



# Administrative Approval Action

Case File / Name: ASR-SR-40-2019  
Marco's Pizza

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located east of Millbrook Road on the north side of Glenwood Avenue at 6820 Glenwood Avenue (PIN#0786-59-6095).

**REQUEST:** Development of a 0.74 acre tract zoned CX-3-PL with existing retail use space of 6,568 sf of gross floor area. This proposed plan will create a new use space for a proposed restaurant with 38 seats which will occupy 2,186 sf of gross floor area while the existing retail use space will remain in the existing structure and occupy the remaining 4,382 sf of gross floor area. Since this structure is existing and no addition is being added, the existing transparency & average grade will remain the same for the building and the applicant is proposing no alterations to the existing exterior. Therefore, the building is exempt from meeting transparency requirements for a -CX zoning building type per UDO Sec.3.4.2.C.1.6.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 29, 2020 by Kimley-Horn and Associates.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

|                                     |                                     |
|-------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> | Utility Placement Easement Required |
|-------------------------------------|-------------------------------------|

|  |  |
|--|--|
|  |  |
|--|--|

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

### **Engineering**

1. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.



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☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## General

1. A profile & detail, for the existing solid waste services structure, in the rear of the site, is provided & shown on the building permit plans set. The screening must comply with UDO Sec.7.2.5.C & the COR SWS Manual.

## Engineering

2. A fee-in-lieu for 1' of sidewalk along the frontage of Glenwood Avenue is paid to the City of Raleigh (UDO 8.1.10).

## Urban Forestry

3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 3 street trees along Glenwood Ave.
4. A public infrastructure surety for 3 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

***The following are required prior to issuance of building occupancy permit:***

## Urban Forestry

1. Final inspection of all right of way street trees by Urban Forestry Staff.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** February 26, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has



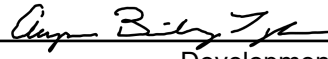
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been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 02/27/2020  
Development Services Dir/Designee  
Staff Coordinator: **Jermont Purifoy**



Plotted By: Writter, Rebecca Sheet: Set-Marco's Pizza Layout: CO.0 COVER SHEET January 29, 2020 11:34:04am K:\RAL\DEVELOP\15000-marco's pizza-glenwood\08\_cdd\_files\plansheets\CO.0 COVER SHEET.dwg  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

# ADMINISTRATIVE SITE REVIEW FOR MARCO'S PIZZA AT 6820 GLENWOOD AVENUE, SUITE 110 RALEIGH, WAKE COUNTY, NC

PARCEL PIN: 0786-59-6095  
ASR-SR-40-2019  
TRANSACTION: 577132

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 600 | Raleigh, NC 27601 | 919-996-2496

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #:

Planning Coordinator:

Building Type

Site Transaction History

☐ Detached

☐ Attached

☐ Apartment

☐ Townhouse

☐ General

☒ Mixed use

☐ Open lot

☐ Civic

Subdivision transaction #:

Sketch transaction #:

Certificate of Appropriateness #:

Board of Adjustment #:

Zoning Case #:

Administrative Alternate #:

GENERAL INFORMATION

Development name: Marco's Pizza

Inside City limits: ☒ Yes ☐ No

Property address(es): 6820 Glenwood Avenue, Suite 110, Raleigh, NC 27612

Site P.I.N.(s): 0786596095

Please describe the scope of work, include any additions, expansions, and change of use.  
Convert ±2,186 SF of existing retail space in the ±5,568 SF building at 6820 Glenwood Avenue from retail use to restaurant use. The current retail use (office max) will remain and the new principal use, restaurant, is being proposed.

