTS
4	09.27.2019 REVISED PER CITY OF RALEIGH COMMENTS

PLAN INFORMATION

PROJECT NO. SPEC16988
FILENAME SPEC16988-ASR-XC1
CHECKED BY LJV
DRAWN BY JLB
SCALE 1"=40'
DATE 4.12.2019

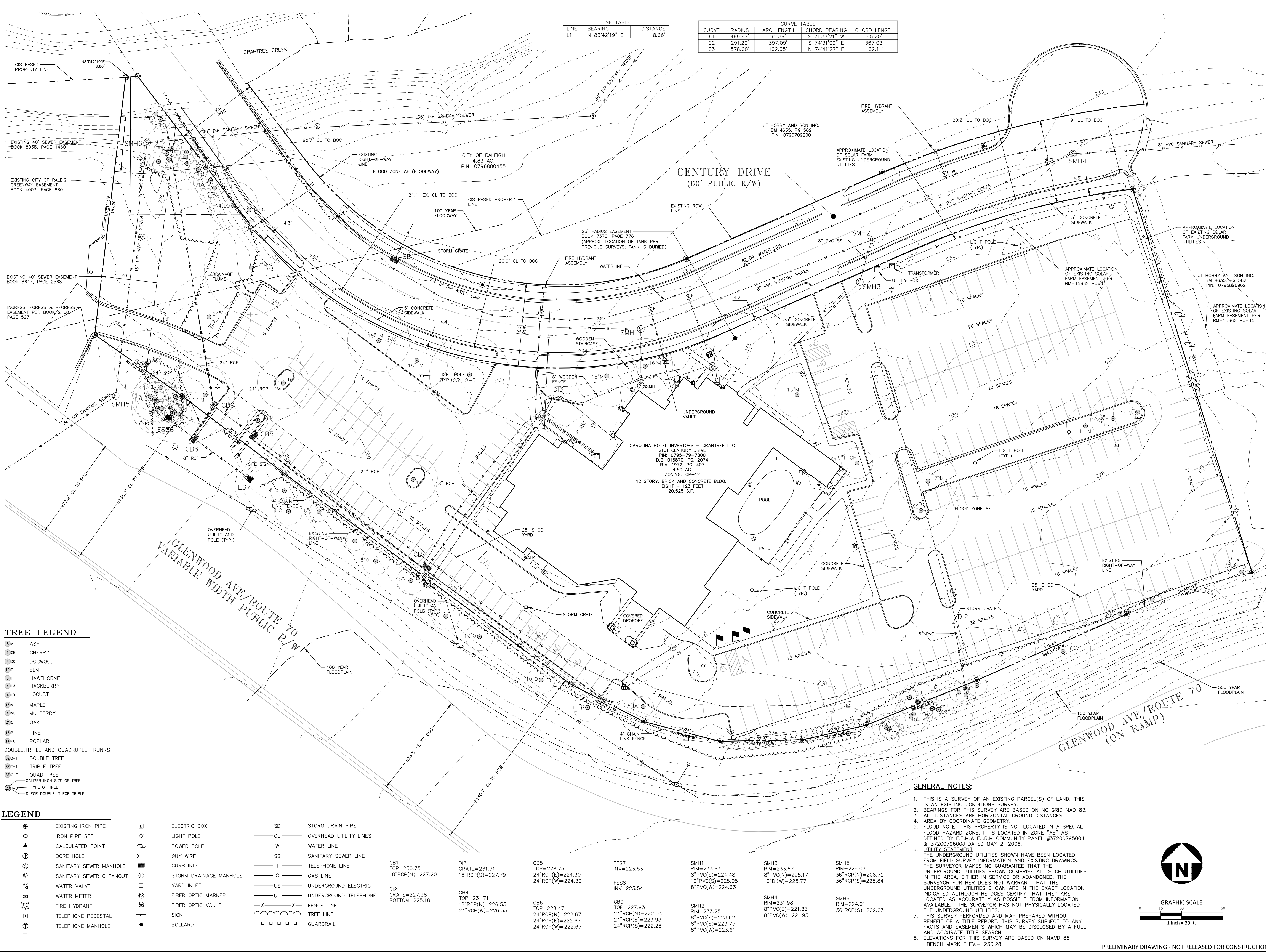
SHEET

EXISTING CONDITIONS

C-1

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 83°42'19" E	8.66'

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	469.97'	95.36'	S 71°37'21" W	95.20'
C2	291.20'	397.09'	S 74°31'09" E	367.03'
C3	578.00'	162.65'	N 74°41'27" E	162.11'



TREE LEGEND

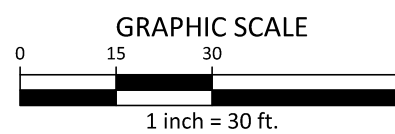
8/A	ASH
6/CH	CHERRY
4/DG	DOGWOOD
18/E	ELM
6/HT	HAWTHORNE
4/HA	HACKBERRY
4/LO	LOCUST
15/M	MAPLE
4/MJ	MULBERRY
31/O	OAK
18/P	PINE
14/PO	POPLAR
DOUBLE, TRIPLE AND QUADRUPE TRUNKS	
SD-T	DOUBLE TREE
SD-T-T	TRIPLE TREE
SD-Q-T	QUAD TREE
CALIPER INCH SIZE OF TREE	
— TYPE OF TREE	
SD-T-D	D FOR DOUBLE, T FOR TRIPLE

LEGEND

EXISTING IRON PIPE	ELECTRIC BOX	SD STORM DRAIN PIPE
IRON PIPE SET	LIGHT POLE	OU OVERHEAD UTILITY LINES
CALCULATED POINT	POWER POLE	W WATER LINE
BORE HOLE	GUY WIRE	SS SANITARY SEWER LINE
SANITARY SEWER MANHOLE	CURB INLET	T TELEPHONE LINE
SANITARY SEWER CLEANOUT	STORM DRAINAGE MANHOLE	G GAS LINE
WATER VALVE	YARD INLET	UE UNDERGROUND ELECTRIC
WATER METER	FIBER OPTIC MARKER	UT UNDERGROUND TELEPHONE
FIRE HYDRANT	FIBER OPTIC VAULT	X-X FENCE LINE
TELEPHONE PEDESTAL	SIGN	— TREE LINE
TELEPHONE MANHOLE	BOLLARD	— GUARDRAIL

