



# Administrative Approval Action

Case File / Name: ASR-SR-32-2019  
904 & 906 Method Road Duplex

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located north of Western Boulevard on the west side of Method Road at 904 and 906 Method Road.

**REQUEST:** Development of two attached houses (duplexes), both 2 stories, on an existing two lots totalling 0.488 acres tract, zoned R-10 and SRPOD, into a proposed combined 6,852 square foot/total of 4 units, 2 units in each duplex building structure.

The two existing lots are a part of an approved subdivision plan SUB-S-57-2016 "Method Oaks Subdivision" recorded in BM 2017 PG 2052. Lot 1 being 10,637 sf/.244 acres & Lot 2 being 10,647 sf/.244 acres. The lots are currently vacant and the demolition permit is noted on the coversheet of the ASR plans (note #2).

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated October 16, 2019 by CMS Engineering PLLC.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

### **General**

1. On building elevation Sheet A-3, on the "east elevation" illustration, the "lowest" spot grade is shown along the elevation plane.
2. The gross floor area for each individual building is indicated on the building permit plans for both structures.

### **Engineering**

3. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
4. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3) for the street trees if documentation that the surety for the street trees was paid prior to recordation of lots cannot be provided.

### **Public Utilities**



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5. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

6. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
7. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
8. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a commercial subdivision of one-half acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
9. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
10. If total land disturbance will be over 12,000 sq. ft. for multiple buildings, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)
11. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
12. All stormwater control measures and means of transporting stormwater runoff to and from any stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## Urban Forestry

13. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 3 street trees along Method Road.

***The following are required prior to issuance of building occupancy permit:***

## Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review



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approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

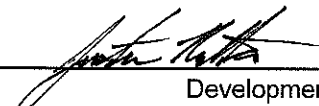
**3-Year Expiration Date:** November 26, 2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

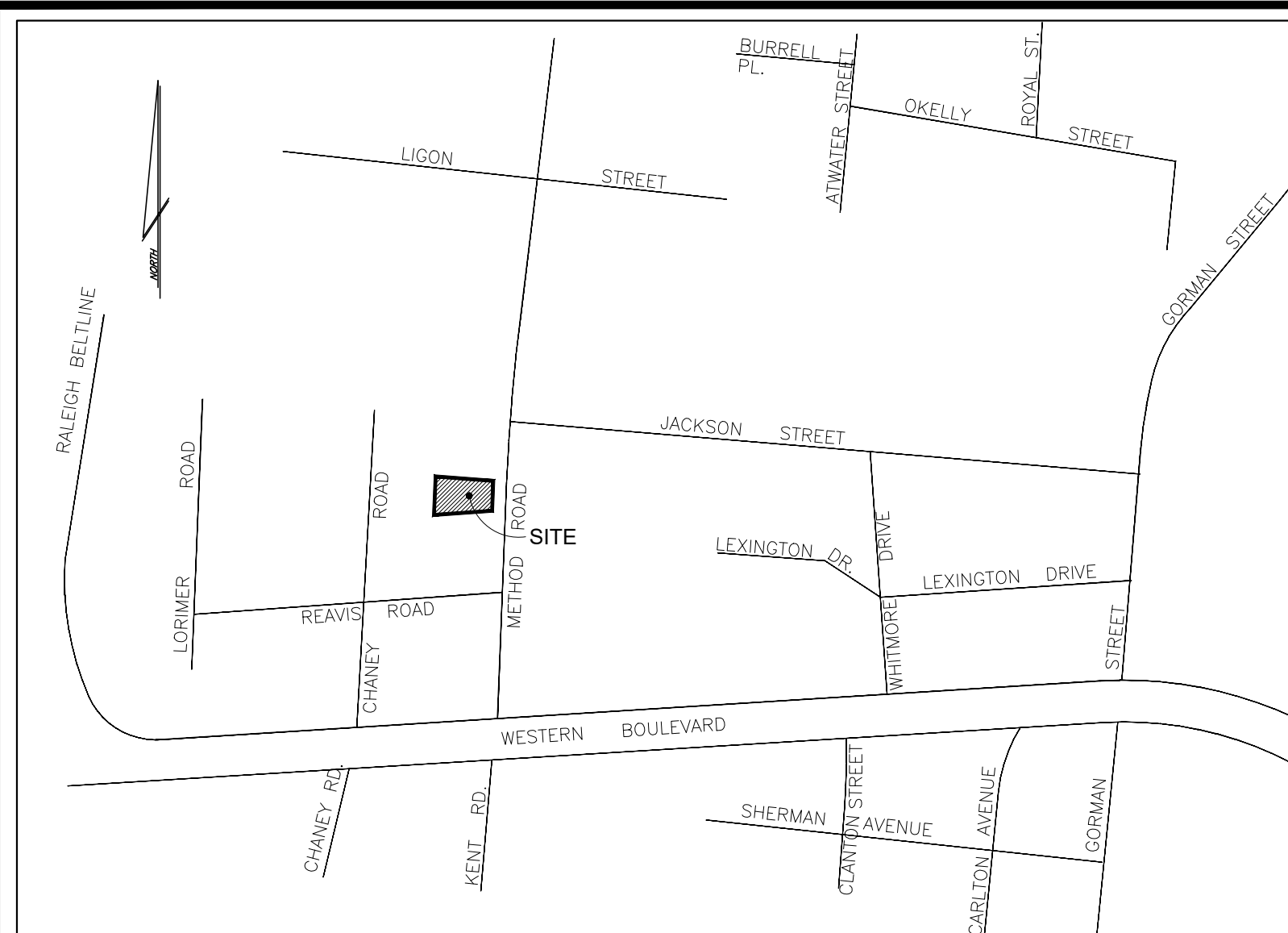
I hereby certify this administrative decision.

Signed:  Date: 11/27/2019  
Development Services Dir/Designee  
Staff Coordinator: Jermon Purifoy



# 904 & 906 Method Road Duplex Site Plan

ASR-SR-32-2019



VICINITY MAP

SCALE: 1"=500'