Current Property Owner/Developer Contact Name: Barry Troy  
**NOTE: please attach purchase agreement when submitting this form.**  
Company: 6820 Glenwood Ave., LLC Title: Barry Troy, Manager  
Address: 8708 W. Lake Ct, Raleigh, NC 27613  
Phone #: 919-782-8769 Email: barry.troy@gmail.com  
Applicant Name: Diana Howell, PE  
Company: Kimley-Horn Address: 421 Fayetteville Street, Suite 600, Raleigh, NC 27601  
Phone #: 919-678-4129 Email: diana.howell@kimley-horn.com

Page 1 of 2

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DEVELOPMENT TYPE • SITE DATA TABLE

(Applicable to all developments)

| SITE DATA  | BUILDING DATA   |
|--|---|
| Zoning district (if more than one, please provide the acreage of each): CX-3PL | Existing gross floor area (not to be demolished): ±5,568 SF<br>Existing gross floor area to be demolished: 0 SF |
| Gross site acreage: 0.74   | New gross floor area: 0 SF  |
| # of parking spaces required: 30   | Total sf gross (to remain and new): ±6,568 SF   |
| # of parking spaces proposed: 31   | Proposed # of buildings: 1  |
| Overlay District (if applicable): N/A  | Proposed # of stories for each: 1   |
| Existing use (UDO 6.1.4): Retail   |   |
| Proposed use (UDO 6.1.4): Proposed Restaurant and Retail                       |   |

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.63 Square Feet: 27969  
Is this a flood hazard area? ☐ Yes ☒ No  
If yes, please provide: Alluvial soils  
Flood stu: FEMA Map Panel #: Neuse River Buffer: ☐ Yes ☒ No Wetlands: ☐ Yes ☒ No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: # of bedroom units: 1br: 2br: 3br: 4br or more: Is your project a cottage court? ☐ Yes ☐ No

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.  
I hereby designate Diana Howell, PE to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.  
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy which states applications will expire after 180 days of inactivity.  
Signatures: Barry Troy, Manager, 6820 Glenwood Ave., LLC Date: 1/24/2020  
Printed Name: Barry Troy, Manager

Page 2 of 2

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| SITE DATA                             |   |
|---------------------------------------|---|
| PROJECT INFORMATION                   |   |
| PROJECT NAME:                         | MARCO'S PIZZA   |
| OWNER:                                | 6820 GLENWOOD AVE, LLC  |
| JURISDICTION:                         | CITY OF RALEIGH   |
| PIN #S:                               | 0786596095  |
| STREET ADDRESS:                       | 6820 GLENWOOD AVENUE, SUITE 110, RALEIGH, NC 27612  |
| SITE SIZE & COVERAGES                 |   |
| TOTAL ACREAGE:                        | 0.74 ACRES  |
| PROJECT ACREAGE:                      | 0.14 ACRES  |
| EXISTING USE:                         | RETAIL  |
| PROPOSED USE:                         | RETAIL AND PROPOSED RESTAURANT  |
| EXISTING BUILDING SQUARE FOOTAGE:     | RETAIL: 6568 SF   |
| PROPOSED BUILDING SQUARE FOOTAGE:     | PROPOSED RESTAURANT: 2186 SF<br>RETAIL: 4382 SF<br>(TOTAL BUILDING: 6568 SF)  |
| PROPOSED RESTAURANT SEATING           | 38 SEATS TO BE PROVIDED   |
| BUILDING HEIGHT (PROJECT LIMITS):     | 26 FT 8.5 INCHES +/-  |
| EXISTING PARKING:                     | 34 SPACES (INCLUDING 1 ADA)   |
| REQ'D PARKING:                        | RETAIL: 1/300 SF = 15 SPACES<br>PROPOSED RESTAURANT: 1/150 SF = 15 SPACES OR 1/5 SEATS = 8 SPACES (WHICHEVER IS GREATER)<br>TOTAL: 30 SPACES (INCLUDING 2 ADA)                              |
| PROPOSED PARKING:                     | 31 SPACES (INCLUDING 2 ADA)   |
| REQUIRED BICYCLE PARKING:             | RETAIL SHORT-TERM: 1/5,000 SF (MIN. 4) = 4<br>RETAIL LONG-TERM: NONE<br>PROPOSED RESTAURANT SHORT-TERM: 1/50,000 SF (MIN. 4) = 4<br>PROPOSED RESTAURANT LONG-TERM: 1/25,000 SF (MIN. 4) = 4 |
| PROPOSED BICYCLE PARKING              | 8 SHORT-TERM PARKING SPACES VIA BIKE RACKS AND 4 LONG-TERM BICYCLE PARKING SPACES PROVIDED INTERIOR TO BUILDING   |
| ZONING                                |   |
| EXISTING ZONING:                      | CX-3-PL   |
| PROPOSED ZONING:                      | CX-3-PL   |
| EXISTING USE (WITHIN PROJECT LIMITS): | RETAIL (OFFICE MAX)   |
| PROPOSED USE (WITHIN PROJECT LIMITS): | RETAIL (OFFICE MAX WILL REMAIN) AND PROPOSED RESTAURANT   |