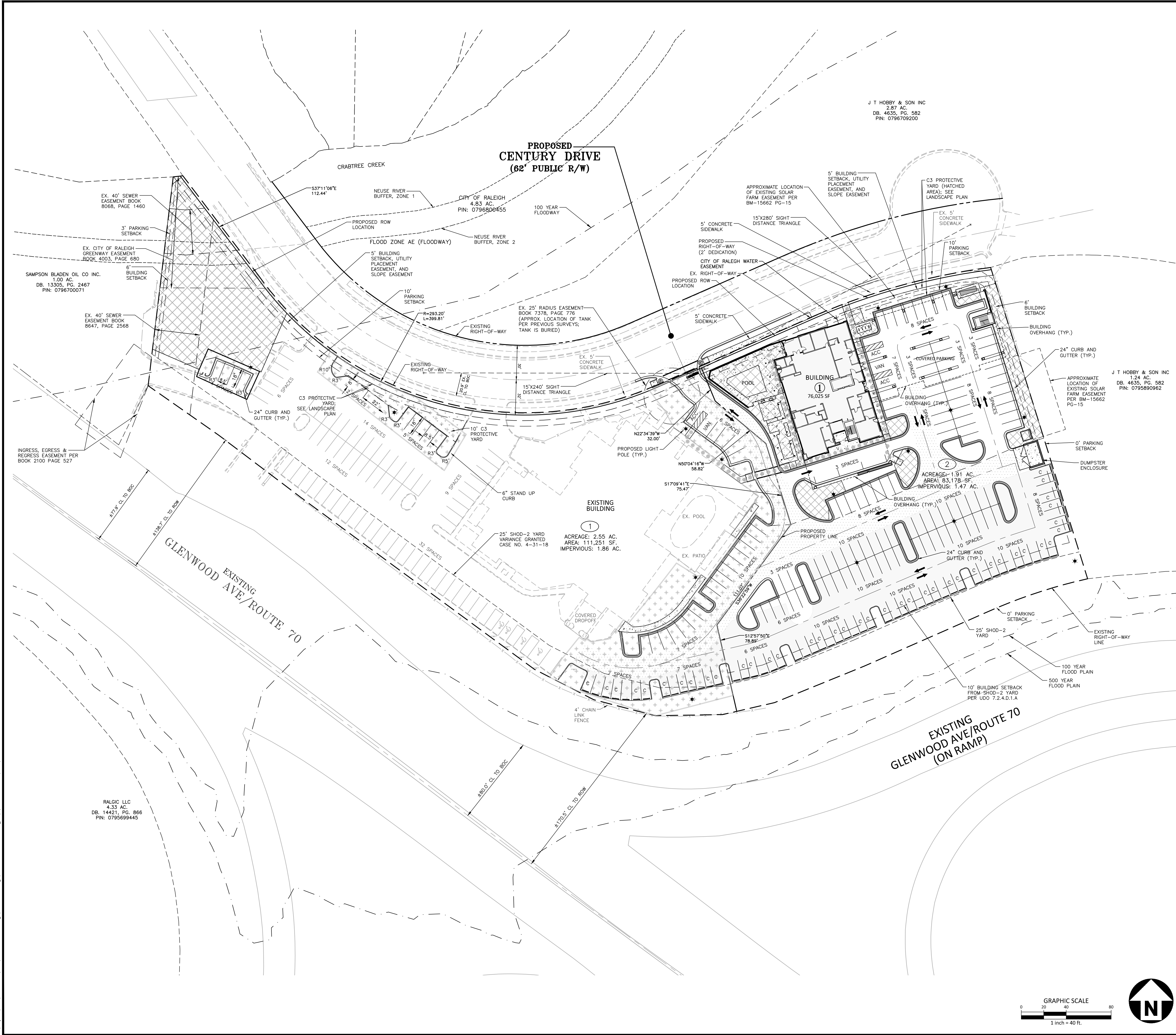
GENERAL NOTES:

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS AN EXISTING CONDITIONS SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- AREA BY COORDINATE GEOMETRY.
- FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "AE" AS DEFINED BY F.E.M.A F.I.R.M COMMUNITY PANEL #3720079500J & 3720079600J DATED MAY 2, 2006.
- UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD 88 BENCH MARK ELEV.= 233.28'



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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SITE LEGEND

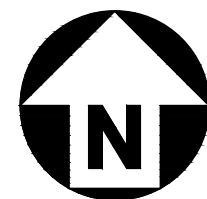
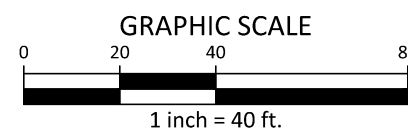
	SIGNAGE
	LIGHT POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	ACCESSIBLE RAMP
TYPE A TYPE B TYPE C	
	ACCESSIBLE (ADA) ROUTE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE
	MILL AND OVERLAY
	LOT 1 IMPROVED SITE AREA 26,571 SF/111,251 SF = 23.9%
	C3 YARD
	AMENITY AREA LOT 1 AREA = 11,837 SF LOT 2 AREA = 8,607 SF AMENITY SPACE EXCEEDS 10% OF LOT AREAS

- NOTE:**
- 1) PARKING SHOWN TO BE USED BY ALL PARCELS THROUGH USE OF SHARED PARKING AND CROSS ACCESS AGREEMENTS.
 - 2) VARIANCE GRANTED (A-31-18) TO SHOD YARD SETBACK FOR LOT 1.
 - 3) VARIANCE GRANTED (A-31-18) TO MINIMUM LOT AREA FOR LOT 2.
 - 4) SITE IMPROVEMENTS FOR LOT 1 DO NOT EXCEED 25%. LOT 1 REMAINING PARKING LOT AREA DOES NOT REQUIRE TO BE IMPROVED UNDER UDO SECTION 7.2.2.