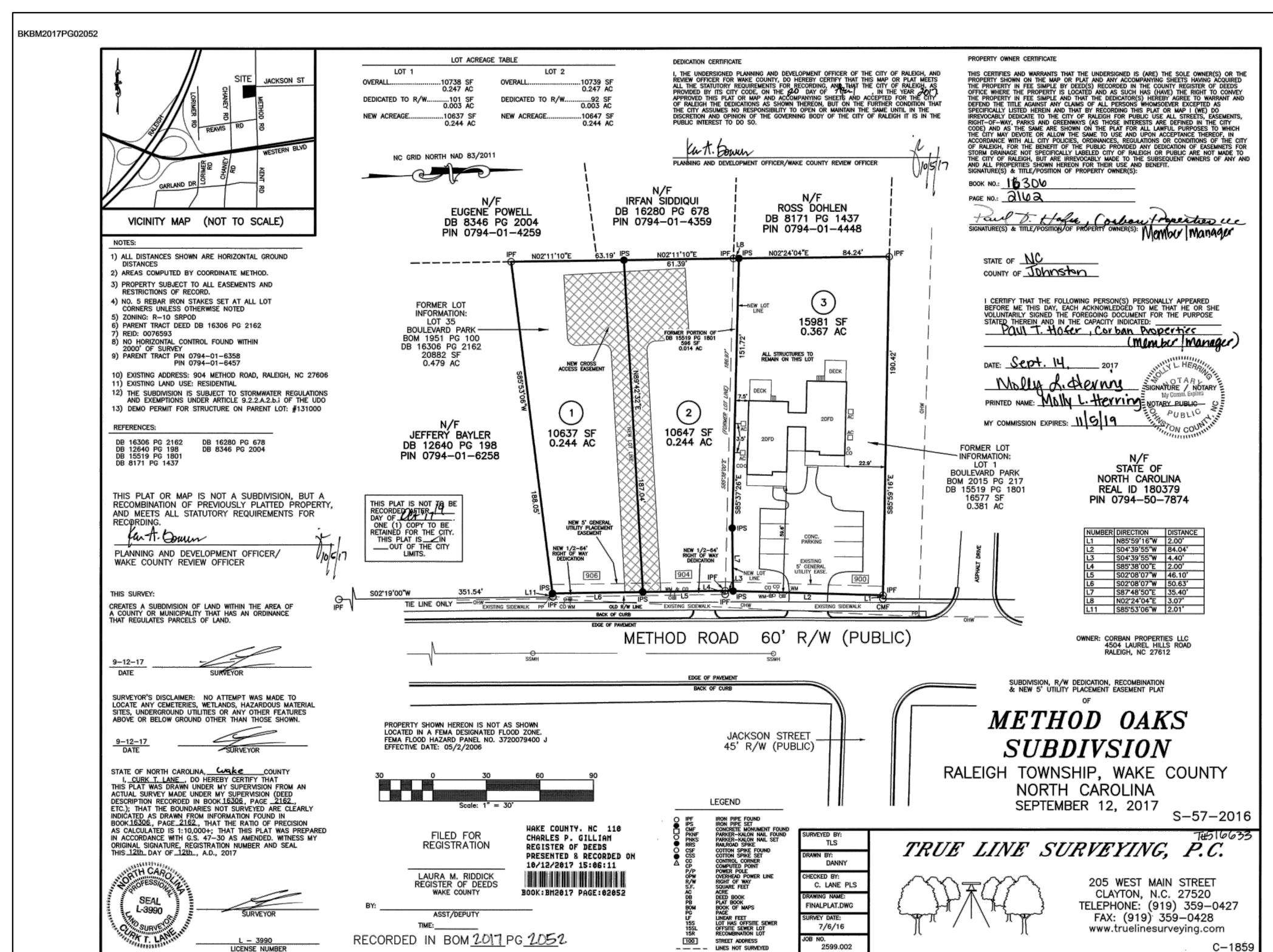
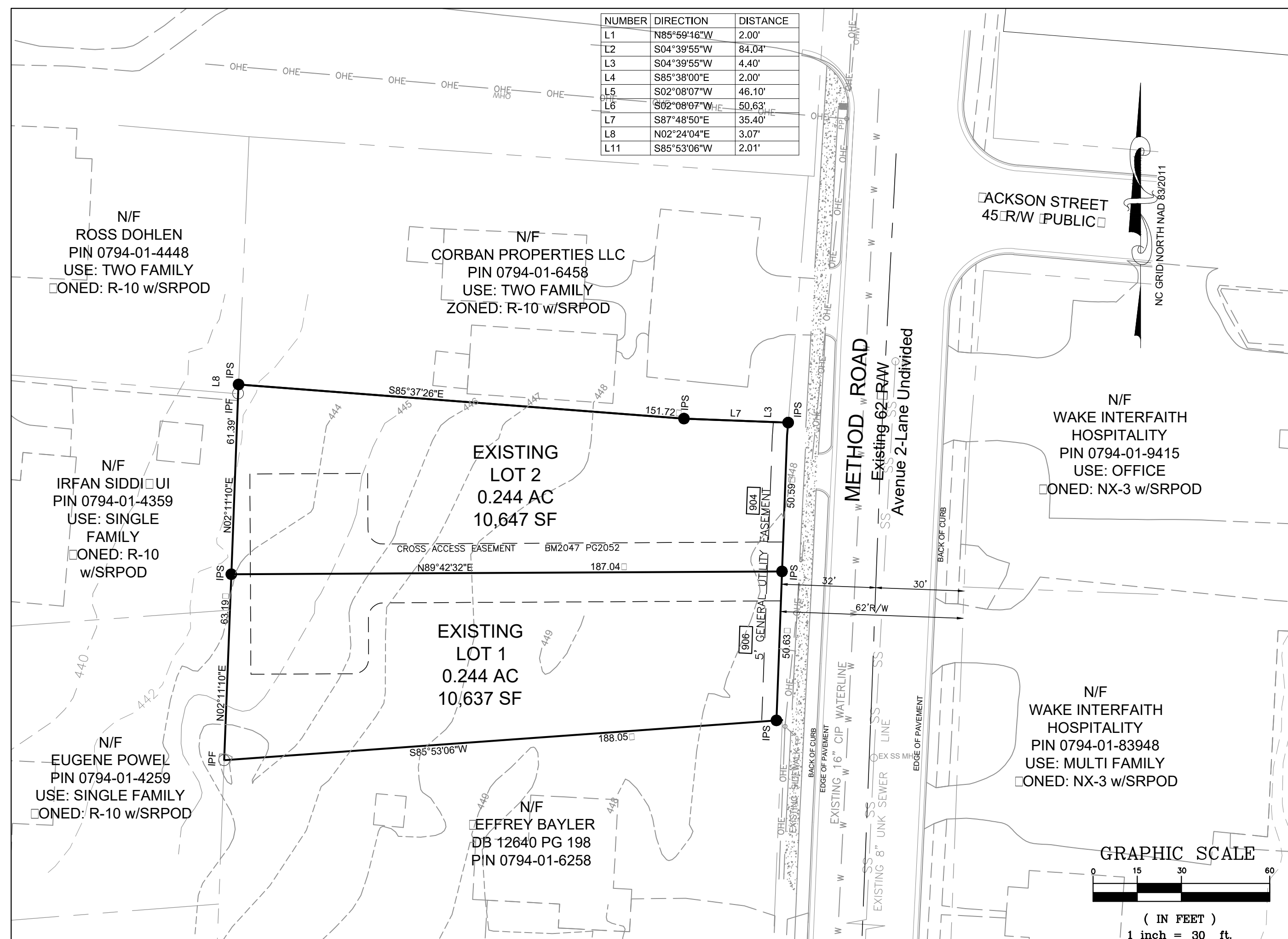
## INDEX

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Phase Number(s)	1
Number of Lot(s)	2
Lot Number(s) by Phase	1,2
Number of Units	4
Livable Buildings	2
Open Space?	No
Number of Open Space Lots	0
Public Water (LF)	0
Public Sewer (LF)	0
Public Street (LF) - FULL	0
Public Street (LF) - PARTIAL	0
Public Sidewalk (LF)	0
Street Signs (LF)	0
Water Service Stubs	3
Sewer Service Stubs	3

NOTES:

1. PRELIMINARY SUBDIVISION APPROVAL CASE S-57-16, Trans. #485284, recorded in BM 2017 Pg 205.
2. DEMOLITION PERMIT NO. BL-131000.
3. BOUNDARY SURVEY AND ALL EXISTING ON-SITE AND OFF-SITE FEATURES PROVIDED BY TRUE LINE SURVEYING, PC.
4. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH DEVELOPMENT STANDARDS AND SPECIFICATIONS.
5. ALL NEW DRIVEWAY LOCATIONS WILL BE DETERMINED AND PERMITTED AT SITE PLAN SUBMITTAL PER CITY OF RALEIGH STANDARDS.
6. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
7. SOLID WASTE SERVICE WILL BE PROVIDED AT PUBLIC STREET BY INDIVIDUAL 96-GAL. STANDARD CITY OF RALEIGH RESIDENTIAL SOLID WASTE CART PER CITY OF RALEIGH WASTE DESIGN MANUAL.
8. A SURETY OF 125% OF ESTIMATED CONSTRUCTION COST IS REQUIRED FOR THE CONSTRUCTION COSTS OF ALL PUBLIC IMPROVEMENTS WHICH ARE NOT COMPLETE AT THE TIME OF BUILDING PERMIT.
9. PER SEC. 9.1, THIS PROJECT IS EXEMPT FROM CITY OF RALEIGH TREE CONSERVATION REQUIREMENTS.
10. RESIDENTIAL INFILL RULES APPLY (SEC.2.2.7) AND PROPOSED SETBACKS AND BUILDING HEIGHTS ARE BASED ON SAID RULES.