**OWNER**  
6820 GLENWOOD AVE, LLC  
6820 GLENWOOD AVENUE, SUITE 110  
RALEIGH, NC 27612  
CONTACT: JOE RUSSO  
PHONE: 919-205-4319  
EMAIL: RUSSO0873@YAHOO.COM

**CIVIL ENGINEER**  
KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE ST, STE 600  
RALEIGH, NC 27601  
CONTACT: DIANA HOWELL, PE  
PHONE: 919-678-4129  
EMAIL: DIANA.HOWELL@KIMLEY-HORN.COM

**SURVEYOR**  
KCI ASSOCIATES OF NC  
4505 FALLS OF NEUSE ROAD, FLOOR 4  
RALEIGH, NC 27609  
CONTACT: ROBERT BAUMGARTNER, NC PLS  
PHONE: 919-783-9214  
EMAIL: ROB.BAUMGARTNER@KCI.COM

**ARCHITECT**  
GPN ARCHITECTURE, INC.  
399 LUCERNE DRIVE  
SPARTANBURG, SC 29302  
CONTACT: KYLE HENRY  
PHONE: 804-583-2215  
EMAIL: MAIL@GPNARCHT.COM

| Sheet List Table |   |
|------------------|---|
| Sheet Number     | Sheet Title                                     |
| C0.0             | COVER SHEET                                     |
| C1.0             | EXISTING CONDITIONS AND DEMOLITION PLAN         |
| C2.0             | SITE AND UTILITY PLAN                           |
| C3.0             | GRADING AND DRAINAGE PLAN                       |
| L1.0             | LANDSCAPE PLAN                                  |
| L2.0             | LANDSCAPE DETAILS                               |
| G-1.0            | ARCHITECTURAL COVER SHEET AND INDEX OF DRAWINGS |
| A-1.0            | FLOOR PLAN AND SCHEDULE                         |
| A-7.0            | EXTERIOR ELEVATIONS                             |
| A-7.1            | ASR PLAN  |
| AP-1.0           | SEWER PLAN                                      |
| AP-2.0           | SUPPLY PIPING PLAN                              |

**PRELIMINARY**  
NOT FOR CONSTRUCTION

**SURVEY NOTE:**  
EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN BASED ON A TOPOGRAPHIC SURVEY RECEIVED 05/17/2019 PROVIDED BY KCI ASSOCIATES OF NC.

THE SITE WILL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1-2009 AND CHAPTER 11 OF THE NCBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR, OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE. EXISTING CURB RAMP AND PATH OF TRAVEL FROM PARKING TO PROPOSED MARCO'S PIZZA ENTRANCE ARE EXISTING NON-COMPLIANT CONDITIONS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH, WAKE COUNTY, AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**DEVELOPMENT NOTES:**

- PROPOSED PROJECT IS FOR INTERIOR ALTERATIONS ONLY FOR THE EXISTING BUILDING AND A NEW ADA PARKING STALL.
- THERE IS NO PROPOSED MODIFICATION TO THE EXISTING SITE LIGHTING OR EXTERIOR BUILDING LIGHTING.
- THERE IS NO PROPOSED IMPROVEMENT TO THE EXTERIOR HVAC EQUIPMENT. EXISTING HVAC EQUIPMENT IS ROOF MOUNTED AND NOT VISIBLE FROM THE PROPERTY LINE.
- THERE WILL BE NO CHANGES TO THE EXISTING BUILDING FACADE TRANSPARENCY.
- NO IMPROVEMENTS TO EXISTING LANDSCAPING REQUIRED PER UDO SEC 7.2.2.B.1 AND SEC 8.5.1.B.2.A
- THERE WILL BE NO MODIFICATIONS TO THE EXISTING WATER/SEWER/STORM SYSTEM ON SITE.

