



Administrative Approval Action

Case File / Name: ASR-SR-42-2018
612 Glenwood Building Addition & Outdoor Bar

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Peace Street, east of Glenwood Avenue at 612 Glenwood Avenue.

REQUEST: Development of a 0.19 acre tract zoned DX-5-SH. This is a proposed change of use for an existing building of 1,830 sf area to a proposed restaurant/bar structure, including a proposed addition of 233 sf to the existing ground first floor and a proposed second floor addition of 607 sf gross area for a total proposed gross floor area of 840 sf. The overall gross floor area will be 2,670 sf.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 12, 2020 by C3 DESIGN & ENG.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Applicant revises the floorplan sheet and seat count total, as depicted on sheet 4 of 9 - "lower level floorplan" to show 55 seats (currently 51 seats shown), on the BLDNR (or SPR) plans sets, or both if SPR plans are required.

Engineering

2. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
3. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

Urban Forestry

4. A public infrastructure surety for a street tree in a tree grate shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).



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5. A tree impact permit must be obtained for the removal of one existing street tree and the approved streetscape tree installation in the right of way. This development proposes 1 street tree in a tree grate along Glenwood Avenue.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

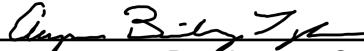
3-Year Expiration Date: May 7, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

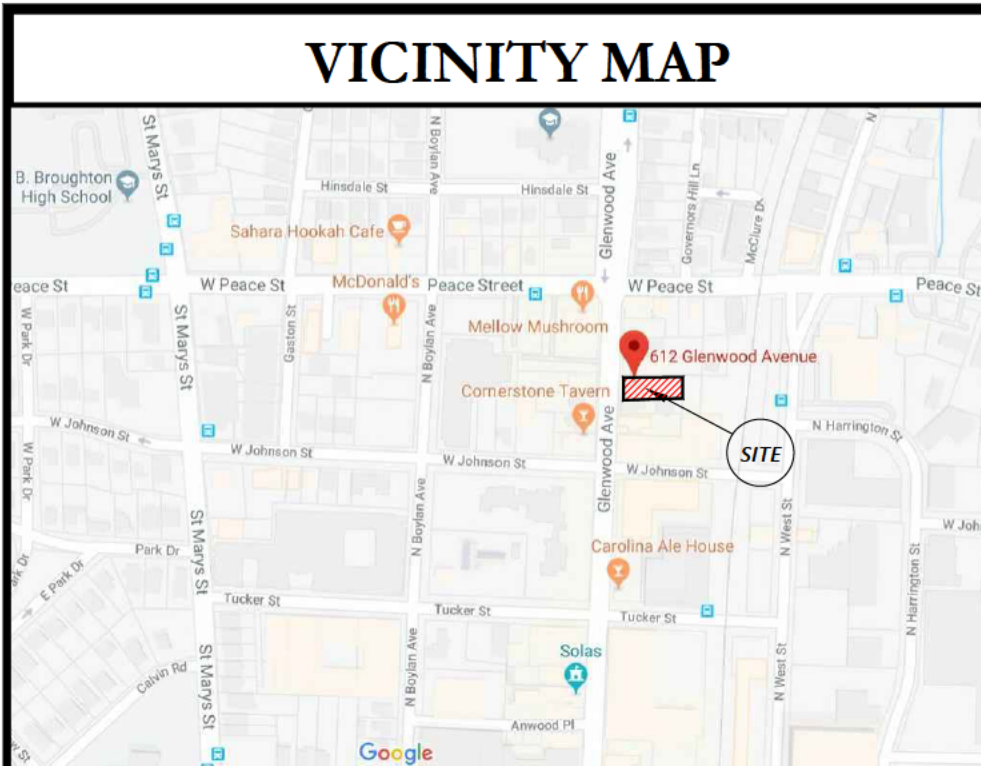
4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 05/07/2020
Development Services Dir/Designee

Staff Coordinator: Jermont Purifoy



VICINITY MAP

SITE INFORMATION

CURRENT OWNER:
APPLICANT:
PARCEL ID:
JURISDICTION:
COUNTY:
STATE:

JT HOBBY & SON INC.
BUNCH OF FIVES HOSPITALITY GROUP / MATTHEW KENNER
1704-41-7858
CITY OF RALEIGH
WAKE
NORTH CAROLINA

REFERENCE:

DB 15894 / PG 135

EXISTING USE:
PROPOSED USE:
STREET TYPE:

HAIR SALON
NIGHT CLUB/BAR ADDITION & ACCESSORY STRUCTURE
MAIN STREET – PARALLEL PARKING

EXISTING ZONING:

DX-5 SH (DOWNTOWN MIXED USE - 5 STORY - SHOPFRONT)