## PLAN SUMMARY

ADDRESS	Lot 1 - 906 Method Rd. Lot 2 - 904 Method Rd.
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NO. OF LOTS	2
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WAKE CO. PINs	Lot 1 - 0794-01-6355
	Lot 2 - 0794-01-6450

REFERENCE	BM 2017 PG 2052 S-57-16 TR 485284
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□ ONING	R-10 w/SRPOD
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LOT AREA	Lot 1, 906 - 0.244 ac
	Lot 2, 904 - 0.244 ac

OWNER	Lot 1	John & Caroline Talton 3303 Clark Avenue Raleigh, NC 27607
	Lot 2	Corban Properties LLC 4424 Laurel Hills Rd. Raleigh, NC 27612

LOT 1 No. of Duplex Units	2
No. of Bedrooms per unit	4
Lot 1 Total No. of Bedrooms	8

LOT 2 No. of Duplex Units	2
No. of Bedrooms per unit	4
Lot 2 Total No. of Bedrooms	8

PARKING REQUIRED	2sp/unit x 4 units	8 spaces
PARKING PROVIDED		16 spaces

## SETBACK INFORMATION

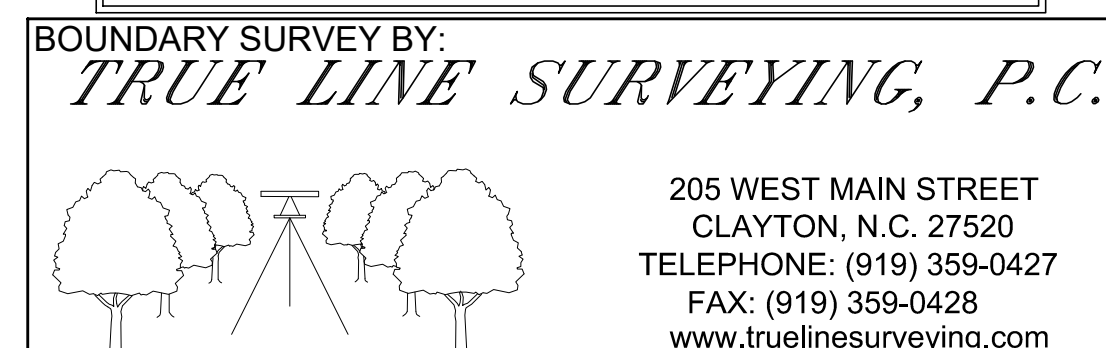
REQUIRED FOR R-6 ZONING:

FRONT - 10'  
FRONT INFILL to C - 69.8' to 94.4'  
Distance from C to R/W 32'  
FRONT INFILL to R/W - 37.8' to 62.4'  
SIDE - 5' SUM 15'  
REAR - 20'

PROVIDED [From R/W]  
FRONT - 62.4'  
SIDE - Lot 1 - 7.5', 11.56' Sum 19.06'  
Lot 2 - 8.7', 12.33' Sum 21.0'  
REAR - Lot 1 - 66.47', Lot 2 - 67.2'

**STORMWATER EXEMPTION:**

PER SEC. 9.2.2.A.3, THIS PROJECT IS EXEMPT FROM CITY OF RALEIGH STORMWATER REQUIREMENTS.



ASR-SR-32-2019  
TRANS. 596127

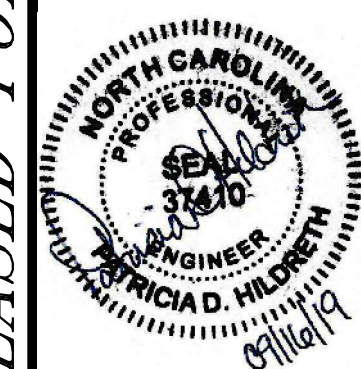
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CMS Engineering, PLLC

P.O. Box 780  
nightdale, NC 27545  
PHONE: (919) 833-0830  
EMAIL: info@cmsengineering.net

P-1867



906 METHOD ROAD  
DUPLEXES  
SITE REVIEW  
ASR-SR-32-2019

## REVISIONS

TITLE &  
EXISTING  
CONDITIONS

DWG NAME:

904Method SR1  
DRAWN:  
PDH

CHECKED:	PDH
PLAN DATE:	

