



# Administrative Approval Action

Case File / Name: ASR-SR-33-2019  
MONTFORT HALL

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** The .99 acre site is located on the western side of South Boylan Avenue and on the southwest corner of the intersection of S. Boylan Ave. and Mountford Street. The address of the property is 308 S. Boylan Avenue.

**REQUEST:** This plan is a proposed change of use from a residence to a boutique hotel (9 rooms) and associated hotel uses within. Also included along with this use is an associated event space and a building addition of 502 square feet for a total of 6,162 square feet of space. This site is zoned CX-3-CU (zoning case Z-34-18) and Historic Overlay District General (Boylan Heights district).

The building is a Raleigh Historic Landmark (1968), and listed on the National Register of Historic Places in 1977.

Two Certificates of Appropriateness have been approved for this project by the RHDC, Design Review Advocacy Committee, noted below.

COA-0013-2019, Reopening of Alley access, curb work, tree removal and replacement, fence alteration, parking area and metal roof.

COA-0033-2019, Rear addition, wheelchair lift, alteration of and installation of new balconies.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** SPR-0208-2019: DSLC - Site Permitting Review/Major [Signature Set]

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 5, 2019 by Brian Starkey.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **Stormwater**

1. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
2. A surety equal to the cost of clearing, grubbing and reseeded a site, shall be paid to the City (UDO 9.4.4).

### **Urban Forestry**



# Administrative Approval Action

Case File / Name: ASR-SR-33-2019  
MONTFORT HALL

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

3. Tree protection fence to protect the street trees that will remain must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
4. A tree impact permit must be obtained for the removal of 2 existing street trees prior to the issuance of a demolition or grading permit.

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

*The following items must be approved prior to recording the plat:*

## Engineering

1. A fee-in-lieu for any sidewalk up to 6' in width along Mountford Street and S Boylan Avenue is paid to the City of Raleigh (UDO 8.1.10).
2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. Comply with all conditions of Z-34-2018.

## Engineering

2. An encroachment agreement for the stairs on Boylan Avenue within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.

## Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.



# Administrative Approval Action

Case File / Name: ASR-SR-33-2019  
MONTFORT HALL

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

## Stormwater

4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

## Urban Forestry

7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 2 street trees along Mountford Street and 1 street tree along S. Boylan Avenue, for a total of 3 street trees.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** September 10, 2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: \_\_\_\_\_

Development Services Dir/Designee

Staff Coordinator: Michael Walters

Date: 09/11/2019

MONTFORT HALL  
308 SOUTH BOYLAN AVENUE RALEIGH,  
NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW (SR-33-19)  
TRANSACTION # 597848

PROJECT TEAM

CIVIL ENGINEER/  
LANDSCAPE ARCHITECTURE

TIMMONS GROUP  
5410 TRINITY ROAD  
RALEIGH, NC 27607  
(919) 866-4505

ARCHITECTURE

MAURER ARCHITECTURE  
115.5 EAST HARGETT STREET - SUITE 300  
RALEIGH, NC 27601  
(919) 829-4969

SITE DATA

PROJECT: MONTFORT HALL  
PROJECT ADDRESS: 308 S. BOYLAN AVE  
RALEIGH, NC 27601  
OWNER CONTACT: SARAH SHEPHERD  
CO-OWNER & OPERATOR  
MH BOYLAN LLC  
308 S. BOYLAN AVE  
RALEIGH, NC 27601  
PHONE: 614-671-1233  
SARAH@MONTFORTHALL.COM  
DESIGNER CONTACT: TIMMONS GROUP  
BRIAN STARKEY, ASLA  
5410 TRINITY ROAD, SUITE 102  
RALEIGH, NC 27607  
PHONE: 919-866-3240  
BRIAN.STARKEY@TIMMONS.COM

DRAWING INDEX

L000 COVER  
L001 PROJECT APPLICATION & CONDITIONS  
L002 SURVEY  
L003 TREE CONSERVATION PLAN  
A2.1 ARCHITECTURAL ELEVATIONS  
C001 STORM WATER MANAGEMENT PLAN  
C100 UTILITY PLAN  
L100 DEMOLITION PLAN  
L200 LAYOUT PLAN  
L300 GRADING PLAN  
L301 EROSION CONTROL PLAN  
L400 PLANTING PLAN  
L500 DETAILS  
L501 DETAILS  
L502 DETAILS

Project Data Sheet



DEVELOPMENT  
SERVICES  
DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

GENERAL INFORMATION

Development Name: Montfort Hall Proposed Use: Hotel  
Property Address(es): 308 S. Boylan Avenue, Raleigh NC 27603  
Wake County Property Identification Number(s) (PIN) for each parcel to which these guidelines will apply:  
PIN # 1703375717 PIN # PIN # PIN #  
What is the project type? ☐ Apartment ☐ Bank ☐ Elderly Facility ☐ Hospital ☒ Hotel/Motel ☐ Industrial Building  
☐ Mixed Residential ☐ Non-Residential Condo ☐ Office ☐ Religious Institution ☐ Residential Condo ☐ Retail  
☐ School ☐ Shopping Center ☐ Single Family Residential ☐ Telecommunication Tower ☐ Townhouse ☐ Other  
Scope of Work: Expansion of existing gravel parking to a 18 car parking lot accessed from Mountford Avenue and a small parking area accessed from the alley to the southwest, along with connecting walks and utilities.

FOR APARTMENTS, CONDOS, AND TOWNHOMES ONLY

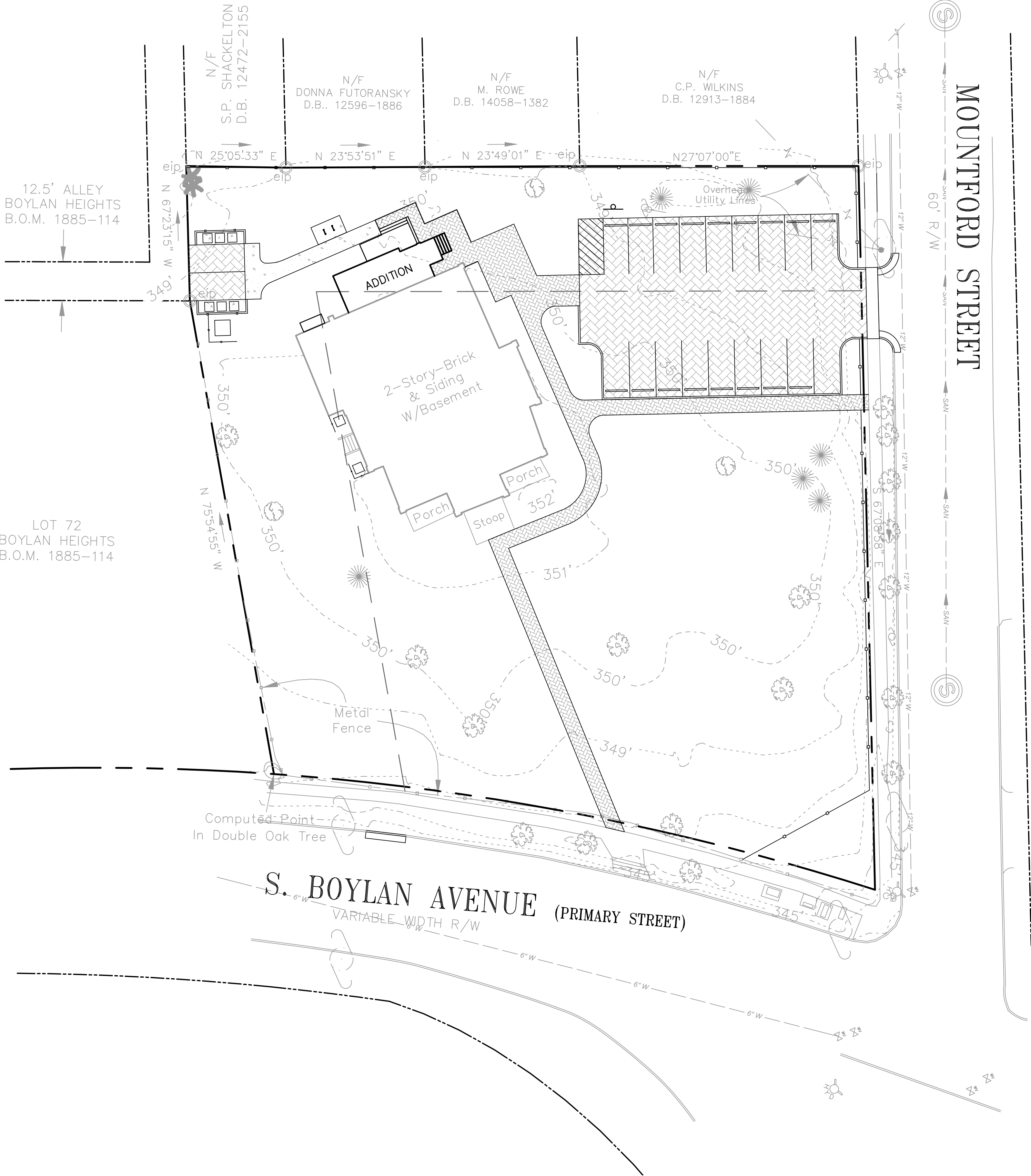
1. Total number of townhouse lots: NA Number attached: NA Number detached: NA  
2. Total number of apartment or condominium units: NA  
3. Total number of Congregate Care or Life Care Dwelling units: NA  
4. Overall total number of dwelling units (from 1-3 above): NA  
5. Number of bedroom units: 1BR NA 2BR NA 3BR NA 4BR or more NA  
6. Overall unit(s) per acre densities per zoning district(s): NA