**GENERAL NOTES:**

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, DOWNSPOUTS, GRAVEL AREAS ADJACENT TO BUILDING WALLS, UTILITY ENTRANCE LOCATIONS AND BOLLARDS IN BUILDING SIDEWALKS. ANY DISCREPANCIES FOUND BETWEEN THE BUILDING AND CIVIL PLANS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY THE NORTH CAROLINA DEPT. OF TRANSPORTATION (NCDOT) AND CITY OF RALEIGH INSPECTIONS.
- THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO PRIVATE PROPERTY AND THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE NCDOT AND CITY OF RALEIGH.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- ALL WORK MUST COMPLY WITH NORTH CAROLINA STATE BUILDING CODE AND NORTH CAROLINA ACCESSIBILITY CODE CHAPTER 11 AS WELL AS FEDERAL, STATE AND LOCAL ACCESSIBILITY REQUIREMENTS.
- ADJACENT STREETS SHALL BE KEPT CLEAN AT ALL TIMES.

Kimley»Horn

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KIMLEY-HORN.COM

No.

REVISIONS

DATE

BY

KHA PROJECT 013415000

DATE 01/29/2020

SCALE AS SHOWN

DESIGNED BY MBD

DRAWN BY MBD

CHECKED BY DEB

COVER SHEET

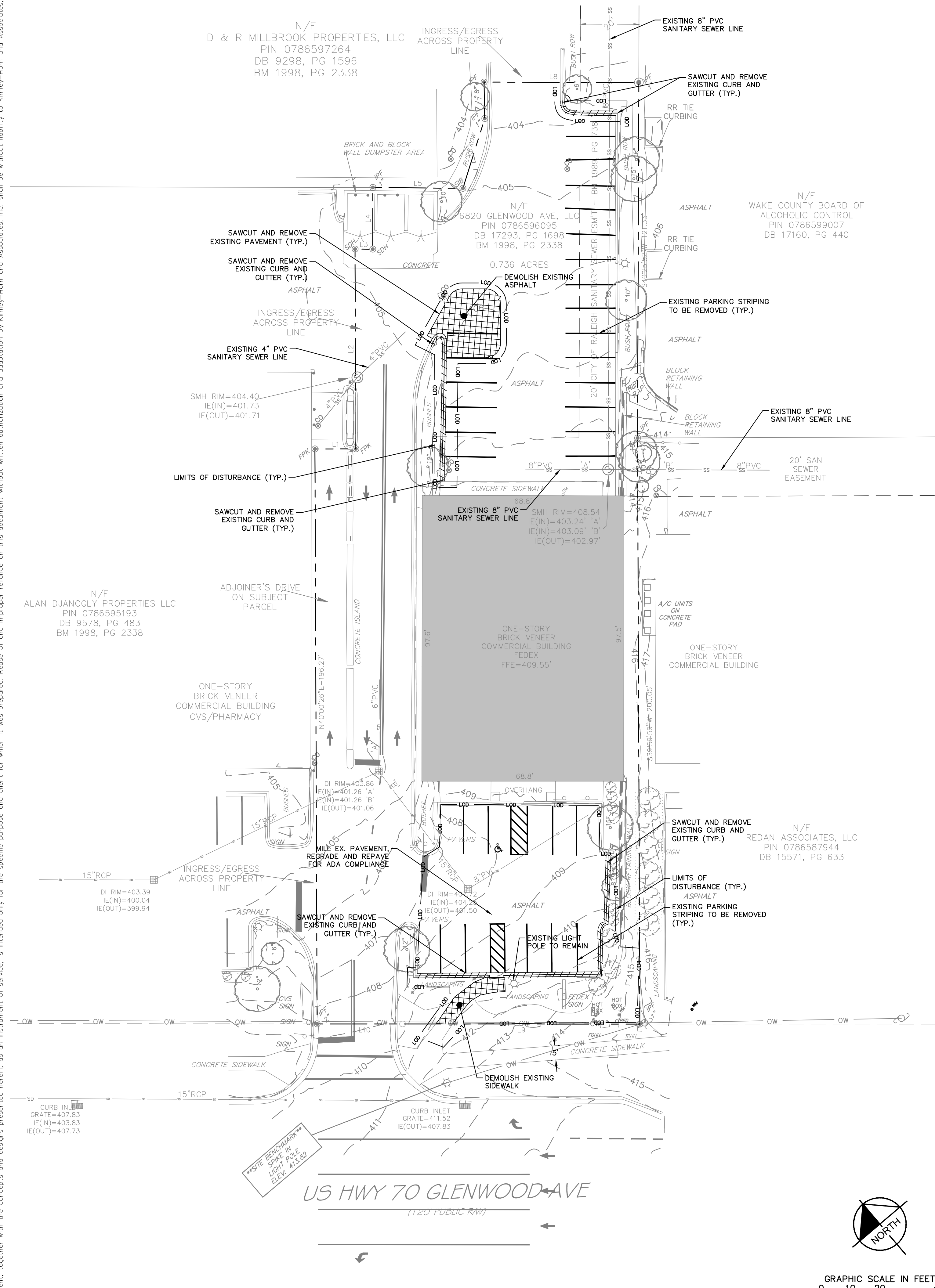
NC

MARCO'S PIZZA  
PREPARED FOR  
R-TIME GW, LLC

CITY OF RALEIGH




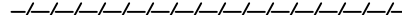
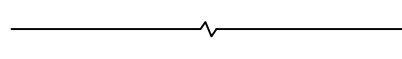
SHEET NUMBER  
C0.0





| PROJECT INFORMATION                   |  |
|---------------------------------------|--|
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| OWNER:                                | 6820 GLENWOOD AVE., LLC  |
| JURISDICTION:                         | CITY OF RALEIGH  |
| PIN #S:                               | 0786596095   |
| STREET ADDRESS:                       | 6820 GLENWOOD AVENUE, SUITE 110, RALEIGH, NC 27612   |