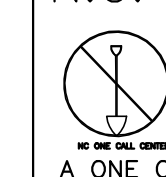
05/06/15
DATE ISSUED
09/16/15

SCALE: AS SHOWN

SP-1

SP-1

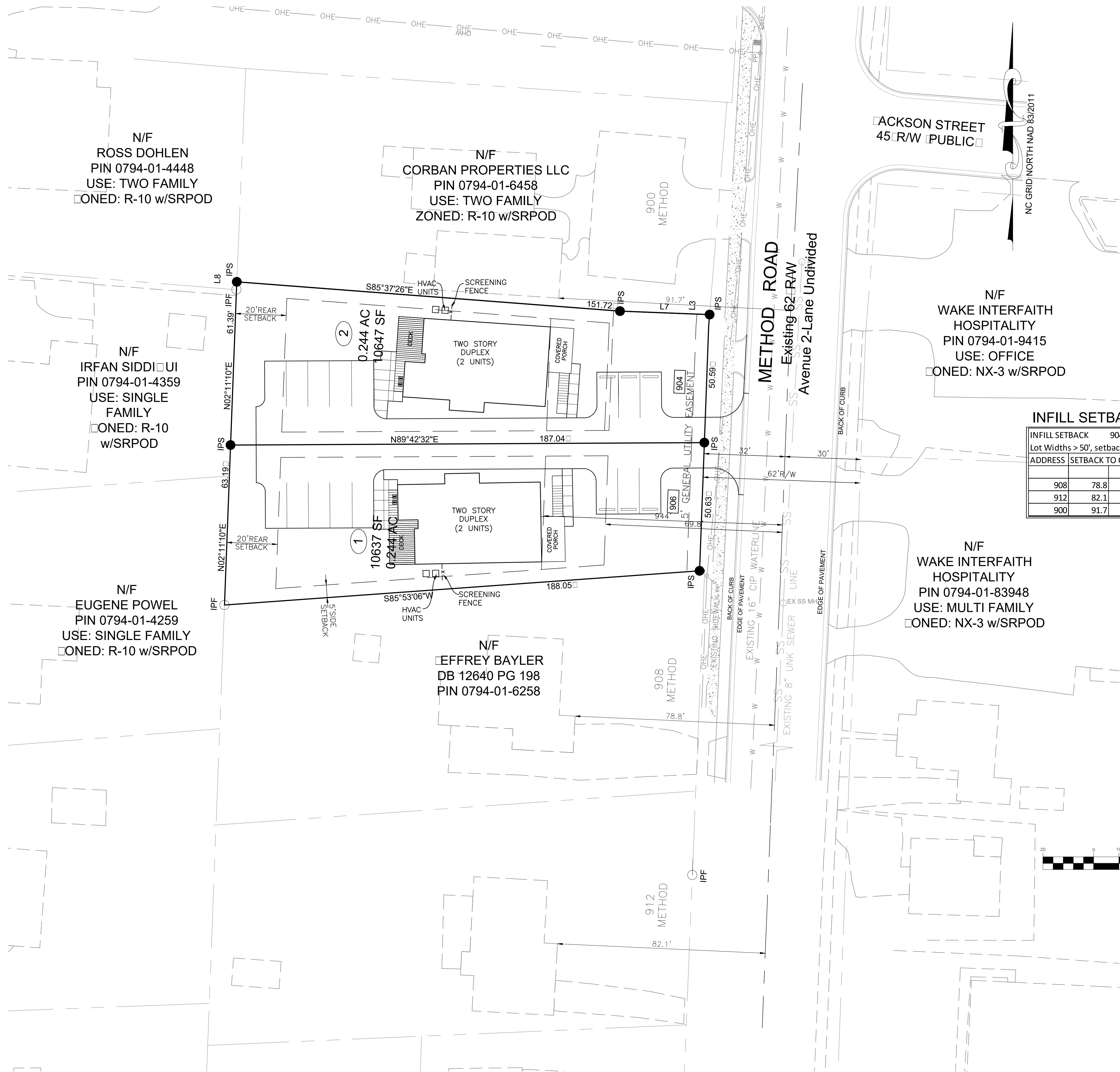
N.C. UNDERGROUND UTILITIES



3 DAYS BEFORE DIGGING CALL  
811

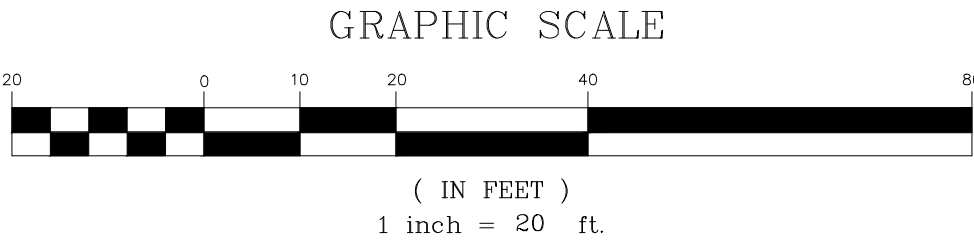
A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY





INFILL SETBACK TABLE					
INFILL SETBACK 904-906 Method					
Lot Widths > 50', setback within 15% of Samples					
ADDRESS	SETBACK TO CENTERLINE				
		Median	+15%	-15%	
908	78.8	82.1	94.4	69.8	
912	82.1				
900	91.7	Setback range (to CL)=		69.8	to 94.4

- LEGEND**
- Computed Point
  - Existing Iron Pipe
  - Fire Hydrant
  - Utility Pole
  - Sanitary Sewer Manhole
  - Water Valve
  - Proposed Water Meter
  - Proposed Sewer Clean Out



N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL 811

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

CMS Engineering, PLLC

P.O. Box 780

Knightdale, NC 27545

PHONE: (919) 833-0830

EMAIL: info@cmsengineering.net



904 & 906 METHOD ROAD  
DUPLEXES  
SITE REVIEW

REVISIONS

INFILL  
COMPATIBILITY  
PLAN

DWG NAME:  
904Method SR1

DRAWN:  
PDH

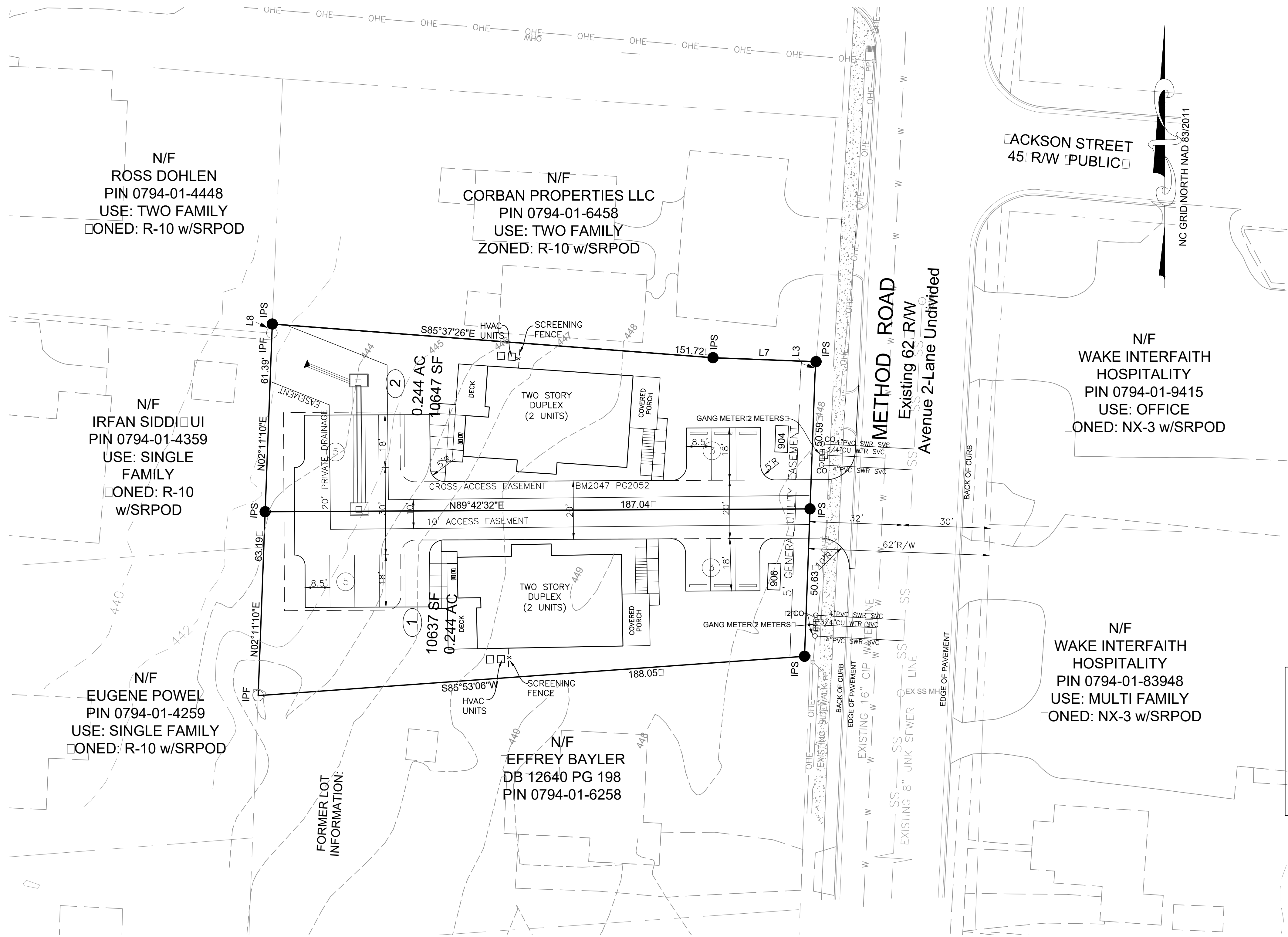
CHECKED:  
PDH

PLAN DATE:  
09/16/19

DATE ISSUED:  
09/16/19

SCALE: 1"=20'

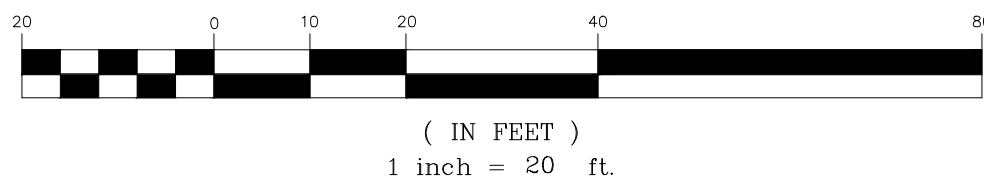




REQUIRED PARKING		
LOT 1 DUPLEX		
PARKING REQUIRED		
2 SP/UNIT	4 SP	
PROVIDED	8 SP	
LOT 2 DUPLEX		
PARKING REQUIRED		
2 SP/UNIT	4 SP	
PROVIDED	8 SP	

- LEGEND**
- Computed Point
  - Existing Iron Pipe
  - Fire Hydrant
  - Utility Pole
  - Sanitary Sewer Manhole
  - Water Valve
  - WM Proposed Water Meter
  - co\* Proposed Sewer Clean Out

GRAPHIC SCALE



**NOTES:**

- SEWER CLEANOUTS SHALL BE LOCATED ON THE RIGHT-OF-WAY LINE.
- WATER METERS SHALL BE INSTALLED WITH THE BACK OF THE METER AT THE RIGHT-OF-WAY LINE IF POSSIBLE. IF THERE IS EXISTING SIDEWALK OR NEW SIDEWALK TO BE INSTALLED, SET METERS AT BACK EDGE OF SIDEWALK AND RECORD 2'x2' EASEMENT AROUND PORTION OF METER THAT IS OUTSIDE OF THE RIGHT-OF-WAY.
- A TREE IMPACT PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT OR PRIOR TO SUBDIVISION, WHICHEVER HAPPENS FIRST.