DEVELOPMENT TYPE AND SITE DATA TABLE (applicable to all developments)

Zoning Information	Building Information
Zoning District(s): CX-3-CU	Proposed use of building(s): Hotel
If more than one district, provide acreage of each:	Proposed Sq. Ft. of building(s) gross: 502
Overlay District(s): Boylan Heights Historic District	Existing Sq. Ft. of building(s) gross: 5,660
Total site acreage: 0.99	Total Sq. Ft. gross (existing and proposed): 6,162
Off street parking: Required 31 Provided 20	Proposed height of building(s):
COA (Certificate of Appropriateness) case #	FAR (floor area ratio) %: 14.3
BOA (Board of Adjustment) case # A - NA	Building lot coverage %:
CUD (Conditional Use District) case # Z - NA	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

STORMWATER INFORMATION

Existing impervious surface: 0.13 acres/square feet  
Proposed impervious surface: 0.30 acres/square feet  
Neuse River buffer: ☐ Yes ☒ No Wetlands: ☐ Yes ☒ No  
Flood Hazard Area: ☐ Yes ☒ No If yes, Alluvial Soils: Flood Study: FEMA Map Panel #:  
Total disturbed area: 22,236 acres/square feet



VICINITY MAP



CITY OF RALEIGH NOTES

Right-of-Way Obstruction Notes:

- Street, Lane, and Sidewalk closures or detours: Prior to any work that impacts the right-of-way or closing of any street, lane, or sidewalk, the contractor must apply for a permit with Right-of-Way Services.
- A permit request with a traffic control and/or pedestrian plan shall be submitted to rightofwayservices@raleighnc.gov at www.raleighnc.gov Keyword "Right-of-Way Services."
- Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- The City of Raleigh requires an approved Right-of-Way Obstruction Permit for work on any public street or sidewalk and NCDOT road within Raleigh's Jurisdiction.
- All Traffic Control Signage and practices shall adhere to the Manual on Uniform Traffic Control, and the latest edition of the NCDOT "Standard Specification for Roadway Structures", NCDOT "Roadway Standard Drawing Manual", and the NCDOT supplement to the MUTCD.
- All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
- All permits must be available and visible on site during the operation.
- SR-33-19 Montfort Hall, 502 sq ft addition 10-units, acres-0.99, CAC-Central, Basin-Rocky, Zoned-CX-3-CU/HOD-G, COA-0013-2019, Sketch Trans#575301, Team Lead- Mike Walters

Primary Use: Hotel (9 rooms)  
Accessory Use: Event Space

- Building to be converted to boutique hotel and event space.

Solid Waste:

- Solid Waste access from existing alley at southwest corner of property. Alley is currently being used as access for Solid Waste pickup.
- (6) roll off containers will be provided.

THIS DRAWING PREPARED AT THE  
RALEIGH OFFICE  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919-866-4951 FAX 919-833-8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DATE

07/22/2019

1st Revision

DATE

07/22/2019

DRAWN BY

334

DESIGNED BY

334

CHECKED BY

B. Starkey

SCALE

1" : 20'

COVER

MONTFORT HALL

308 S. Boylan Ave, Raleigh, North Carolina

JOB NO.

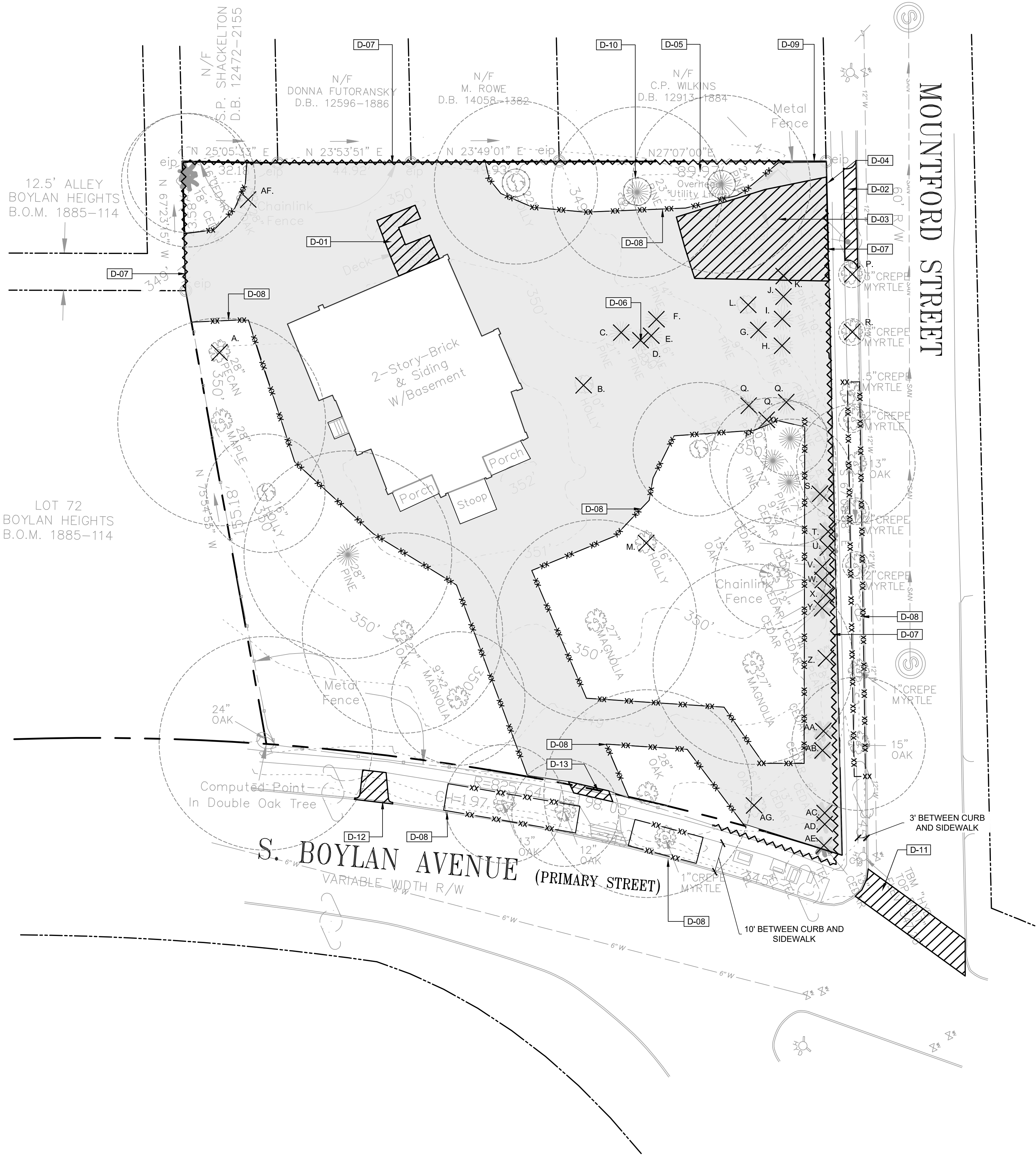
43820

SHEET NO.