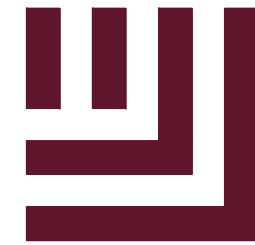
LOT DATA TABLE	
EXISTING NET SITE AREA =	4.50 AC.
RIGHT OF WAY DEDICATED =	0.04 AC.
PROPOSED NET SITE AREA =	4.46 AC.
LOT 1	2.55 AC.
LOT 2	1.91 AC.
TOTAL	4.46 AC.

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SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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CHARLOTTE, NORTH CAROLINA 28211
PHONE: 704. 366. 8689



HOME2 AT CENTURY DRIVE
ADMINISTRATIVE SITE REVIEW
2101 CENTURY DRIVE
RALEIGH, NORTH CAROLINA, 27612

REVISIONS

NO.	DATE
1	06.11.2019 REVISED PER CITY OF RALEIGH COMMENTS
2	08.29.2019 REVISED PER CITY OF RALEIGH COMMENTS
3	09.06.2019 REVISED PER CITY OF RALEIGH COMMENTS
4	09.27.2019 REVISED PER CITY OF RALEIGH COMMENTS

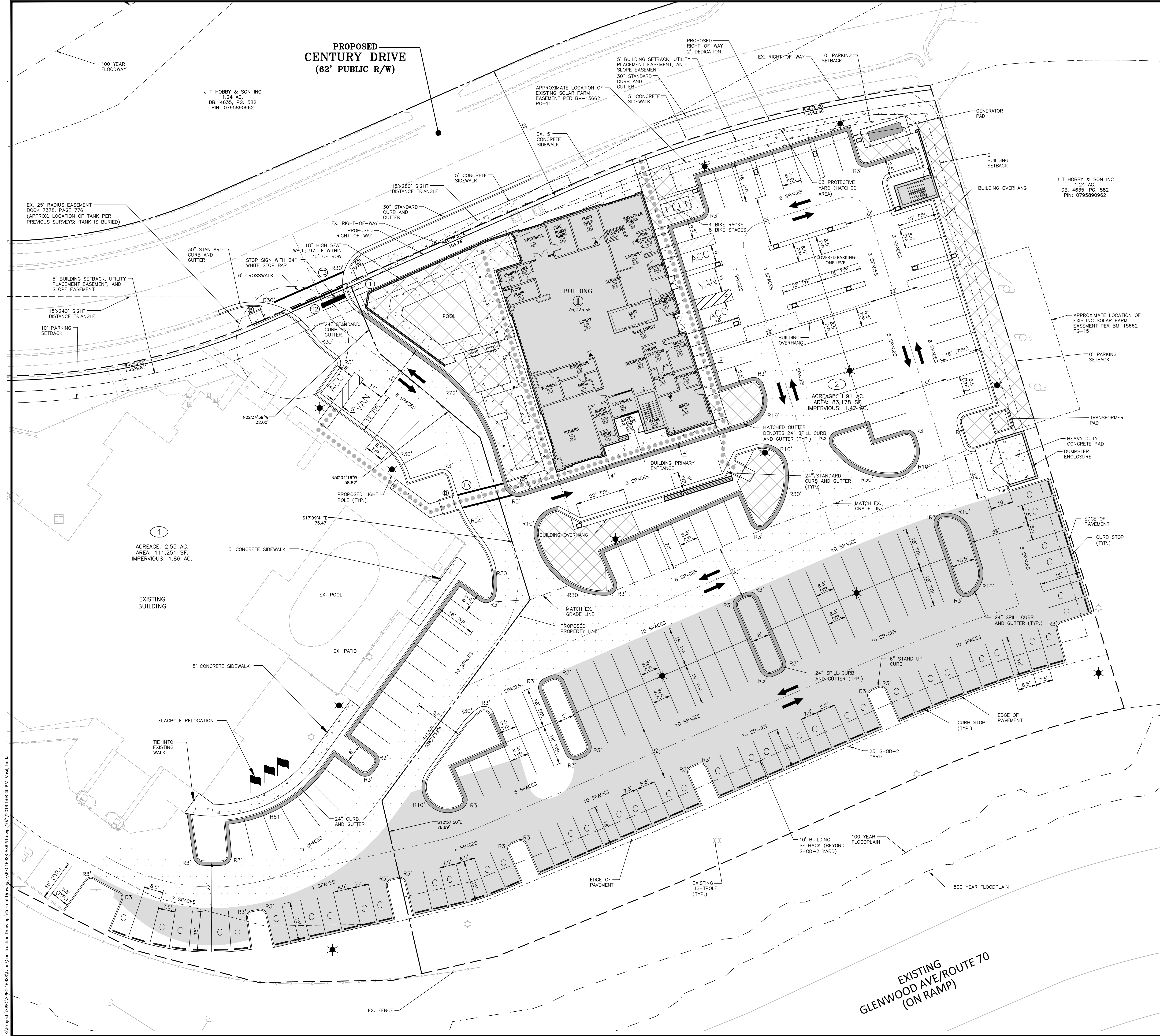
PLAN INFORMATION

PROJECT NO.	SPEC-16988
FILENAME	SPEC16988-ASR-OAS1
CHECKED BY	LJV
DRAWN BY	JLB
SCALE	1"=40'
DATE	4.12.2019

SHEET

OVERALL SITE PLAN

C-4



SITE LEGEND

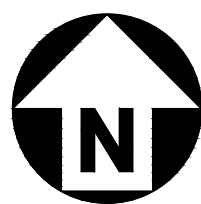
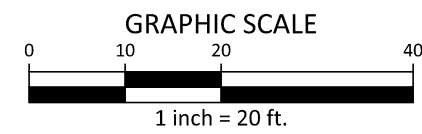
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	ACCESSIBLE RAMPS
	ACCESSIBLE (ADA) ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE
	MILL AND OVERLAY
	C3 YARD
	AMENITY AREA

SITE SIGN KEY:



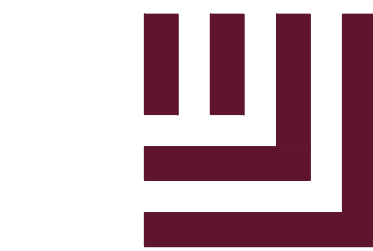
PAVEMENT MARKING LEGEND

- LANE LINES/MARKINGS
T2 24" WHITE STOP BAR
T3 CITY OF RALEIGH PEDESTRIAN CROSSWALK



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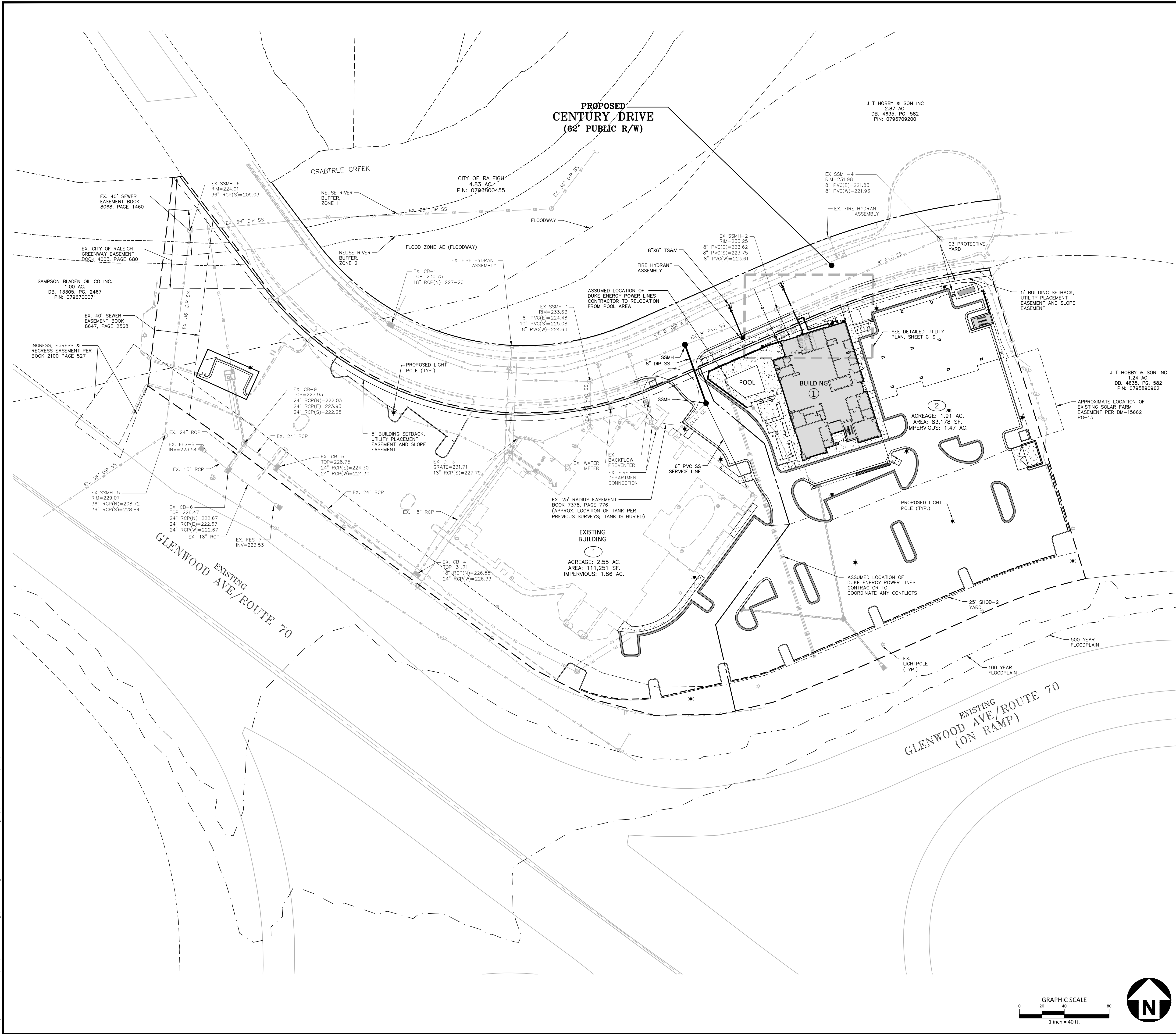
PROJECT NO. SPEC-16988
FILENAME SPEC16988-ASR-S1
CHECKED BY LJV
DRAWN BY JLB
SCALE 1"=20'
DATE 4.12.2019

SHEET

DETAILED SITE PLAN

C-5

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UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE

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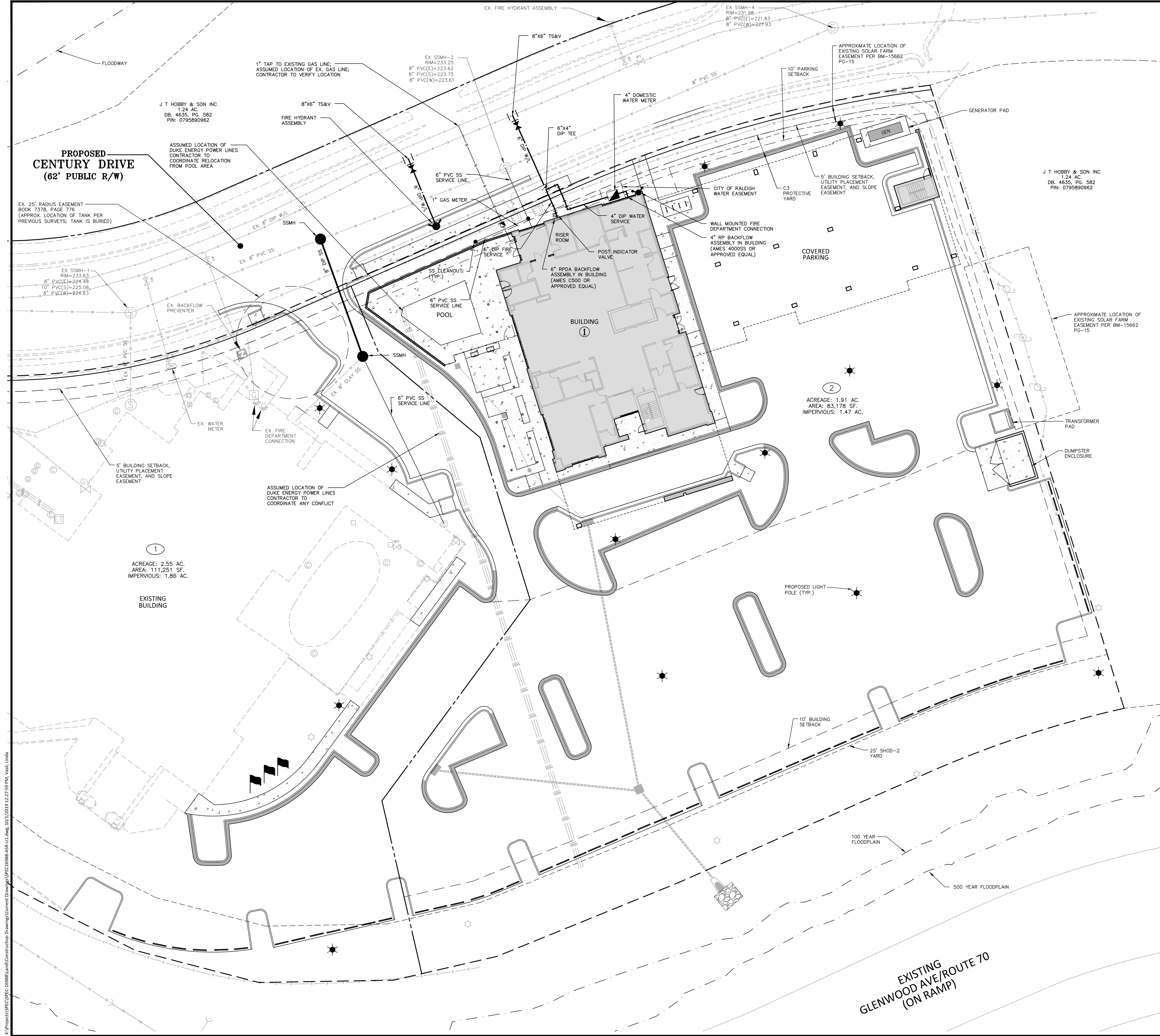


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2101 CENTURY DRIVE
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CHECKED BY	LJV
DRAWN BY	JLB
SCALE	1"=40'
DATE	4.12.2019

SHEET
OVERALL UTILITY PLAN

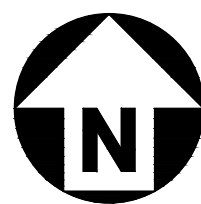
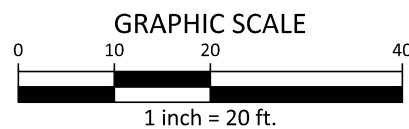


UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
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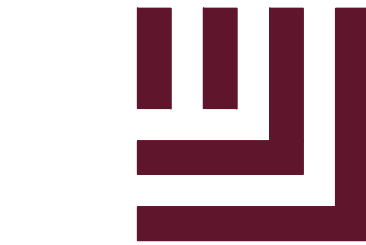
GENERAL NOTES:

1. THE DOMESTIC BACKFLOW PREVENTER IS TO BE WITHIN 50' OF THE WATER METER.
2. PER CORPUS STANDARDS THE POOL WILL HAVE A 50GPM FLOW RESTRICTOR.



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PLAN INFORMATION

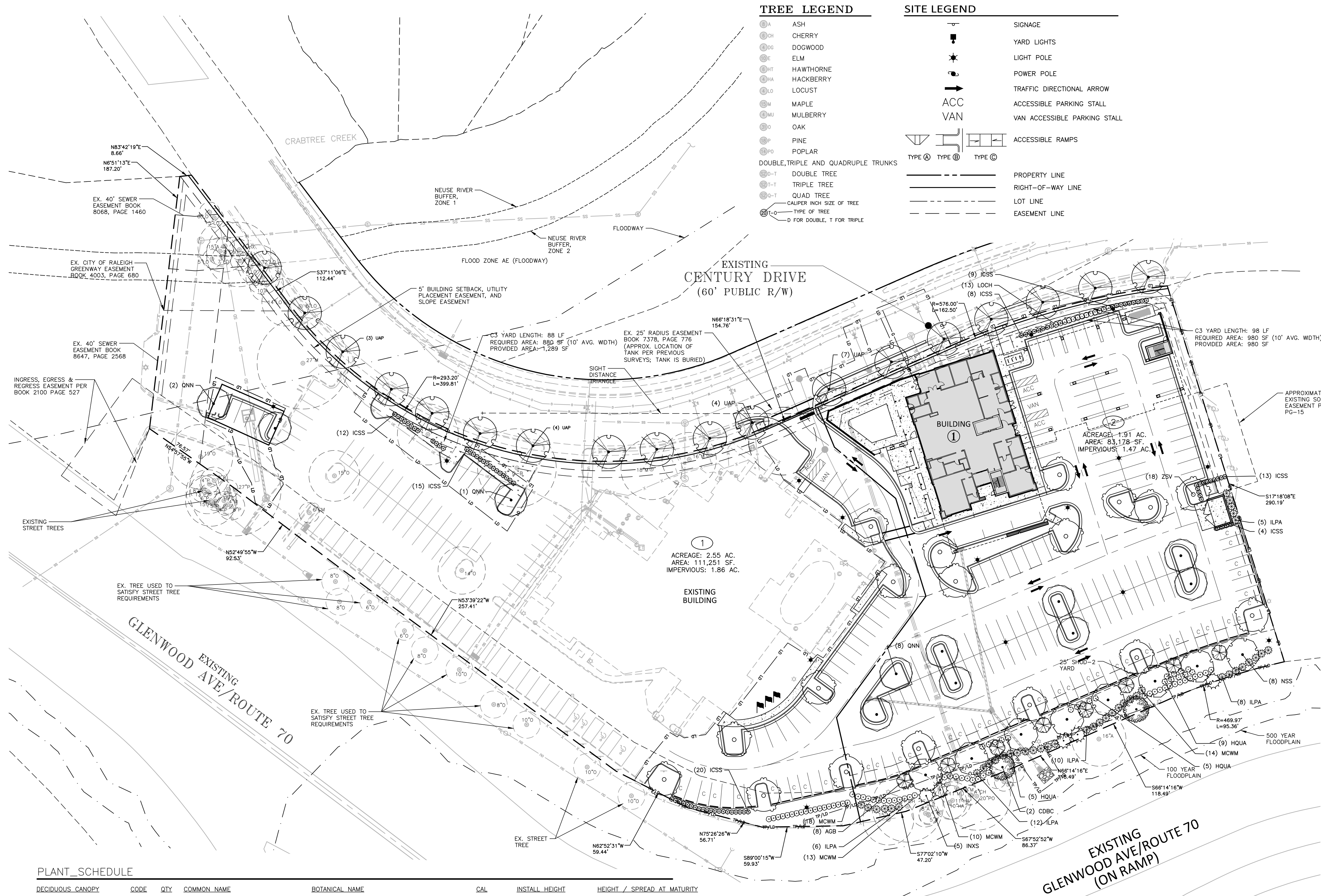
PROJECT NO.	SPEC-16988
FILENAME	SPEC16988-ASR-U1
CHECKED BY	LV
DRAWN BY	JLB
SCALE	1"=20'
DATE	4.12.2019