**STORMWATER EXEMPTION:**  
PER SEC. 9.2.2.A.3, THIS PROJECT IS EXEMPT FROM CITY OF RALEIGH STORMWATER REQUIREMENTS.

N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL  
811  
A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

NOT RELEASED FOR CONSTRUCTION

904 & 906 METHOD ROAD  
DUPLEXES  
SITE REVIEW

REVISIONS

SITE &  
UTILITY  
PLAN

DWG NAME:

904Method SR1

DRAWN:

PDH

CHECKED:

PDH

PLAN DATE:

05/06/19

DATE ISSUED:

09/16/19

SCALE: 1"=20'

SP-2

CMS Engineering, PLLC

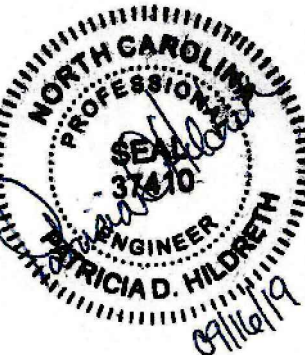
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P-1867





904 & 906 Method Road			
Impervious Areas			
Lot Area	21,284 sf	0.49 ac	
*PRE		*All existing impervious to be removed.	
House	1,158 sf		
Deck @ 50%	64 sf		
Conc D/W, Porch	2,508 sf		
Sheds	387 sf		
4,117 sf impervious			
POST			
Buildings	3,760 sf		
Deck @ 50%	180		
Parking, S/W	7,453		
LAWN	9,891 sf		
11,393 sf impervious			
9,891 sf pervious			
21,284 sf total			

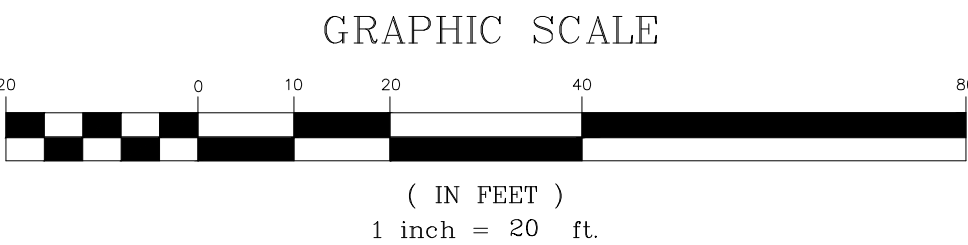
STORMWATER NOTES:  
Lots drain to two different places as shown in Drainage Area Map in Stormwater Impact Analysis. Drainage Area 1 is front of lots which drain to Method Road. This water goes to inlets at the intersection of Reavis and Lorimer Roads and does not impact lot with existing flood issues. Since 904/906 Method are exempt from Stormwater Regulations, the area that does not drain to the lot with flood issues is not considered in the underground pipe detention sizing.

Total Area	21,284 sf
Lot 1	10,637 sf
Lot 2	10,647 sf
*Drainage Area 1 Pre	6,311 sf
*Drainage Area 2 Post	4,961 sf
*Stormwater exempt	
Drainage Area 2 Pre	14,941 sf
Existing Buildings	1,545 sf
Existing Deck @ 50%	64 sf
Existing Driveway	1,558 sf
Total Impervious	3,167 sf
Total Pervious	11,775 sf
Drainage Area 2 Post	16,332 sf
Buildings	3,760 sf
Deck (@ 50%)	180 sf
Parking/DW	4,614 sf
SW/Porch/Steps	726 sf
Total Impervious	9,280 sf
Total Pervious	7,052 sf

C Factors		
Drainage Area 2		
Pre	0.44	
Post	0.67	

Storm Drainage Area 2	Pre	Post	Post w/ Detention	*Pre Depth (ft)	*Post Depth (ft)	Change (ft)
2 year	0.84	1.39	0.594	396.47	396.41	-0.06
10 year	1.07	1.77	0.819	396.51	396.46	-0.05
25 year	1.23	2.04	0.975	396.54	396.5	-0.04
50 year	1.35	2.24	1.076	396.57	396.52	-0.05
100 year	1.47	2.44	1.38	396.59	396.57	-0.02

LEGEND  
○ Computed Point  
○ Existing Iron Pipe  
○ Fire Hydrant  
○ Utility Pole  
○ Sanitary Sewer Manhole  
○ Water Valve  
WM Proposed Water Meter  
co\* Proposed Sewer Clean Out



- NOTES:
- SEWER CLEANOUTS SHALL BE LOCATED ON THE RIGHT-OF-WAY LINE.
  - WATER METERS SHALL BE INSTALLED WITH THE BACK OF THE METER AT THE RIGHT-OF-WAY LINE IF POSSIBLE. IF THERE IS EXISTING SIDEWALK OR NEW SIDEWALK TO BE INSTALLED, SET METERS AT BACK EDGE OF SIDEWALK AND RECORD 2'x2' EASEMENT AROUND PORTION OF METER THAT IS OUTSIDE OF THE RIGHT-OF-WAY.
  - A TREE IMPACT PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT OR PRIOR TO SUBDIVISION, WHICHEVER HAPPENS FIRST.

N/F  
CORBAN PROPERTIES LLC  
PIN 0794-01-6458  
USE: TWO FAMILY  
ZONED: R-10 w/SRPOD

N/F  
ROSS DOHLEN  
PIN 0794-01-4448  
USE: TWO FAMILY  
ZONED: R-10 w/SRPOD

N/F  
IRFAN SIDDIQUI  
PIN 0794-01-4359  
USE: SINGLE FAMILY  
ZONED: R-10 w/SRPOD

N/F  
EUGENE POWEL  
PIN 0794-01-4259  
USE: SINGLE FAMILY  
ZONED: R-10 w/SRPOD

N/F  
EFFREY BAYLER  
DB 12640 PG 198  
PIN 0794-01-6258

N/F  
WAKE INTERFAITH HOSPITALITY  
PIN 0794-01-9415  
USE: OFFICE  
ZONED: NX-3 w/SRPOD

N/F  
WAKE INTERFAITH HOSPITALITY  
PIN 0794-01-83948  
USE: MULTI FAMILY  
ZONED: NX-3 w/SRPOD

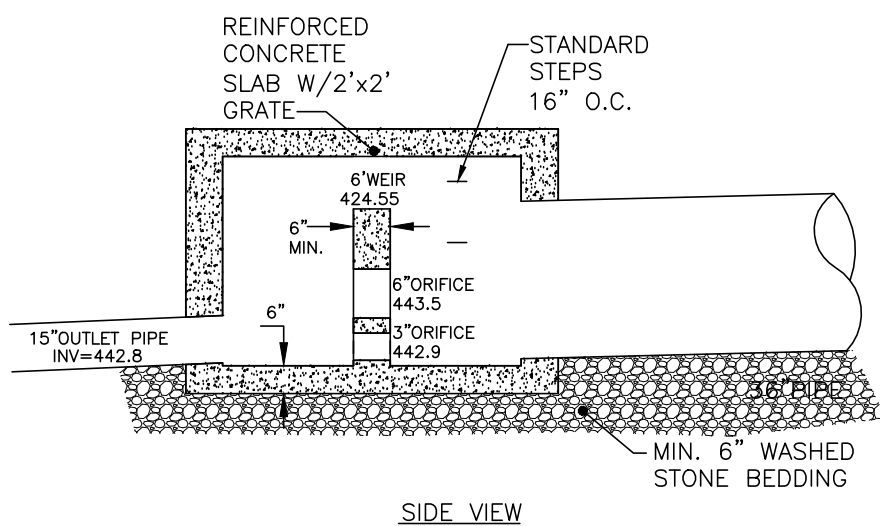
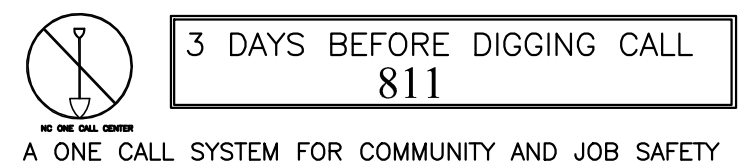
FORMER LOT INFORMATION:

904 Method							
Pre-Development			Post-Development				
	High	Low	Average		High	Low	Average
E	448.40	448.20	448.30	E	448.30	448.10	448.20
S	448.30	446.60	447.45	S	448.10	446.80	447.45
W	446.60	445.70	446.15	W	446.80	445.70	446.25
N	448.30	445.70	447.00	N	448.30	445.70	447.00
Average			447.23	Average			447.23
*pre- and post-development are same							

906 Method							
Pre-Development			Post-Development				
	High	Low	Average		High	Low	Average
E	448.90	448.50	448.70	E	448.50	448.40	448.45
S	448.70	447.50	448.10	S	448.50	447.20	447.85
W	447.50	447.50	447.50	W	447.20	446.80	447.00
N	448.90	447.50	448.20	N	448.50	446.80	447.65
		Average	448.13			Average	447.74
				*post-development is more restrictive			

STORMWATER EXEMPTION:  
PER SEC. 9.2.2.A.3, THIS PROJECT IS EXEMPT FROM CITY OF RALEIGH STORMWATER REQUIREMENTS.

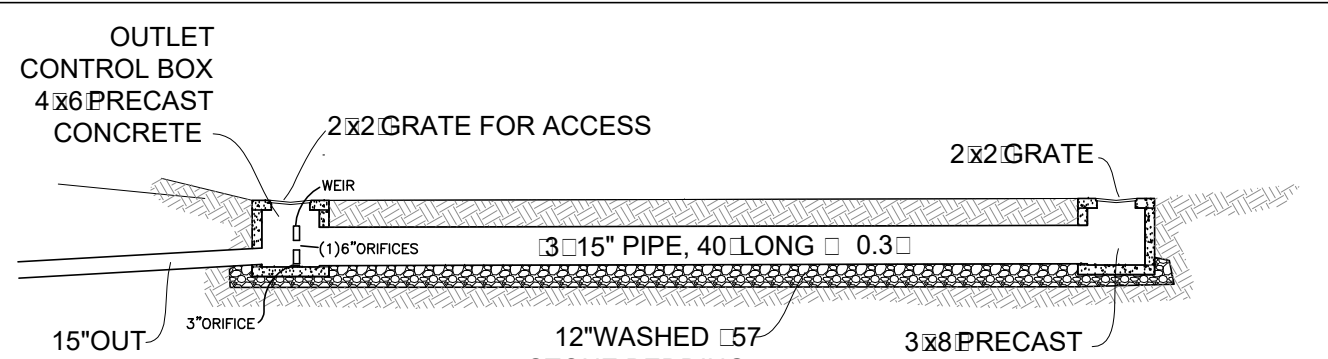
N.C. UNDERGROUND UTILITIES



NOTES:

- CONCRETE SHALL BE 4000 P.S.I. MINIMUM FOR ALL PRECAST CONCRETE CATCH BASINS.
- PRECAST CONCRETE STRUCTURES MAY ONLY BE INSTALLED TO DEPTHS CERTIFIED AS ACCEPTABLE BY THE MANUFACTURER.

STORMWATER CONTROL BOX



UNDERGROUND PIPE STORAGE

NOT TO SCALE



DO NOT PRUNE LEADER, PRUNE OR CUT ONLY DEAD OR UNHEALTHY BRANCHES

PROVIDE STAKING IF SPECIFIED. IF STAKING IS PROVIDED, PROTECT TREE WITH BROAD STRAP OR FLEXIBLE TUBING. ALLOW FLEXIBILITY IN STRAPS TO DEVELOP TRUNK TAPER. PROVIDE TURN BUCKLE AND WARNING FLAGS. REMOVE ALL STAKING AND ACCESSORIES WITHIN ONE YEAR FROM PLANTING.

THE ROOT FLARE SHALL BE PLANTED AT GRADE, NO HIGHER THAN 2" ABOVE GRADE, AND NEVER BELOW GRADE. REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE AT GRADE. TREE SHALL BE SET PLUMB

MULCH DEPTH 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM

HIGH QUALITY SOIL MIX AS SPECIFIED

WATER SAUCER SHALL BE NO MORE THAN 3" ABOVE GRADE

COMPLETELY REMOVE TOP HALF OF BURLAP LACING AND WIRE BASKET AND DISCARD FROM HOLE

ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.

3 X ROOTBALL DIAMETER

NOTES:

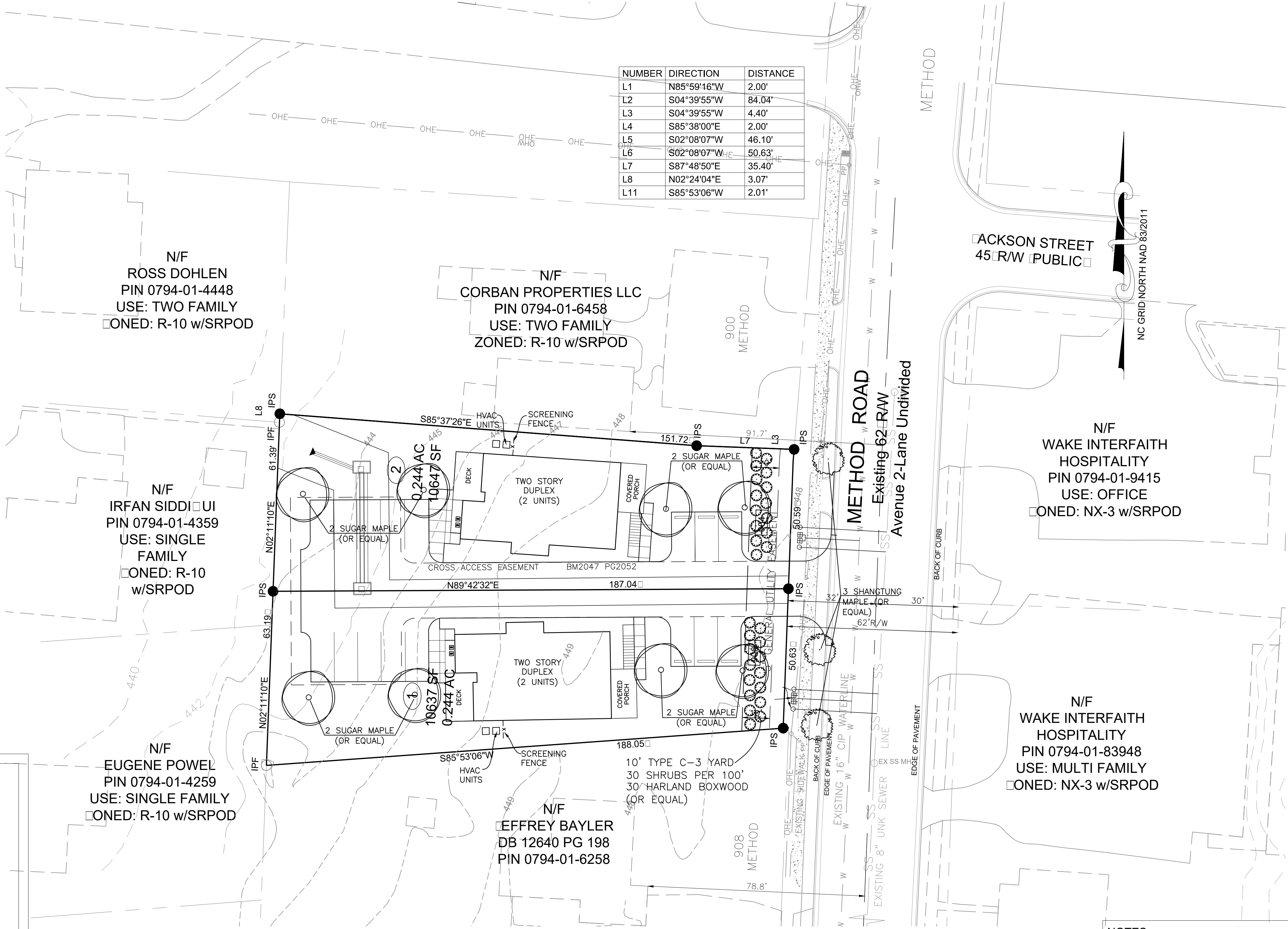
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT).
- ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
- STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
- PLANTING SEASON OCTOBER - APRIL.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPT  
WWW.RALEIGHNC.GOV