L000

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.





TREES TO BE REMOVED:






- A. 28" PECAN - DAMAGED/DISEASED
- B. 10" HOLLY - PARKING AREA
- C. 21" PINE - PARKING AREA
- D. 23" PINE - PARKING AREA
- E. 16" PINE - PARKING AREA
- F. 14" PINE - PARKING AREA
- G. 9" PINE - PARKING AREA
- H. 8" PINE - PARKING AREA
- I. 10" PINE - PARKING AREA
- J. 11" PINE - PARKING AREA
- K. 16" PINE - PARKING AREA
- L. 28" ELM - PARKING AREA
- M. 16" HOLLY - DAMAGED/DISEASED
- N. 13" CYPRESS - VIEW CORRIDOR
- O. 8" CYPRESS - VIEW CORRIDOR
- P. 4" CREPE MYRTLE - UNDER STORY STREET TREE IN R.O.W.
- Q. (3) PINE - CONCRETE WALK AREA
- R. 3" CREPE MYRTLE - UNDER STORY STREET TREE IN R.O.W.
- S. 8" CEDAR - DRAINAGE AREA
- T. (2) 9" CEDAR - DRAINAGE AREA
- U. 11" CEDAR - DRAINAGE AREA
- V. 11" CEDAR - DRAINAGE AREA
- W. 12" CEDAR - DRAINAGE AREA
- X. 11" CEDAR - DRAINAGE AREA
- Y. 14" CEDAR - DRAINAGE AREA
- Z. 8" PEAR - DRAINAGE AREA
- AA. 14" CEDAR - DRAINAGE AREA
- AB. 14" CEDAR - DRAINAGE AREA
- AC. 8" CEDAR - DRAINAGE AREA
- AD. 13" CEDAR - DRAINAGE AREA
- AE. 13" CEDAR - DRAINAGE AREA
- AF. 28" OAK - PARKING AREA
- AG. 16" OAK - UTILITY AREA

GENERAL DEMOLITION NOTES:

1. All materials noted for removal to be disposed of off site and in a legal and responsible manner.
2. Items or elements noted for removal & return to owner or relocation shall be stored on site at owner's direction.
3. Prior to beginning demolition contractor shall install required erosion control and tree protection devices and conduct any necessary pre-construction meetings with Landscape Architect and/or Owner.
4. Items not noted for removal shall be protected throughout construction. This includes trees not noted for removal. Damage to these items shall be corrected in kind at no additional cost to the owner.
5. Reference grading plans for limits of grading to determine excavation limits.
6. Sawcut pavement at limits of removal as shown or to nearest joint. Remove pavement to subgrade.
7. All utilities not noted for removal to be protected throughout construction.
9. Contractor is responsible for calling a utility locating service and having all existing utilities located prior to beginning construction.
9. Contractor shall be responsible to control and initiate clean-up of litter and refuse generated by himself and any subcontractor on a daily basis. The contractor is responsible for supplying, placing, and maintaining suitable refuse containers onsite.
10. Layout to be staked by contractor and verified in field by Landscape Architect / Owner prior to construction / removal of trees.

DEMOLITION SCHEDULE		
CODE	DESCRIPTION	DETAIL
D-01	EXISTING NON-HISTORIC PORCH AND STEPS TO BE REMOVED IN ITS ENTIRETY. REFERENCE ARCHITECTURE PLANS.	
D-02	REMOVE EXISTING CURB TO LIMITS SHOWN	
D-03	EXISTING GRAVEL DRIVE TO BE REMOVED IN ITS ENTIRETY.	
D-04	REMOVE EXISTING GATE.	
D-05	REMOVE TEMPORARY POWER POLE AND OVERHEAD LINE.	
D-06	TREE TO BE REMOVED IN ITS ENTIRETY. GRIND STUMP TO 18" BELOW SURFACE LEVEL.	
D-07	REMOVE CHAINLINK FENCE IN ITS ENTIRETY.	
D-08	TREE PROTECTION FENCING.	4/L501
D-09	METAL FENCING TO BE REMOVED.	
D-10	TREE TRUNK WRAP.	6/L501
D-11	PAVEMENT TO BE REMOVED AND REPLACED TO EXISTING CONDITION. PROTECT EXISTING FIRE HYDRANT AND ADJACENT WATER LINES.	
D-12	REMOVE EXISTING CURB CUT TO EXTENTS SHOWN.	
D-13	REMOVE EXISTING CONCRETE STEP.	

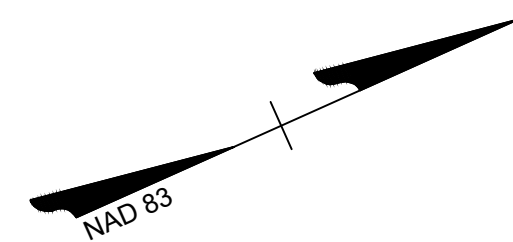
LEGEND:

- |   |                                      |
|---|--------------------------------------|
|  | Trees to be removed                  |
|  | Items to be removed                  |
|  | Silt fence / erosion control fencing |
|  | Tree protection fence                |
|  | Disturbed area                       |

ALL CONSTRUCTION TO BE IN  
ACCORDANCE WITH CITY OF RALEIGH  
STANDARDS AND SPECIFICATIONS

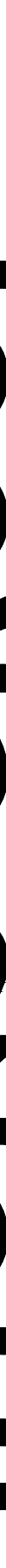


**Know what's below.  
Call before you dig.**



SCALE 1"=20'

A horizontal number line with tick marks at 0, 20, and 40. The segment between 0 and 20 is white, and the segment between 20 and 40 is shaded black.

The logo for the Timmons Group, featuring the company name in a bold, sans-serif font, followed by a graphic of a series of dots of varying sizes arranged in a curved, upward-pointing arc.

**MONTFORT HALL**  
308 S. Boylan Ave, Raleigh, North Carolina

## Demolition Plan

JOB NO.  
43820

SHEET NO.  
*L100*

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

YOUR VISION ACHIEVED THROUGH OURS.