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| PROJECT ACREAGE:                      | 0.14 ACRES   |
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| EXISTING PARKING:                     | 34 SPACES (INCLUDING 1 ADA)  |
| REG'D PARKING:                        | RETAIL: 1/300 SF = 15 SPACES<br>PROPOSED RESTAURANT:<br>1/150 SF = 15 SPACES OR<br>1/5 SEATS = 8 SPACES<br>(WHICHEVER IS GREATER)<br>TOTAL: 30 SPACES (INCLUDING 2 ADA)                              |
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| PROPOSED ZONING:                      | CX-3-PL  |
| EXISTING USE (WITHIN PROJECT LIMITS): | RETAIL   |
| PROPOSED USE (WITHIN PROJECT LIMITS): | RETAIL AND PROPOSED RESTAURANT   |

## DEMOLITION LEGEND

|   |                                    |
|---|------------------------------------|
|    | PROPERTY LINE                      |
|    | LIMITS OF DISTURBANCE              |
|    | DEMOLISH SITE ITEM                 |
|  | SAWCUT                             |
|  | SIDEWALK/PAVEMENT<br>TO BE REMOVED |

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

SURVEY NOTE:  
EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN  
BASED ON A TOPOGRAPHIC SURVEY RECEIVED 05/17/2019  
PROVIDED BY KCI ASSOCIATES OF NC.

THE SITE WILL BE FULLY COMPLIANT WITH THE NORTH  
CAROLINA ACCESSIBILITY CODES (ANSI 117.1-2009 AND  
CHAPTER 11 OF THE NCBC) UNLESS AND EXCEPT IN AREAS  
WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER,  
SURVEYOR, OR ARCHITECT VERIFIES THAT THE SITE CONDITIONS  
EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND  
UNUSUAL. METHODS OF COMPLIANCE ARE POSSIBLE  
EXISTING CURB RAMP AND PAVEMENT TRAVEL FROM PARKING  
TO PROPOSED MARCO'S PIZZA ENTRANCE ARE EXISTING  
NON-COMPLIANT CONDITIONS.