CITY OF RALEIGH  
PARKS, RECREATION AND CULTURAL RESOURCES DEPT  
REVISIONS DATE BY NOT TO SCALE

TREE PLANTING DETAIL

PRCR-03



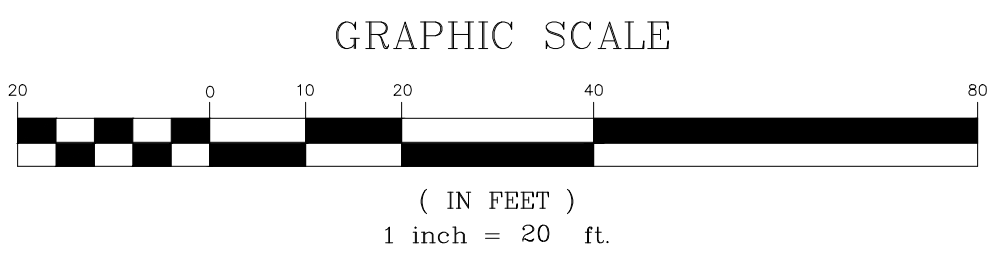
NOTES:

- THIS PARCEL IS LESS THAN 2 ACRES THEREFORE COMPLIANCE WITH ARTICLE 9.1 TREE CONSERVATION IS NOT REQUIRED.
- A TREE IMPACT PERMIT WILL BE REQUIRED PRIOR TO SUBDIVISION OR PRIOR TO ISSUANCE OF BUILDING PERMITS, WHICHEVER COMES FIRST.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL 811

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY



NOT RELEASED FOR CONSTRUCTION

CMS Engineering, PLLC

P.O. Box 780  
Knightdale, NC 27545  
PHONE: (919) 833-0830  
EMAIL: info@cmsengineering.net

P-1867

904 & 906 METHOD ROAD  
DUPLEXES  
SITE REVIEW

REVISIONS

LANDSCAPE PLAN

DWG NAME:  
904Method SR1

DRAWN:  
PDH

CHECKED:  
PDH

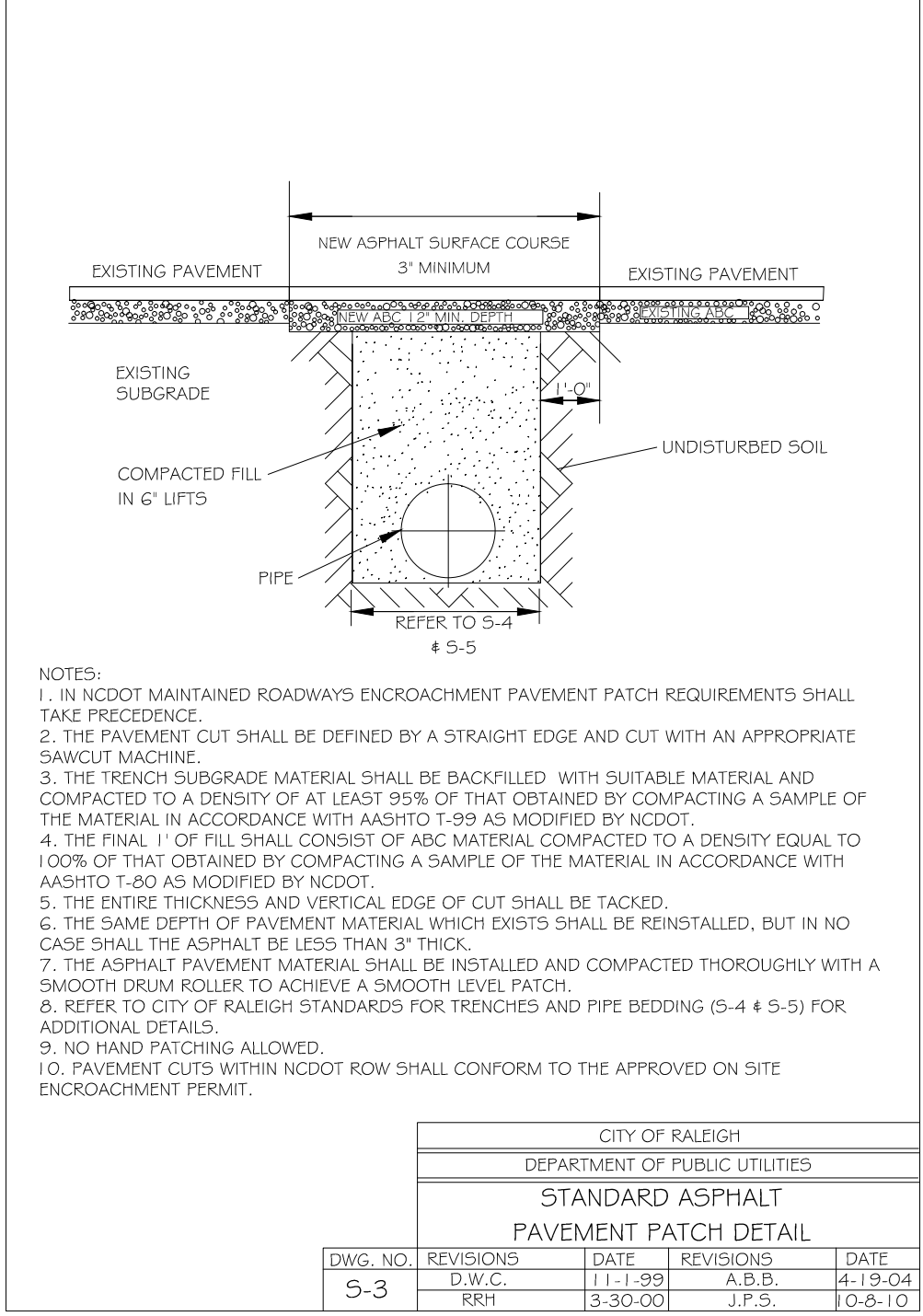
PLAN DATE:  
05/06/19

DATE ISSUED:  
09/16/19

SCALE: 1"=20'

SP-4



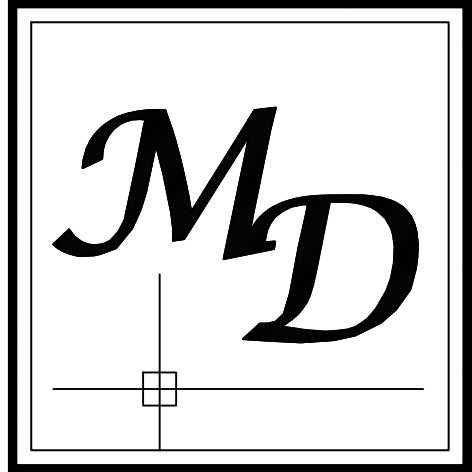




NORTH ELEVATION  
Scale: 1/4" = 1'