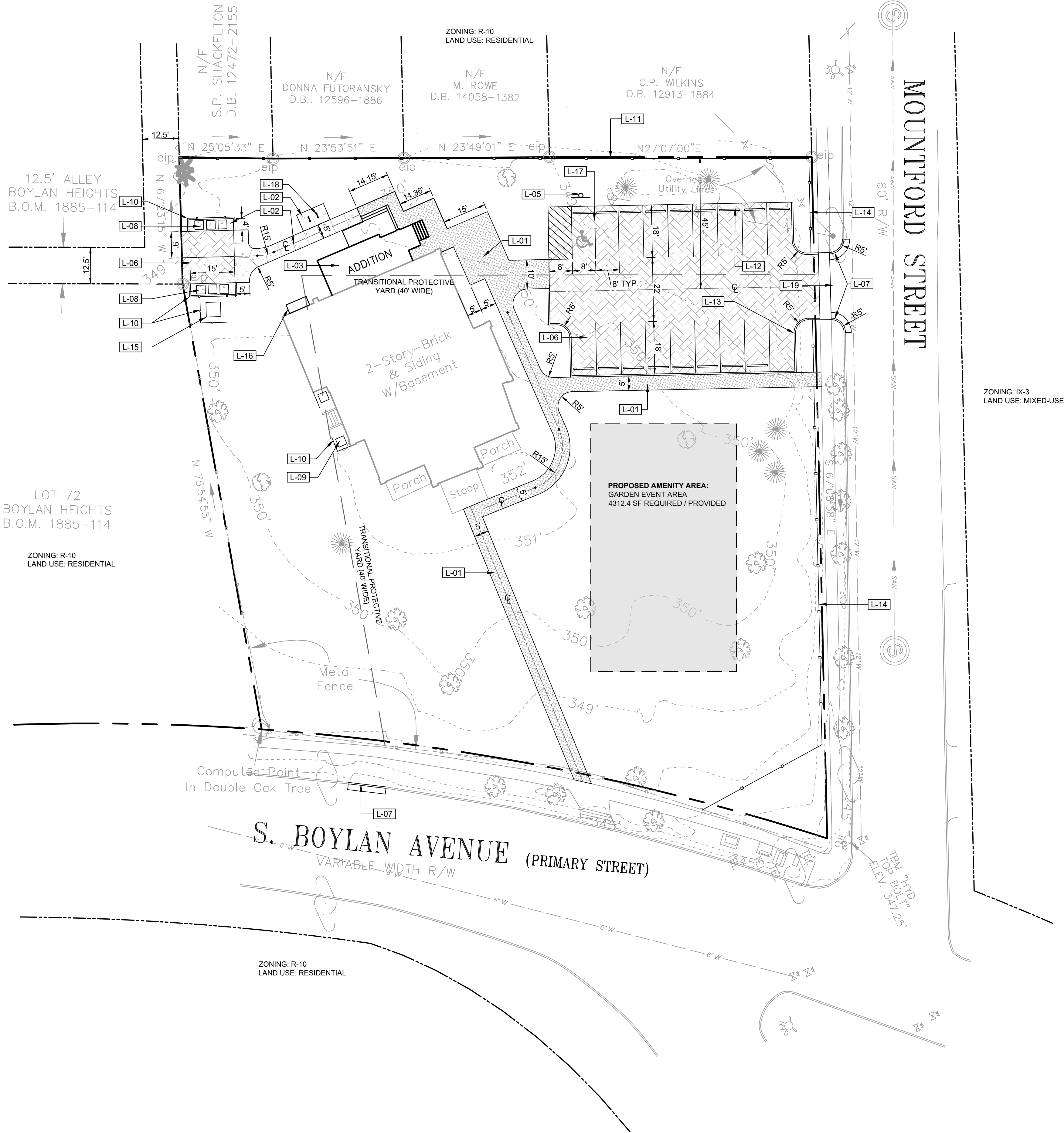
THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.4951 FAX 919.833.8124 [www.timmons.com](http://www.timmons.com)

DATE	REVISION DESCRIPTION
07.22.2019	1st Revision

DATE  
07/22/2019



S:\334\43820-Montfort Hall\DWG\Sheet\CD\99999-334-L200-LAYO.dwg | Plotted on 7/22/2019 12:03 PM | by Michael Alderman



GENERAL LAYOUT NOTES:

- Layout to be staked by contractor and verified in field by Landscape Architect / Owner prior to construction.
- Any discrepancies in layout should be brought to the Landscape Architect's attention prior to construction.
- Written dimensions supercede scaled dimension. Do not scale drawings.
- Provide expansion joints where new concrete paving meets existing paving.

PARKING CALCULATION:

1ST STORY INDOOR RECREATION:  
2200 SF/300 = 7.3 or 7 SPACES

PERSONAL SERVICE (OUTDOOR WEDDING CHAPEL):  
1289 SF/400 = 3.2 or 3 SPACES

OVERNIGHT LODGING:  
9 ROOMS = 9 SPACES

OFFICE:  
260 SF/400 = 0.65 or 1 SPACE

BASEMENT BAR:  
715 SF/150 = 4.7 or 5 SPACES

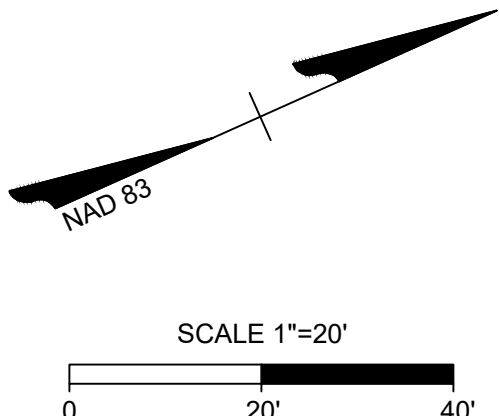
TOTAL PARKING REQUIRED:  
25 SPACES (REQUIRED / 18 SPACES PROVIDED, INCLUDING 1 H/C SPACE  
(7 SPACES TO BE PROVIDED OFF-SITE)

BICYCLE PARKING:  
4 SPACES REQUIRED / PROVIDED

AMENITY AREA:

10% OF TOTAL LOT:  
43,124 X 0.1 = 4,312.4 SF REQUIRED / PROVIDED

LAYOUT SCHEDULE		
CODE	DESCRIPTION	DETAIL
L-01	BRICK PAVERS.	2/L500
L-02	CONCRETE PAVING (STANDARD DUTY).	1/L500
L-03	NEW ADDITION BY SEPARATE COA.	
L-05	H/C SIGN.	3/L500
L-06	PERMEABLE PAVERS. HERRINGBONE PATTERN.	1/L502
L-07	CURB AND GUTTER.	6/L500
L-08	3 X ROLL OUT TRASH CONTAINERS.	
L-09	HVAC UNITS BY OTHERS.	
L-10	6' SCREEN FENCE. MATERIAL TO BE COMPATIBLE WITH PRINCIPAL STRUCTURE ON PROPERTY PER SOLID WASTE SERVICES DESIGN MANUAL.	7/L500
L-11	6' WOODEN PRIVACY FENCE. LOCATE 6" INSIDE PROPERTY LINE.	7/L500
L-12	CONCRETE WHEEL STOP.	
L-13	CONCRETE CURB.	4/L500
L-14	42" WOODEN PICKET FENCE. LOCATE 6" INSIDE PROPERTY LINE.	
L-15	TRANSFORMER.	
L-16	GAS METER.	
L-17	PARKING STRIPING.	
L-18	COVERED BICYCLE RACKS (4 SPACES).	
L-19	CONCRETE CURB CUT	5/L500



THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DATE	1st Revision
07.22.2019	

DATE

07/22/2019

DRAWN BY

334

DESIGNED BY

334

CHECKED BY

B. Starkey

SCALE

1" : 20'

TIMMONS GROUP

MONTFORT HALL

308 S. Boylan Ave, Raleigh, North Carolina

Layout Plan

JOB NO.