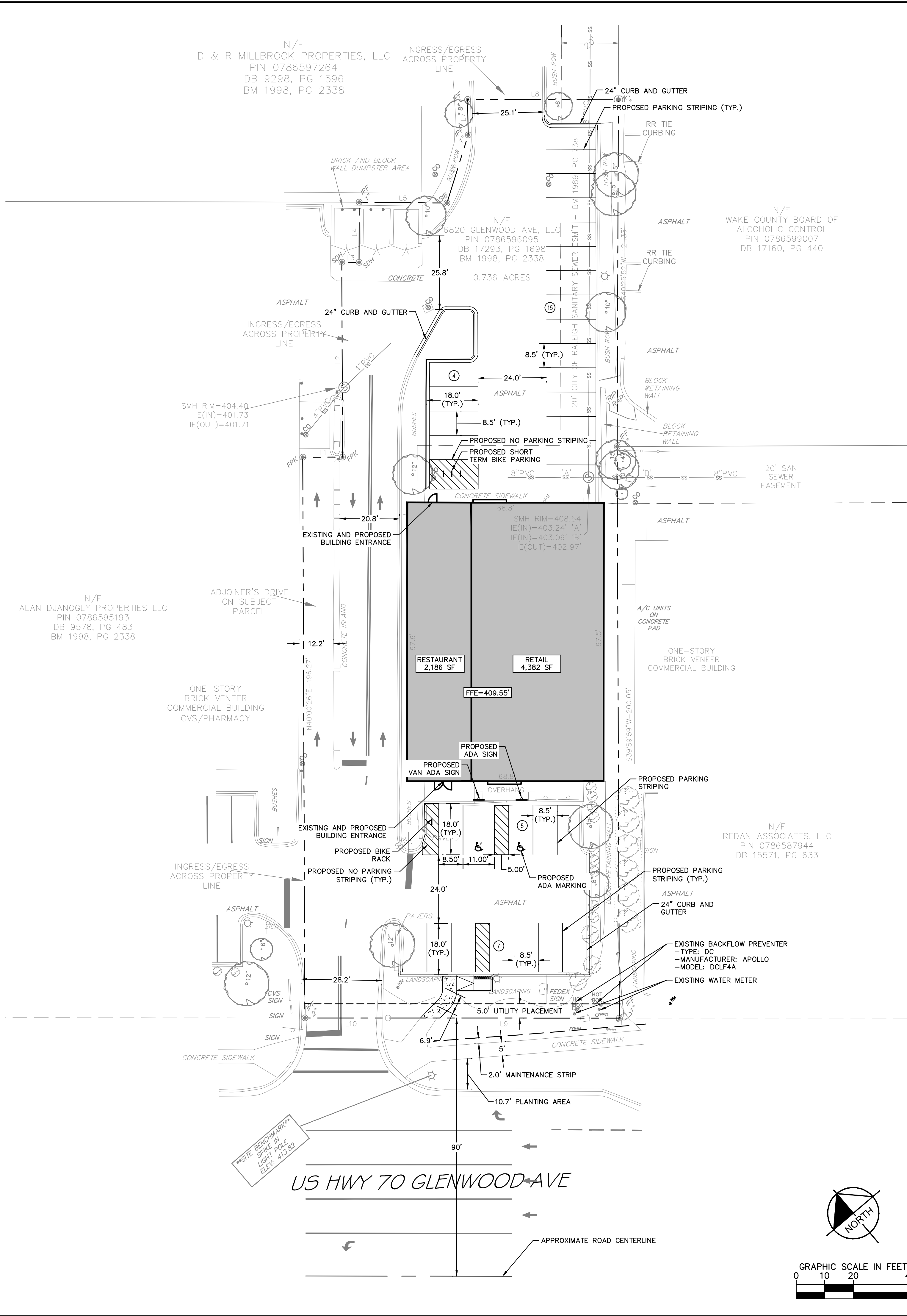
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RALEIGH, WAKE COUNTY, AND/OR NCDOT STANDARDS AND  
SPECIFICATIONS.