SHEET





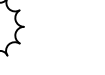



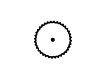


DETAILED UTILITY PLAN

C-9

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PLANT SCHEDULE

DECIDUOUS CANOPY	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	INSTALL HEIGHT	HEIGHT / SPREAD AT MATURITY
	NSS	8	Sour Gum Used to satisfy VSP req's.	Nyssa sylvatica	3.5" min	14' min	40'-60' H./ 20'-30' W.
	QNN	11	Nuttall Oak Used to satisfy VSP req's.	Quercus nuttalli	3.5" min	10' min	40'-60' H./ 30'-60' W.
	UAP	18	American Elm Used to satisfy street tree req's.	Ulmus americana 'Princeton'	3" min	10' min	75'-125' H./ 60'-120' W.
	ZSV	18	Sawleaf Zelkova Used to satisfy VSP req's.	Zelkova serrata 'Village Green'	3" min	10' min	50'-70' H./ 30'-50' W.
EVERGREEN CANOPY	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	INSTALL HEIGHT	HEIGHT / SPREAD AT MATURITY
	CDBC	2	Bracken's Best Deodar Cedar Used to satisfy SHOD-2 req's.	Cedrus deodara 'Bracken's Best Cedar'	2" min	8' min	30'-50' H./ 30'-40' W.
	INXS	5	Nellie Stevens Holly Used to satisfy SHOD-2 req's.	Ilex x 'Nellie R Stevens'	2" min	8' min	30'-40' H./ 10'-15' W.
UNDERSTORY DECIDUOUS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	INSTALL HEIGHT	HEIGHT / SPREAD AT MATURITY
	AGB	8	'Autumn Brilliance' Serviceberry Used to satisfy SHOD-2 req's.	Amelanchier x grandiflora 'Autumn Brilliance'	1.5" min	6' min	15'-25' H./ 10'-20' W.
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	INSTALL HEIGHT	HEIGHT / SPREAD AT MATURITY	
	HQUA	19	Oakleaf Hydrangea Deciduous Shrub	Hydrangea quercifolia	42" min	4'-6' H. / 4'-6' W.	
	ICSS	81	Steeds Japanese Holly Evergreen Shrub	Ilex crenata 'Steeds'	42" min	6'-8' H. / 3'-4' W.	
	ILPA	41	Anise Tree Evergreen Shrub	Illicium parviflorum	42" min	6'-10' H. / 6'-10' W.	
	LOCH	13	Ruby Red Loropetalum Evergreen Shrub	Loropetalum chinense 'Ruby Red'	42" min	6'-8' H. / 4'-6' W.	
	MCWM	55	Wax Myrtle Evergreen Shrub. Used to satisfy Shod-2/C3 Yard req's	Myrica cerifera	42" min	8'-15' H. / 6'-10' W.	

TREE LEGEND

- ASH
- CHERRY
- DOGWOOD
- ELM
- HAWTHORNE
- HACKBERRY
- LOCUST
- MAPLE
- MULBERRY
- OAK
- PINE
- POPLAR
- DOUBLE, TRIPLE AND QUADRUPLE TRUNKS
- DOUBLE TREE
- TRIPLE TREE
- QUAD TREE
- CALIPER INCH SIZE OF TREE
- TYPE OF TREE
- D FOR DOUBLE, T FOR TRIPLE

SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- ACCESSIBLE RAMPS
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE

LANDSCAPE CALCULATIONS

STREET TREES:

CENTURY DRIVE: 750 LF
LOT 1: 317 LF (7 TREES REQUIRED/PROVIDED)
LOT 2: 556 LF (11 TREES REQUIRED/PROVIDED)
GLENWOOD AVE: 480 LF
LOT 2: 480 LF (12 TREES REQUIRED/PROVIDED)*
*STREET TREES MET W/EXISTING VEGETATION

VEHICLE USE AREA:

LOT 1 VEHICLE USE AREA: 39,440 SF
TREES REQUIRED: 20 TREES
TREES PROVIDED: 20 TREES
LOT 2 VEHICLE USE AREA: 114,830 SF
TREES REQUIRED: 8 TREES
TREES PROVIDED: 9 TREES

SHOD-2:

SHOD-2: 332 LF
DECIDUOUS SHADE TREES REQUIRED/PROVIDED: 10 TREES (3/100 LF)
(2 MET W/EXISTING VEGETATION)
EVERGREEN SHADE TREES REQUIRED/PROVIDED: 7 TREES (2/100 LF)
UNDERSTORY TREES REQUIRED/PROVIDED: 10 TREES (3/100 LF)
(2 MET W/EXISTING VEGETATION)
SHRUBS REQUIRED/PROVIDED: 54 TREES (16/100 LF)
MAXIMUM ALLOWABLE DECIDUOUS SHRUBS: 22 SHRUBS (40%)
PROVIDED DECIDUOUS SHRUBS: 19 SHRUBS (HYDRANGEA)

C3 YARD:

LOT 1 CENTURY DR: 88 LF
SHRUBS REQUIRED/PROVIDED: 27 SHRUBS (30/100 LF)
LOT 2 CENTURY DR: 98 LF
SHRUBS REQUIRED/PROVIDED: 30 SHRUBS (30/100 LF)

EXISTING CONDITIONS:

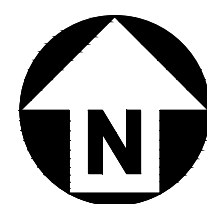
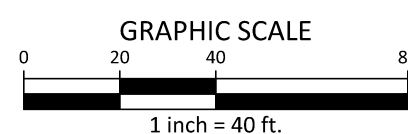
- EXISTING CONDITIONS FROM AMERICAN SURVEY AND MAPPING INC.
- TREE INVENTORY COMPLETED BY S&C.