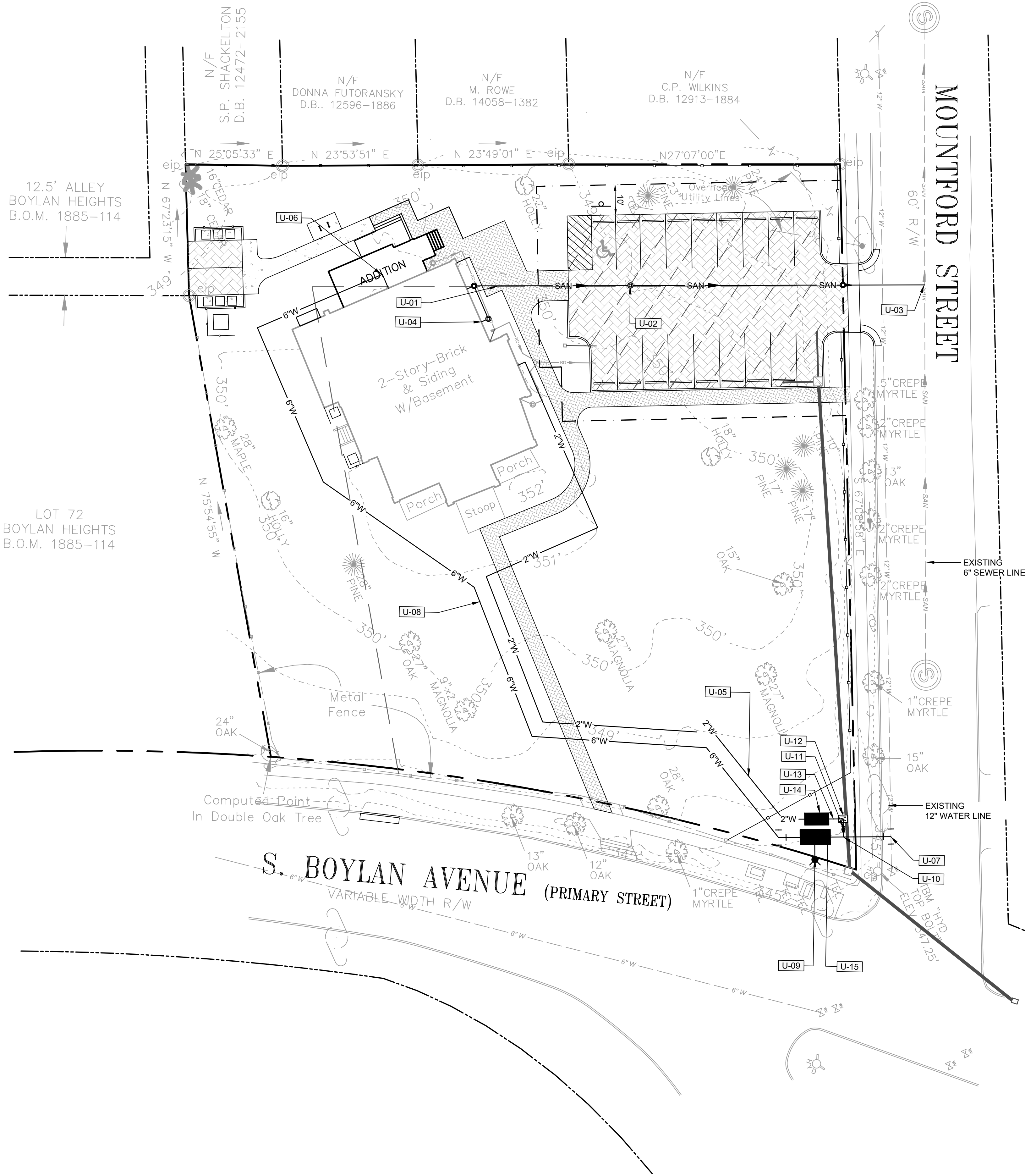
43820

SHEET NO.

L200

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

S:\334\43820-Montfort Hall\DWG\Sheet\CD\99999-334-C100-UTIL.dwg | Plotted on 7/22/2019 12:03 PM | by Michael Alderman



UTILITY NOTES:

- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL UNDERGROUND FEATURES INDICATED ON THE PLANS SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
- CONTRACTOR SHALL COORDINATE THE LOCATION OR RELOCATION OF ALL OVERHEAD AND UNDERGROUND COMMUNICATION LINES, ELECTRIC, AND GAS SERVICE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE CITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CURB STOPS ARE REQUIRED AND SHALL BE LOCATED 1 FOOT FROM THE METER BOX. CURB STOPS SHALL BE INSTALLED IN A CURB STOP BOX AS MANUFACTURED BY FORD, A.Y. McDONALD, OR TRUMBULL.
- SERVICE SADDLES SHALL BE ALL BRONZE WITH DOUBLE BRONZE STRAPS WITH A NEOPRENE 10" RING GASKET ATTACHED TO THE BODY.
- ALL WATER METERS SHALL BE PROVIDED AND INSTALLED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT METERS DIVISION.
- METERS WILL BE THE SAME SIZE IN DIAMETER AS THE SERVICE.
- A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND ALL WATER METERS.
- UTILITY TRENCHES SHALL BE CUT AND PAVEMENT REPAIRED TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- BOUNDARY AND SURVEY INFORMATION IS PROVIDED BY OWNER.

UTILITIES

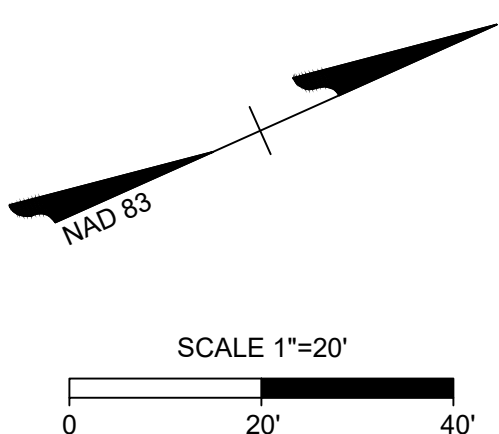
CODE	DESCRIPTION
U-01	4" PVC SANITARY SEWER LATERAL PIPE. 2% MIN. SLOPE. REFERENCE P1.3
U-02	CLEAN OUT, TYPICAL. TRAFFIC BEARING.
U-03	TIE TO EXISTING SS.
U-04	4" GREASE LINE.
U-05	2" TYPE "K" COPPER DOMESTIC WATER SERVICE LINE
U-06	FIRE LINE LOCATION ENTRY.
U-07	12" X 6" TAPPING SLEEVE & VALVE ASSEMBLY
U-08	6" DI FIRE LINE
U-09	FREE-STANDING FIRE DEPARTMENT CONNECTION
U-10	TAP 6" DI LINE WITH 2" TYPE "K" COPPER DOMESTIC SERVICE
U-11	2" CURB STOP
U-12	2" WATER METER IN 4" METER VAULT
U-13	2" STD. GATE VALVE AND BOX INSTALLATION
U-14	2" ABOVE GRADE RPZ BACKFLOW PREVENTER IN HEATED AND INSULATED ENCLOSURE - MODEL 009 M2QT OR A/E.
U-15	8" ABOVE GRADE RPD BACKFLOW PREVENTER IN HEATED AND INSULATED ENCLOSURE - MODEL 909 RPD OR A/E.

CITY OF RALEIGH UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PERMIT FILED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL WATER SERVICES (AS SHOWN ON PLANS) WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL SEWER SERVICES (AS SHOWN ON PLANS) @ 1% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5823 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

UTILITY LEGEND

— W —	PROPOSED WATER LINE
⊞	PROPOSED WATER METER
⬮	PROPOSED VALVE
⬮	PROPOSED FIRE HYDRANT
⬮	PROPOSED REDUCER
⬮	PROPOSED FDC
— W —	EXISTING WATER LINE
⬮	EXISTING FIRE HYDRANT
— SAN —	PROPOSED SANITARY SEWER
⊞	PROPOSED SSWR MANHOLE
⬮	PROPOSED SSWR CLEANOUT
— SAN —	EXISTING SANITARY SEWER
⊞	EXISTING SSWR MANHOLE
⬮	EXISTING SSWR CLEANOUT



**TIMMONS GROUP**

**MONTFORT HALL**  
308 S. Boylan Ave, Raleigh, North Carolina

Utility Plan

JOB NO.  
**43820**  
SHEET NO.  
**C100**

YOUR VISION ACHIEVED THROUGH OURS.