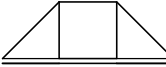
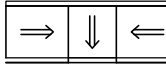
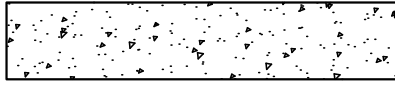

Know what's **below.**  
Call before you dig.

|  |                       |
|--|-----------------------|
| SHEET NUMBER   | C1.0                  |
| MARCO'S PIZZA<br>PREPARED FOR<br>R-TIME GW, LLC  | CITY OF RALEIGH       |
| EXISTING<br>CONDITIONS AND<br>DEMOLITION PLAN  | NC                    |
| KHA PROJECT<br>013415000<br>DATE<br>01/29/2020<br>SCALE AS SHOWN<br>DESIGNED BY MBD<br>DRAWN BY MBD<br>CHECKED BY DEB  |                       |
| <b>Kimley»Horn</b><br><br>© 2019 KIMLEY-HORN AND ASSOCIATES, INC.<br>421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601<br>PHONE: 919-677-2000 FAX: 919-677-2050<br>WWW.KIMLEY-HORN.COM<br>#-0102 | No. REVISIONS DATE BY |





# SITE LEGEND

|   |  |
|---|--|
|  | PROPERTY LINE  |
|  | EASEMENT LINE  |
|  | STANDARD CURB AND GUTTER                                   |
|  | PARKING SPACE COUNT  |
|  | SIGN (SEE PLAN)  |
|  | ACCESSIBLE PARKING MARKING<br>(V INDICATES VAN ACCESSIBLE) |
|  | ACCESSIBLE RAMP  |
|  | DEPRESSED CURB RAMP  |
|  | CONCRETE SIDEWALK  |
|  | SHORT-TERM BICYCLE RACKS                                   |

- |   |
|---|
| <p><b>NOTES:</b></p> <ol style="list-style-type: none"> <li>1. CONTRACTOR WILL CONFIRM ADA STALLS ARE &lt; 2% IN ALL DIRECTIONS</li> <li>2. 4 LONG TERM BICYCLE PARKING SPACES PROVIDED INTERIOR TO BUILDING</li> <li>3. CONTRACTOR TO REMOVE AND REPLACE A MINIMUM OF 2' OF ASPHALT ADJOINING DEMOLISHED CURB AND GUTTER.</li> </ol> |
|---|

| PROJECT INFORMATION                   |  |
|---------------------------------------|--|
| PROJECT NAME:                         | MARCO'S PIZZA  |
| DEVELOPER:                            | R-TIME GW, LLC   |
| JURISDICTION:                         | CITY OF RALEIGH  |
| PIN #S:                               | 0786596095   |
| STREET ADDRESS:                       | 6820 GLENWOOD AVENUE, SUITE 110,<br>RALEIGH, NC 27612  |
| SITE SIZE & COVERAGES                 |  |
| TOTAL ACREAGE:                        | 0.74 ACRES   |
| PROJECT ACREAGE:                      | 0.14 ACRES   |
| EXISTING USE:                         | RETAIL   |
| PROPOSED USE:                         | RETAIL AND PROPOSED RESTAURANT   |
| EXISTING BUILDING SQUARE FOOTAGE:     | RETAIL: 6568 SF  |
| PROPOSED BUILDING SQUARE FOOTAGE:     | PROPOSED RESTAURANT: 2186 SF<br>RETAIL: 4382 SF<br>(TOTAL BUILDING: 6568 SF)   |
| PROPOSED RESTAURANT SEATING           | 38 SEATS TO BE PROVIDED  |
| BUILDING HEIGHT (PROJECT LIMITS):     | 26 FT 8.5 INCHES +/-   |
| EXISTING PARKING:                     | 34 SPACES (INCLUDING 1 ADA)  |
| REQ'D PARKING:                        | RETAIL: 1/300 SF = 15 SPACES<br>PROPOSED RESTAURANT:<br>1/150 SF = 15 SPACES OR<br>1/5 SEATS = 8 SPACES<br>(WHICHEVER IS GREATER)<br>TOTAL: 30 SPACES (INCLUDING 2 ADA)                              |
| PROPOSED PARKING:                     | 31 SPACES (INCLUDING 2 ADA)  |
| REQUIRED BICYCLE PARKING:             | RETAIL SHORT-TERM:<br>1/5,000 SF (MIN. 4) = 4<br>RETAIL LONG-TERM: NONE<br>PROPOSED RESTAURANT SHORT-TERM:<br>1/50,000 SF (MIN. 4) = 4<br>PROPOSED RESTAURANT LONG-TERM:<br>1/25,000 SF (MIN. 4) = 4 |
| PROPOSED BICYCLE PARKING              | 8 SHORT-TERM PARKING SPACES VIA BIKE<br>RACKS AND 4 LONG-TERM BICYCLE PARKING<br>SPACES PROVIDED INTERIOR TO BUILDING  |
| ZONING                                |  |
| EXISTING ZONING:                      | CX-3-PL  |
| PROPOSED ZONING:                      | CX-3-PL  |
| EXISTING USE (WITHIN PROJECT LIMITS): | RETAIL   |
| PROPOSED USE (WITHIN PROJECT LIMITS): | RETAIL AND PROPOSED RESTAURANT   |