NOTES:

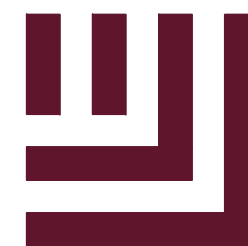
- NO TREES SHALL BE PLANTED WITHIN 10' OF A FIRE HYDRANT (AT MATURE GROWTH).
- NO TREES SHALL BE PLANTED WITHIN 20' OF A PARKING LOT LIGHT FIXTURE.
- ALL TREES LOCATED WITHIN A SIGHT DISTANCE TRIANGLE SHALL BE LIMBED TO A MINIMUM 8' ABOVE FINISHED GRADE.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
- A TREE IMPACT PERMIT IS REQUIRED PRIOR TO SUBDIVISION OR ISSUANCE OF BUILDING PERMITS, WHICH EVER OCCURS FIRST, FOR TREES INSTALLED IN THE PUBLIC RIGHTS-OF-WAY.
- CONTRACTOR SHALL REPLACE ANY EXISTING STREET TREE WHICH IS DAMAGED OR DESTROYED DURING CONSTRUCTION WITH AN EQUAL SPECIES AND SIZE TO BE APPROVED BY LANDSCAPE ARCHITECT AND/OR GOVERNING AGENCY.
- ALL EXISTING STREET TREES AND THEIR CRITICAL ROOT ZONES SHALL BE PROTECTED TO THE MAXIMUM EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- SEE SHEET D-1 TREE AND SHRUB INSTALLATION DETAILS. SEE NOTES SHEET FOR LANDSCAPE INSTALLATION NOTES.

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PLAN INFORMATION

PROJECT NO. SPEC-16988
FILENAME SPEC16988-ASR-LS1
CHECKED BY CMV
DRAWN BY CMV
SCALE 1"=40'
DATE 4.12.2019

SHEET

LANDSCAPE PLAN

LS-1

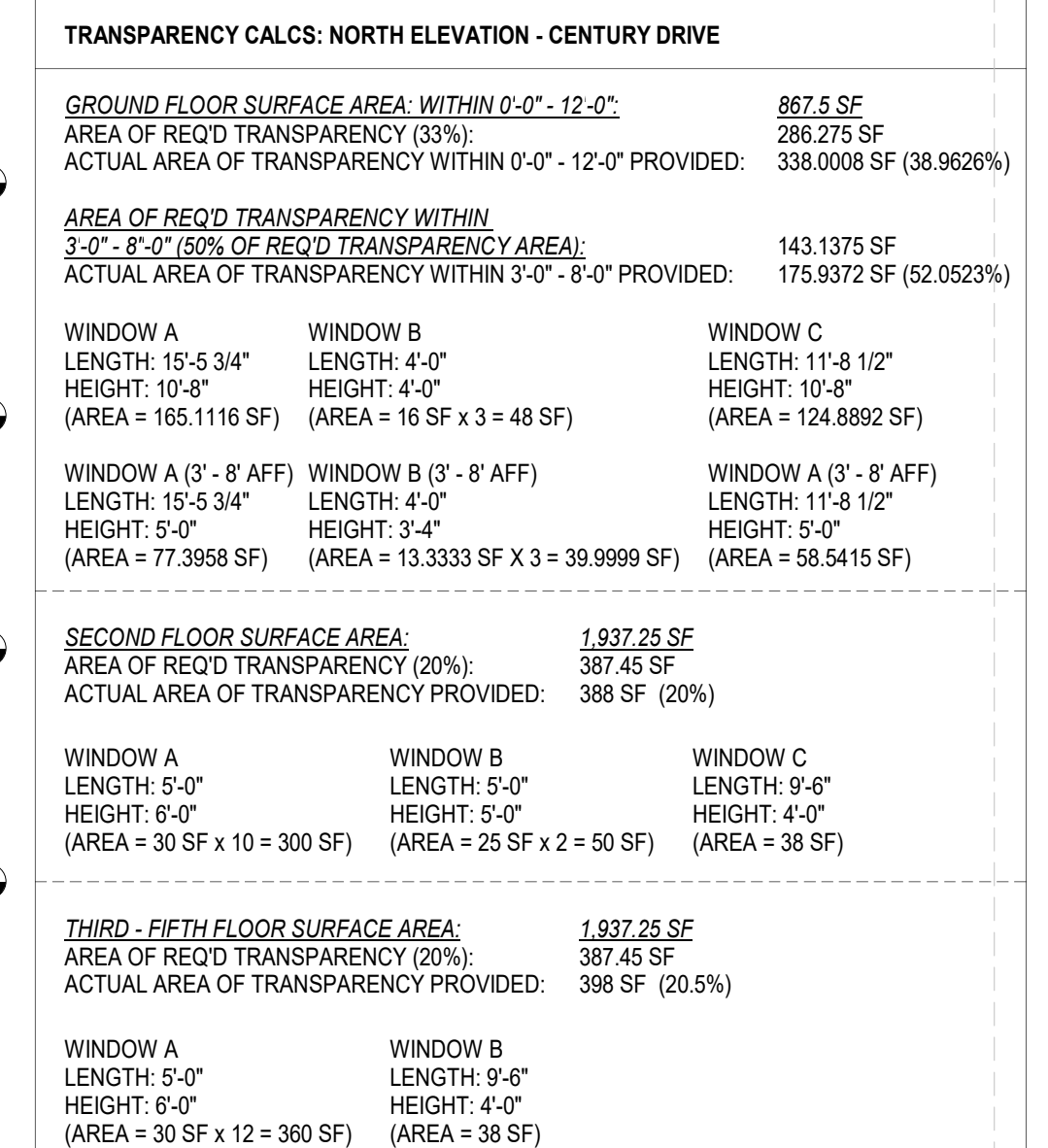
	EXISTING			PROPOSED		
	HIGH	LOW	AVERAGE	HIGH	LOW	AVERAGE
NORTH PLANE	232.90	230.90	231.90	233.50	232.00	232.75
WEST PLANE	232.90	230.40	231.65	232.95	232.20	232.58
SOUTH PLANE	230.91	230.00	230.46	232.20	230.40	231.30
EAST PLANE	231.89	230.00	230.95	232.00	230.40	231.20
BUILDING 1 AVERAGE OF WALL PLANES			231.24	231.96		
MOST RESTRICTIVE CONDITION OCCURS IN THE EXISTING CONDITIONS WITH AN AVERAGE GRADE OF 231.24'.						