DATE	1st Revision
07.22.2019	

DRAWN BY

334

CHECKED BY

SCALE

1" = 20'

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

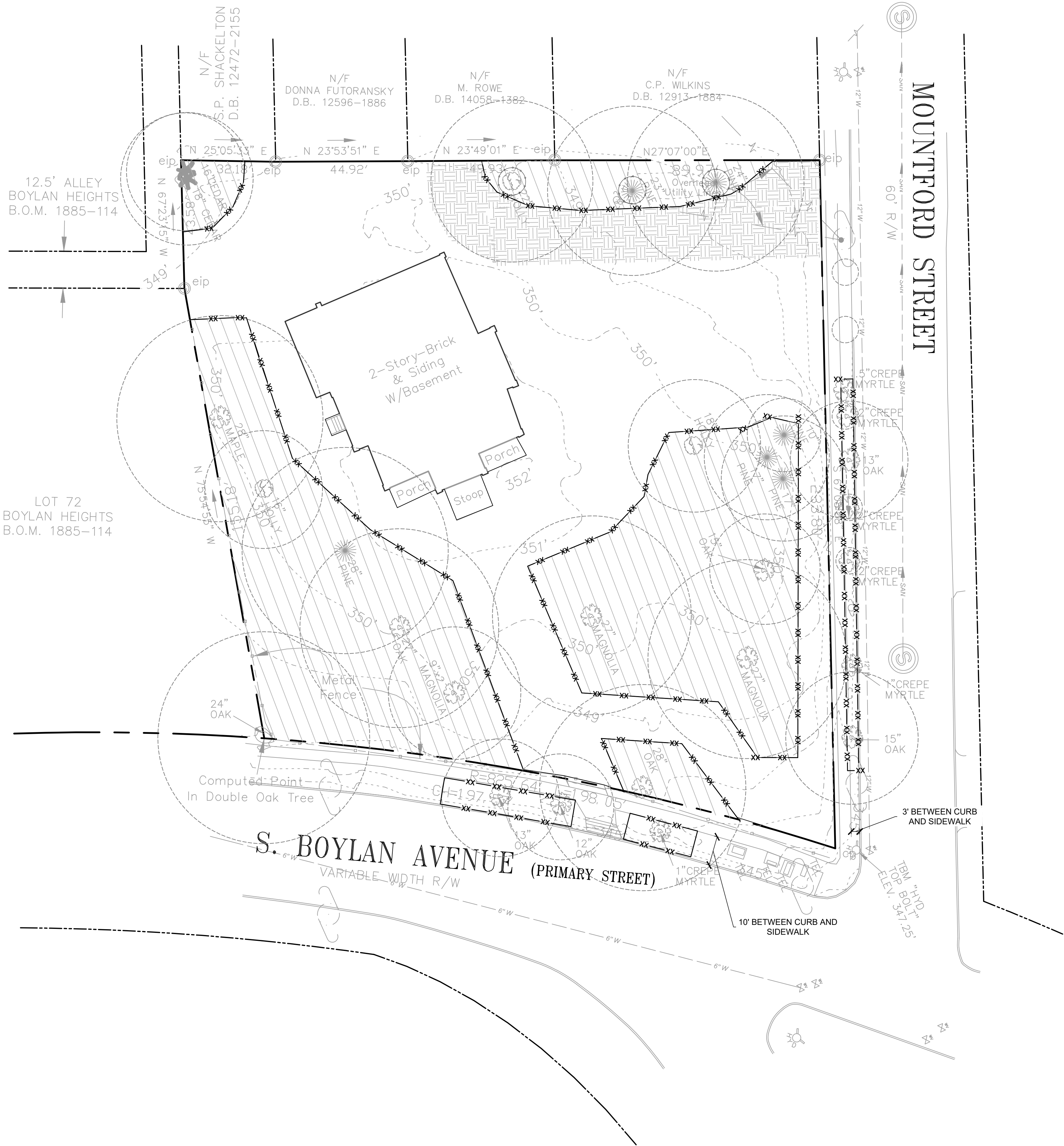
REVISION DESCRIPTION

REVISION	DESCRIPTION

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.



S:\334\43820-Montfort Hall\DWG\Sheet\CD\99999-334-L003-TCP.dwg | Plotted on 7/22/2019 12:03 PM | by Michael Alderman

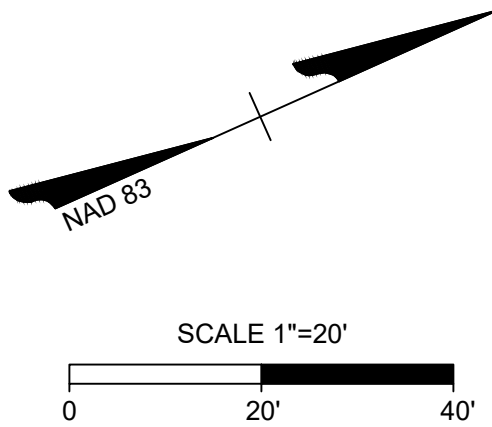


- TREE PROTECTION NOTES:**
- Tree protection fencing must be installed at a minimum radius of the critical root zone (CRZ) of trees. (CRZ defined as radius x 1.25' (ft) per inch at DBH from trunk of tree, see tree protection layout detail)
  - If construction occurs within the CRZ at least 12" of mulch and/or logging mats shall be placed where machinery maneuvers to reduce soil compaction in this zone.
  - The tree protection fencing must remain in place for the duration of the project unless otherwise approved by Landscape Architect / Owner.
  - There will be zero tolerance for storing or parking vehicles, supplies, or equipment under protected trees.
  - Approved impact protection devices must be removed after construction when applicable.
  - Signs are to be made of durable, weatherproof material with letters a minimum of 3" high, clearly legible and spaced as shown.
  - Signs shall be placed at 50' maximum intervals, place a sign at each end of linear tree protection and 50' on center for the remainder.
  - For tree protection areas less than 200' in perimeter, provide no less than one sign per protected area.
  - Attach signs securely to fence posts and fabric.
  - Maintain tree protection fence throughout duration of project.

**LEGEND:**

- xx— Tree protection fence. Detail 4/L501
- [Hatched Box] Mulch as required by Note 2.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS



**TIMMONS GROUP**

**MONTFORT HALL**  
308 S. Boylan Ave, Raleigh, North Carolina

**Tree Conservation Plan**  
These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

JOB NO.  
**43820**  
SHEET NO.  
**L003**

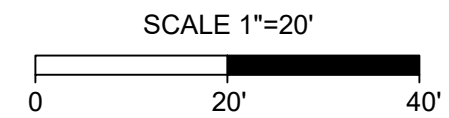
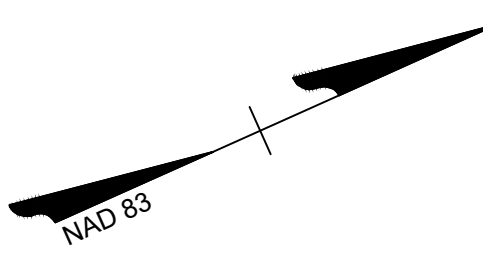
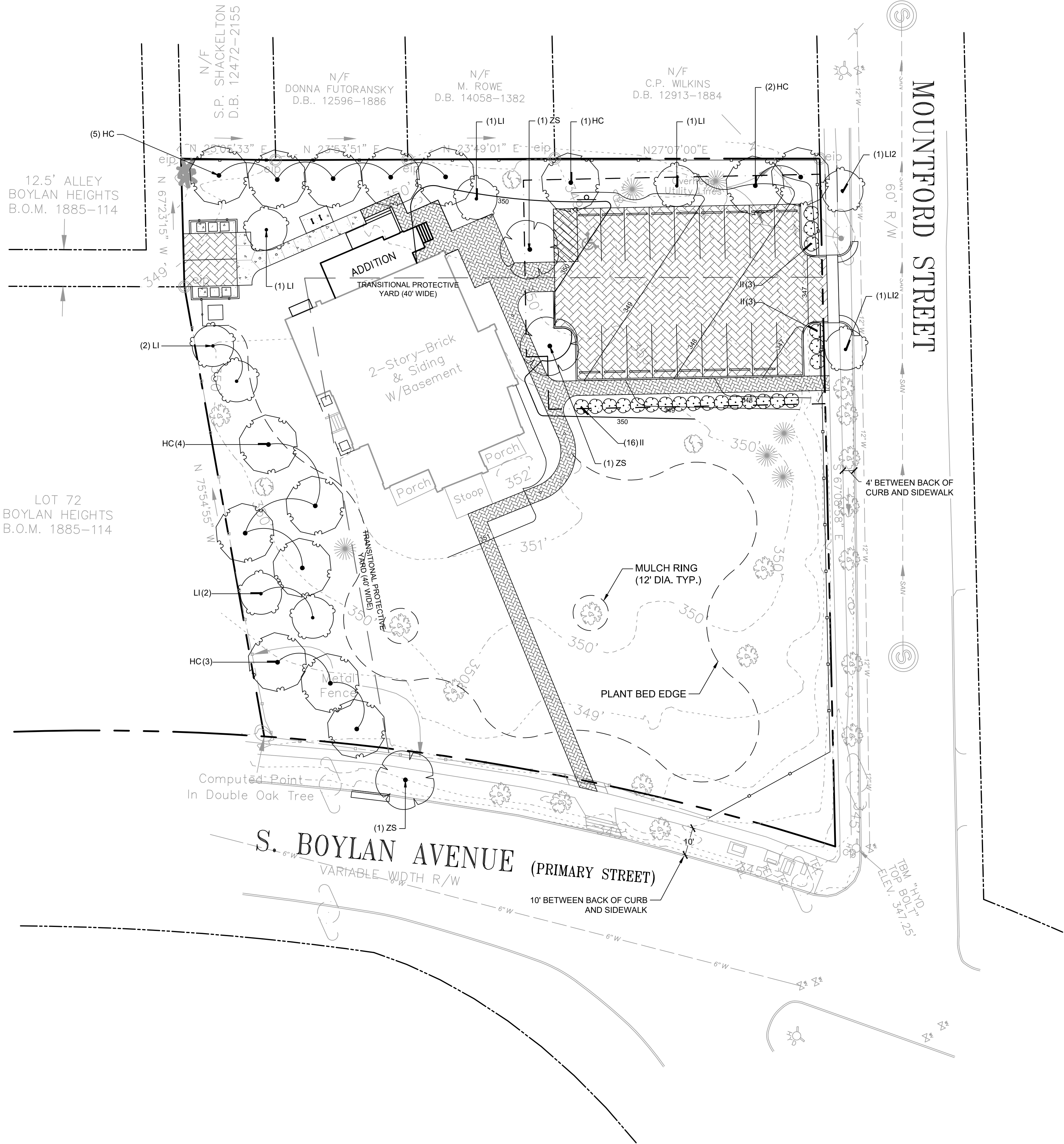
YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	
DATE	1st Revision
07/22/2019	
DRAWN BY	334
DESIGNED BY	334
CHECKED BY	B. Starkey
SCALE	1" = 20'

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com



S:\334\43820-Montfort Hall\DWG\Sheet\CD\99999-334-L400-PLANT.dwg | Plotted on 7/22/2019 12:04 PM | by Michael Alderman



GENERAL PLANTING NOTES:

1. All plant materials to comply with American Standard for Nursery Stock ASI.Z60.
2. Contractor engaged in landscape implementation shall be a landscape contractor licensed in the state of North Carolina.
3. Landscape Architect to approve tree layout in field.
4. Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
5. Prepare plant beds per specifications.
6. All new trees to have a 6" diameter shredded hardwood mulch ring at 3" deep unless otherwise noted or located in a plant bed per site plan.
7. All areas outside of playground not noted for plants to be mulched with pinestraw.
8. Areas damaged by Landscape Contractor to be repaired at no additional cost to owner.
9. Any existing vegetation, not involved in new construction, shall be isolated and protected by tree protection fencing or high visibility construction fencing.
10. Contractor shall insure that all plant material is free of fire ants prior to installation.

NEIGHBORHOOD TRANSITION YARDS:

SOUTHERN PROPERTY LINE (155 LINEAR FEET)  
40' WIDTH SHOWN WITH 12 NEW TREES / 14 TOTAL

WESTERN PROPERTY LINE (217 LINEAR FEET)  
40' WIDTH SHOWN WITH 12 NEW TREES / 15 TOTAL

PLANT SCHEDULE

SHADE TREE	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	TYPE	REMARKS
HC	15	HALESIA CAROLINA	SNOWDROP TREE	3" CAL.	B&B	SINGLE STEM	10' MIN. HEIGHT.
ZS	3	ZELKOVA SERRATA	SAWLEAF ZELKOVA	3" CAL.	B&B	SINGLE STEM	10' MIN. HEIGHT.
UNDERSTORY TREE	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	TYPE	REMARKS
LI2	2	LAGERSTROEMIA INDICA	CRAPE MYRTLE	1.5" CAL.	B&B	SINGLE STEM	
LI	7	LAGERSTROEMIA INDICA	CRAPE MYRTLE	2" CAL.	B&B	MULTI-TRUNK	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	TYPE	REMARKS
II	22	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	3 GAL.			

**TIMMONS GROUP**

**MONTFORT HALL**  
308 S. Boylan Ave, Raleigh, North Carolina

Planting Plan

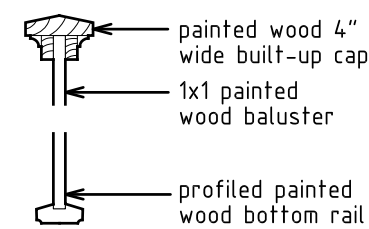
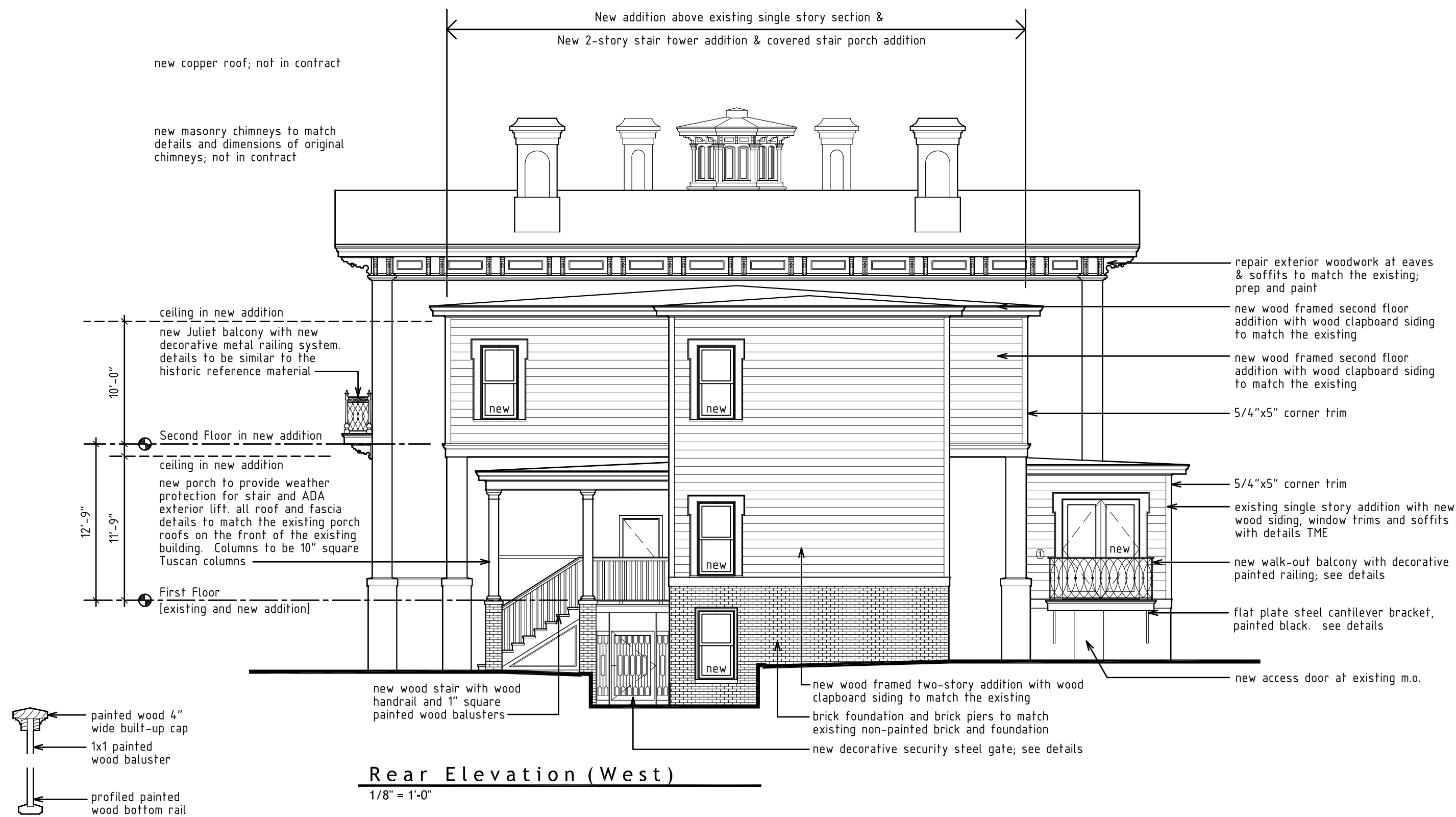
JOB NO.  
**43820**  
SHEET NO.  
**L400**