|   |  |                 |   |    |  |           |
|---|--|-----------------|---|----|--|-----------|
| MARCO'S PIZZA<br>PREPARED FOR<br>R-TIME GW, LLC |  | CITY OF RALEIGH |   | NC | SHEET NUMBER<br><b>C2.0</b>  |           |
| SITE AND UTILITY<br>PLAN                        |  |                 | KHA PROJECT<br>013415000<br>DATE<br>01/29/2020<br>SCALE AS SHOWN<br>DESIGNED BY MBD<br>DRAWN BY MBD<br>CHECKED BY DEB |    | KIMLEY-HORN AND ASSOCIATES, INC.<br>421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601<br>PHONE: 919-677-2000 FAX: 919-677-2050<br>WWW.KIMLEY-HORN.COM<br>#--0102 |           |
|   |  |                 |   |    | No.  | Revisions |
|   |  |                 |   |    | DATE   | BY        |



GRAPHIC SCALE IN FEET

A horizontal scale bar with tick marks at 0, 10, 20, and 40 feet. The bar is divided into alternating black and white segments. The first 10 feet is white, the next 10 feet is black, the next 10 feet is white, and the final 10 feet is black.

SHEET NUMBER  
**L1.0**





**GERALD P. NOE ARCHITECT**  
N.C. REGISTRATION NO. 6568

399 LUCERNE DRIVE  
SPARTANBURG, SC 29302  
P: 864.583.2215 F: 864.583.2265  
mail@gpnarcht.com

CHECKED BY: DKH  
DRAWN BY: DKH

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SOLE PROPERTY OF THE ARCHITECT, AND SHALL NOT BE USED IN ANY WAY, WHATSOEVER, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. IT SHALL BE RETURNED TO THE ARCHITECT UPON DEMAND.  
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| REVISIONS: |            |                                  |     |
|------------|------------|----------------------------------|-----|
| NO.        | DATE       | DESCRIPTION                      | BY  |
| 1          | 2019-06-04 | REVISED PER CODE REVIEW COMMENTS | LFM |
| 2          | 2019-12-04 | REVISED PER CODE REVIEW COMMENTS | LFM |
| 3          | 2020-1-13  | REVISED PER CODE REVIEW COMMENTS | LFM |

FRANCHISEE NAME:  
**R-TIME GW, LLC.**

JOE RUSSO  
6544 WAKE FALLS DRIVE  
WAKE FOREST, NORTH CAROLINA 27587

PROJECT NAME:  
**marco's Pizza UP-FIT**  
6820 GLENWOOD AVENUE - SUITE 110  
RALEIGH, NORTH CAROLINA 27612

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

PROJECT NUMBER 18-A113

DATE 11-01-2018

SHEET NO.

**A-7**

SHEET 13 OF 13