The drawing shows a multi-story building facade with the following details:

- Roof:** ROOF ELEVATION = 287'99". MAXIMUM ALLOWABLE ELEVATION = 381.24'. PARAPET height is 4'-0".
- Floors:**
 - LEVEL 5: 45'-0"
 - LEVEL 4: 35'-0"
 - LEVEL 3: 25'-0"
 - LEVEL 2: 15'-0"
 - LEVEL 1: 0'-0"
- Materials:** EIFS (Exterior Insulation Finish System), NICHIA (Niche), and BRICK are indicated.
- Dimensions:**
 - Overall height from ground level to roof parapet: 55'-0".
 - Overall width: 123'-0".
 - Individual window and panel sizes range from 6'-0" to 11'-2".
- Notes:**
 - EX. GRADE = 232.90' (HIGH)
 - PR. GRADE = 232.95' (HIGH)
 - EX. GRADE = 230.40' (LOW)
 - PR. GRADE = 232.20' (LOW)
 - MOST RESTRICTIVE GRADE (EXISTING CONDITIONS) = 231.24'
 - FROSTED GLASS - NOT INCLUDED IN TRANSPARENCY CALC.

**ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW PER
UDO SEC 7.2.5.D.2.A**

AP004 1/8" = 1'-0"



AP004 1/8" = 1'-0"

AVERAGE GRADE DETERMINATION:

	EXISTING			PROPOSED		
	HIGH	LOW	AVERAGE	HIGH	LOW	AVERAGE
NORTH PLANE	232.90	230.90	231.90	233.50	232.00	232.75
WEST PLANE	232.90	230.40	231.65	232.95	232.20	232.58
SOUTH PLANE	230.91	230.00	230.46	232.20	230.40	231.30
EAST PLANE	231.89	230.00	230.95	232.00	230.40	231.20
BUILDING 1 AVERAGE OF WALL PLANES			231.24			
MOST RESTRICTIVE CONDITION OCCURS IN THE EXISTING CONDITIONS WITH AN AVERAGE GRADE OF 231.24'.						

* Spot elevations referenced on this sheet correspond to spot elevation on the Detailed Grading Plan, Sheet C-7.



2 EAST ELEVATION - PRESENTATION
1/8" = 1'-0"

NOTES:
ALL BUILDING MATERIAL REFERENCES ARE ONLY SHOWN TO IDENTIFY "SIGNIFICANT CHANGE IN MATERIAL" THAT BREAKS UP BLANK FACADES PER UDO SEC.1.5.10.A.
ALL LEVEL DATUM IDENTIFY HEIGHTS OF TOP OF FINISHED FLOOR OR TOP OF ROOF STRUCTURE.
NEGATIVE DIMENSIONS ON FACADES IDENTIFY HOW FAR BACK WALLS ARE FOR FOREMOST FACADE IN EACH ELEVATION.
ALL GLAZING ALLOW VIEWS INTO THE GROUND STORY USE FOR A DEPTH OF AT LEAST 8 FEET PER UDO SEC.1.5.9.B.3
GLASS TO EXCEED 80% TRANSPARENCY AND HAVE AN EXTERNAL REFLECTANCE OF LESS THAN 15% PER UDO SEC 1.5.9.B.4
ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW PER UDO SEC 7.2.5.D.2A



1 SOUTH ELEVATION - PRESENTATION
1/8" = 1'-0"

TRANSPARENCY CALCS: SOUTH ELEVATION - GLENWOOD AVENUE			
GROUND FLOOR SURFACE AREA: WITHIN 0'-0" - 12'-0":		886.25 SF	
AREA OF REQ'D TRANSPARENCY (33%):		292.4625 SF	
ACTUAL AREA OF TRANSPARENCY WITHIN 0'-0" - 12'-0" PROVIDED:		294.0491 SF (33.179%)	
AREA OF REQ'D TRANSPARENCY WITHIN 3'-0" - 8'-0" (50% OF REQ'D TRANSPARENCY AREA):		146.23125 SF	
ACTUAL AREA OF TRANSPARENCY WITHIN 3'-0" - 8'-0" PROVIDED:		178.6875 SF (60.768%)	
DOOR A LENGTH: 7'-6 3/4" HEIGHT: 7'-0" (AREA = 52.9375 SF)	WINDOW A LENGTH: 16'-4 1/4" HEIGHT: 10'-8" (AREA = 174.4449 SF)	WINDOW B LENGTH: 13'-4" HEIGHT: 5'-0" (AREA = 66.6667 SF)	
SECOND - FIFTH FLOOR SURFACE AREA:		1,978.8125 SF	
AREA OF REQ'D TRANSPARENCY (20%):		395.625 SF	
ACTUAL AREA OF TRANSPARENCY PROVIDED:		407.5 SF (20.59%)	
WINDOW A LENGTH: 5'-0" HEIGHT: 6'-0" (AREA = 30 SF x 10 = 300 SF)	WINDOW B LENGTH: 10'-0" HEIGHT: 3'-0" (AREA = 30 SF)	WINDOW C LENGTH: 5'-0" HEIGHT: 8'-0" (AREA = 40 SF)	WINDOW D LENGTH: 12'-6" HEIGHT: 3'-0" (AREA = 37.5 SF)