EAST ELEVATION  
Scale: 1/4" = 1'



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Corban Homes  
Method Road Duplex  
Lot # 1

Sheet Title:  
FRONT & LEFT  
ELEVATIONS

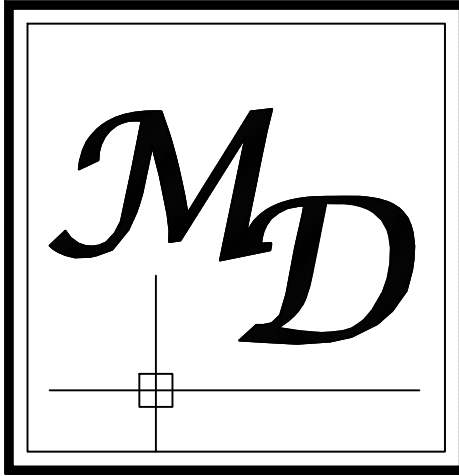
REVISIONS	
NUMBER	DATE

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Plan Number  
**M044-17**  
Sheet No. **A1-1**  
Drawn By: **MMc.**  
Date: **08.23.2019**

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Corban Homes  
Method Road Duplex  
Lot # 1

Sheet Title:  
REAR & RIGHT  
ELEVATIONS

REVISIONS	
NUMBER	DATE

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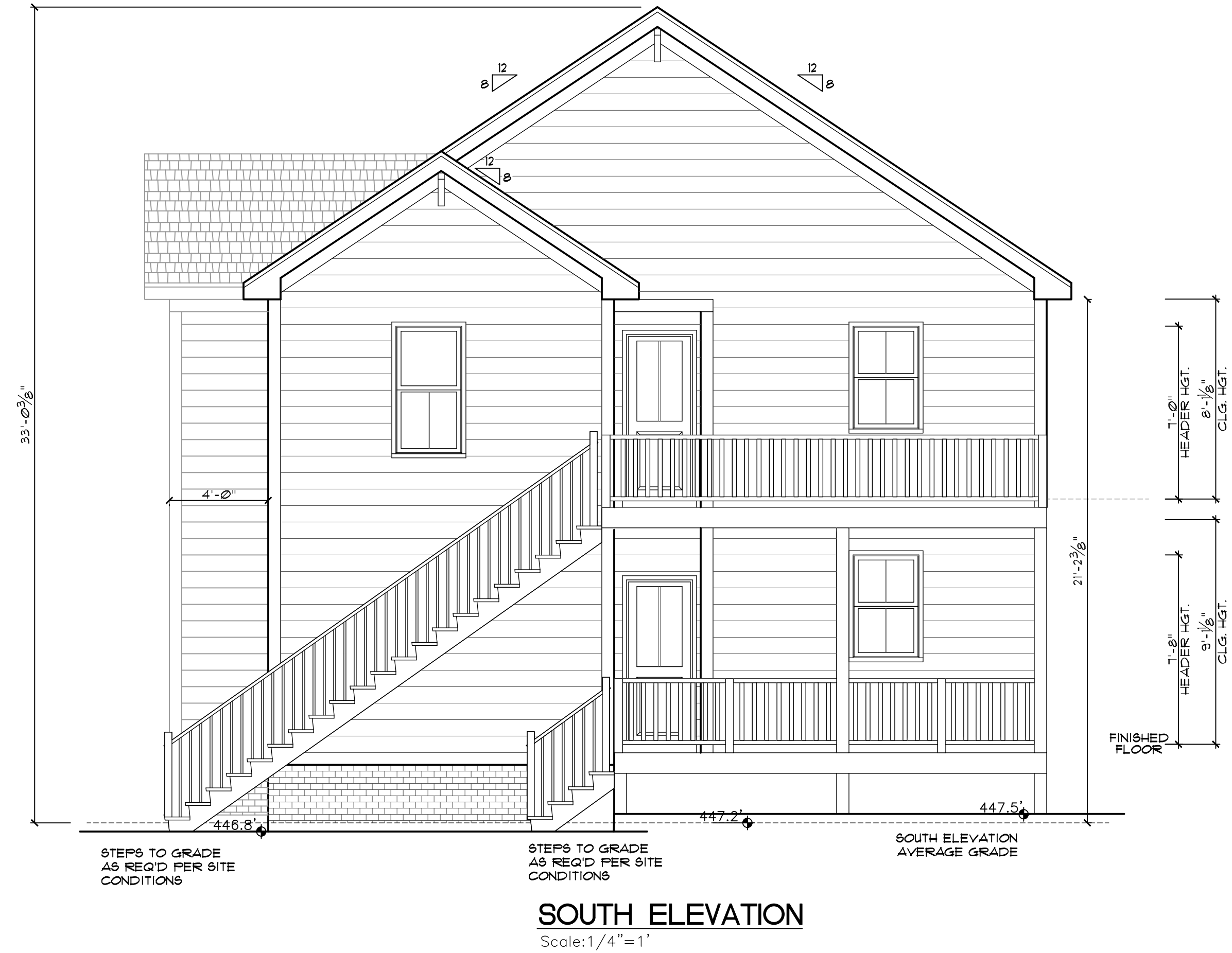
Plan Number  
**M044-17**

Sheet No. **A2 -1**

Drawn By: **MMC.**

Date: **08.23.2019**

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NORTH ELEVATION  
Scale:1/4"=1'

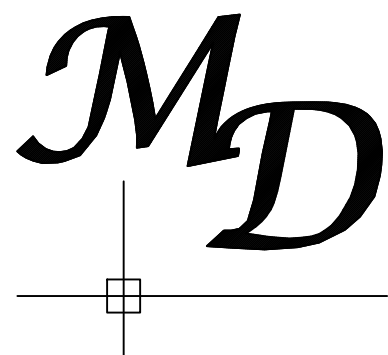
AVERAGE GRADE OF EACH SIDE = 447.1'
AVERAGE BUILDING HEIGHT
FRONT = 31'-10"
LEFT = 32'-7"
REAR = 33'-9"
RIGHT = 32'-2"
32'-7" AVG BUILDING HEIGHT

904 Method							
Pre-Development			Post-Development				
	High	Low	Average	High	Low	Average	
E	448.40	448.20	448.30	E	448.30	448.10	448.20
S	448.30	446.60	447.45	S	448.10	446.80	447.45
W	446.50	445.70	446.15	W	446.80	445.70	446.25
N	448.30	445.70	447.00	N	448.30	445.70	447.00
Average			447.23	Average			447.23
						*pre- and post-development are same	

906 Method							
Pre-Development			Post-Development				
	High	Low	Average	High	Low	Average	
E	448.50	448.50	448.70	E	448.50	448.40	448.45
S	448.70	447.50	448.10	S	448.50	447.20	447.85
W	447.50	447.50	447.50	W	447.20	446.80	447.00
N	448.90	447.50	448.20	N	448.50	446.80	447.65
Average			448.13	Average			447.74
						*post-development is more restrictive	



EAST ELEVATION  
Scale:1/4"=1'



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Corban Homes  
Method Road Duplex  
Lot # 2

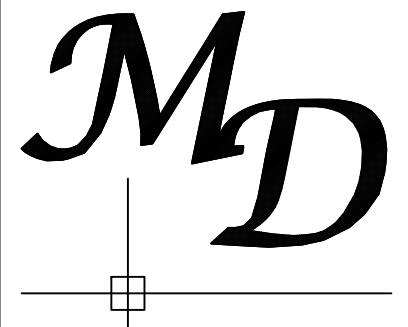
Sheet Title:  
FRONT & LEFT  
ELEVATIONS

REVISIONS	
NUMBER	DATE

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M044-17  
Sheet No. A1-2  
Drawn By: MMC.  
Date: 08.23.2019





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Corban Homes  
Method Road Duplex  
Lot #2

Sheet Title:  
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ELEVATIONS

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