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

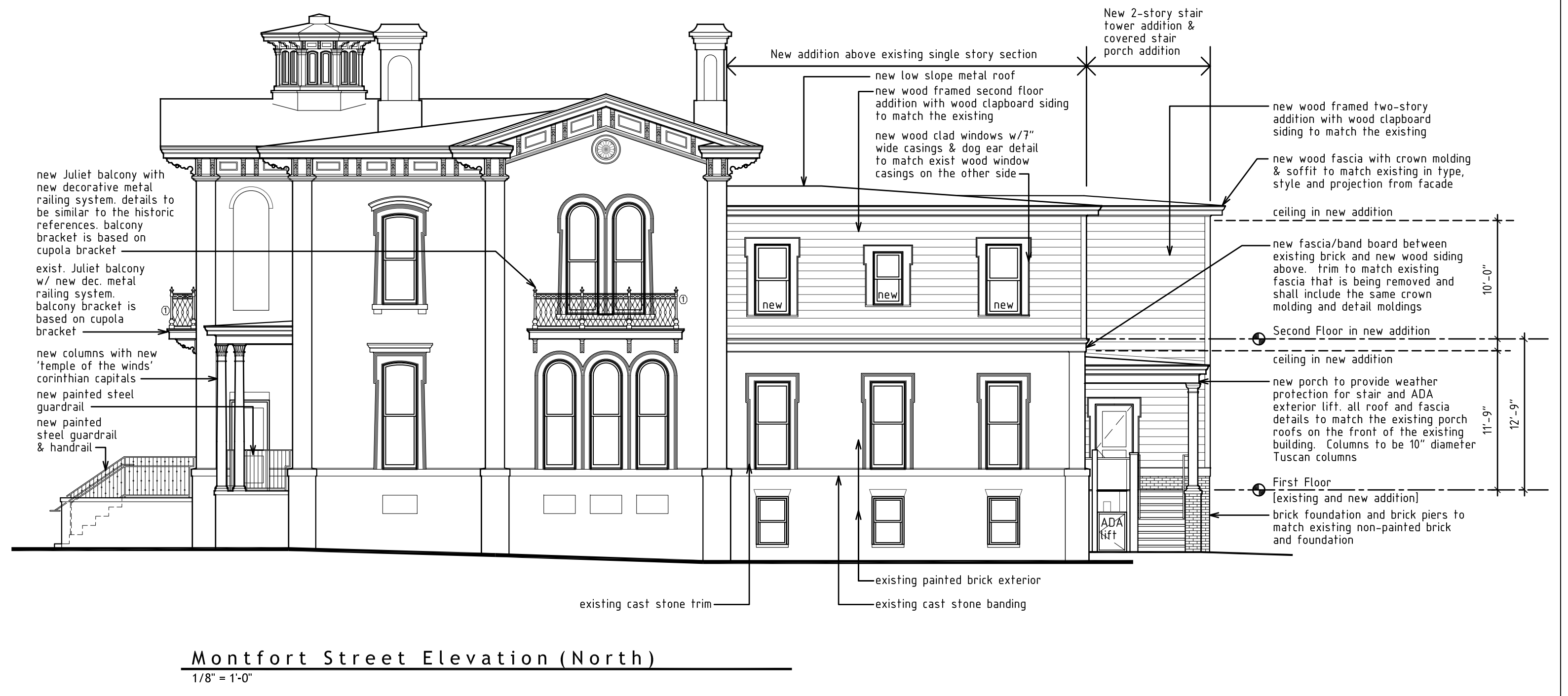
YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	
DATE	1st Revision
07.22.2019	
DRAWN BY	
334	
DESIGNED BY	
334	
CHECKED BY	
B. Starkey	
SCALE	
1" = 20'	

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.



Enlarged view of proposed guardrail detail  
not to scale



- GENERAL CONSTRUCTION NOTES:
1. SUBMIT DETAILED, DIMENSIONED SHOP DRAWINGS OF ALL NEW EXTERIOR TRIM & MILLWORK FOR REVIEW BY ARCHITECT/SHIPD
  2. SUBMIT DETAILED, DIMENSIONED SHOP DRAWINGS OF ALL PROPOSED RAILINGS & GUARDRAILS FOR REVIEW BY ARCHITECT/SHIPD
  3. UNLESS NOTED OTHERWISE, ALL EXISTING WOOD DOUBLE-HUNG WINDOWS TO REMAIN. REPAIR & PRIME BY OTHERS. SEE WINDOW NOTES
  4. NEW STORM WINDOWS TO BE INSTALLED ON ALL WINDOWS. TYPICAL
  5. NEW GUTTERS TO BE HALF-ROUND. PROVIDE SPECIFICATION FOR APPROVAL
  6. EXISTING BRICK FOUNDATION AT SOUTH ADDITION TO BE REPAIRED AS NEEDED
  7. ALL NEW EXTERIOR HVAC AND ELECTRICAL EQUIPMENT TO BE LOCATED ON THE WEST AND SOUTH ELEVATION. CONFIRM LOCATION OF EQUIPMENT AND ANY REQUIRED PENETRATIONS WITH ARCHITECT.

- KEYED ELEVATION NOTES:
1. all new railings at Juliet balconies to be wrought iron w/ 2" posts, fully welded pickets, powder coated with UVA protection, protective decorative bolts over base of posts to protect roof prime areas, and high quality fasteners w/ washers. Samples and shop drawings are required prior to manufacture.



existing single story addition with new wood siding, window trims and soffits with details TME

new painted steel guardrail, see details

new wood band board at single story porches



Boylan Avenue Elevation (East)  
1/8" = 1'-0"

Additions and Renovations  
**Montfort Hall**  
308 South Boylan Avenue  
Raleigh, North Carolina

REVIEW SET  
NOT FOR  
CONSTRUCTION

**MAURER ARCHITECTURE**  
115.5 EAST HARGETT STREET, SUITE 300  
RALEIGH, NORTH CAROLINA 27601  
TEL. 919-829-4969 FAX. 919-829-0860

DATE 5.8.19  
DR. ma  
CH. ma  
PROJ. # 18053  
REVISIONS DATE

Proposed Exterior Elevations

A2.1