PROPOSED HEIGHT:

2 STORES (SEE ARCH ELEVATIONS)

PROPERTY INFO

REQUIRED

PROVIDED

SITE AREA:
WIDTH:
OUTDOOR AMENITY AREA:
OVERALL GROSS FLOOR AREA:

N/A
N/A
844 SF
2,670 SF

8,439 SF / 0.194 AC
52.5 LF
652 SF
2,670 SF

PRINCIPAL STRUCTURE INFO:

1ST STORY TOTAL FOOTPRINT: 2,063 SF
GROSS FLOOR AREA PER UDO SEC. 12.2: 2,063 SF (EXISTING + PROPOSED)
EXISTING GROSS FLOOR AREA: 1,830 SF
PROPOSED GROSS FLOOR AREA ADDITION: 233 SF

2ND STORY TOTAL FOOTPRINT: 1,841 SF
GROSS FLOOR AREA PER UDO SEC. 12.2: 607 SF (PROPOSED)
1,234 SF – ADDITIONAL OPEN AREAS, COVERED BY ROOF STRUCTURES/TRELLIS

TOTAL GROSS FLOOR AREA PER UDO SEC. 12.2: 2,670 SF
FRONT SETBACK: 3.1 FT
SIDE SETBACK: 0 or 6 LF
REAR SETBACK: 0 or 6 LF
BUILD TO: 0/15'

7,489 SF / 0.172 AC
-325 SF / 0.007 AC
7,164 SF / 0.164 AC ---NO NET INCREASE---

PROPOSED WATER SUPPLY:
PROPOSED SEWAGE TREATMENT:

CITY OF RALEIGH (NEW SERVICE)
CITY OF RALEIGH (USE SERVICE TO EXISTING BLDG)

DRAWING INDEX

ADMINISTRATIVE SITE REVIEW APPLICATION
(for UDO Districts only)

DEVELOPMENT SERVICES

DEPARTMENT

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE

FOR OFFICE USE ONLY

Development Name: 612 Glenwood Building Addition & Outdoor Bar

Development Number: 1704-41-7858

Overlay District (if applicable): DX-5

Inside City Limits: Yes

Proposed Use: BAR / NIGHT CLUB

Property Address(es): 612 GLENWOOD AVENUE

Major Street Locator: ON GLENWOOD AVE

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1704-41-7858

P.I.N.

P.I.N.

What is your project type?

Detached
Attached
Apartment
Townhouse

General
Mixed Use
Open Lot

Transaction Number
Assigned Project Coordinator
Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

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WORK SCOPE

Per City Code Section 10.2.8.0.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.

Addition of second story for bar area.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE

Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 – Alternate Administrative AE

CLIENT/DEVELOPER/OWNER

Company: Noir Holdings, LLC

Name: (M) Matthew Kenner (Lessee)

Address: 612 Glenwood Avenue, Raleigh, NC 27603

Phone: 919-376-5877

Email: matt.kenner@icloud.com

Fax:

CONSULTANT (Contact Person for Plans)

Company: C3 Design & Engineering, PLLC

Name: (M) CHAD E. ABBOTT

Address: PO BOX 361, CREEDMOOR, NC 27522

Phone: 919-625-7368

Email: chad@c3designeng.com

Fax: n/a

PAGE 1 OF 3

WWW.RALEIGHNC.GOV

REVISION 05.13.16

GENERAL NOTES:

SITE NOTES:

UTILITY NOTES:

RIGHT OF WAY OBSTRUCTION NOTES:

PUBLIC IMPROVEMENTS

1. ALL EXISTING CONDITIONS SHOWN PER SURVEY PROVIDED BY NEWCOMB LAND SURVEYORS, PLLC, DATED AUGUST 22, 2017.

2. PRIOR TO ANY WORK OR TEMPORARY CONSTRUCTION ITEMS BEING PLACED IN THE RIGHT OF WAY, THE CONTRACTOR SHALL APPLY FOR A RIGHT-OF-WAY SERVICES PERMIT. THIS APPLIES TO ANY LANE OR SIDEWALK CLOSURES, OR OCCUPATION OF STREET PARKING OR ANY OTHER WORK IN THE RIGHT-OF-WAY.

3. CONTRACTOR SHALL APPLY FOR A RIGHT-OF-WAY OBSTRUCTION PERMIT BEFORE ANY VEHICLES OR DUMPSTERS PLACED IN THE RIGHT-OF-WAY.

4. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE LATEST CITY OF RALEIGH STANDARDS AS APPLICABLE.

5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY PERMITS NECESSARY FOR CONSTRUCTION ARE OBTAINED.

6. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

7. THERE WILL BE NO NEW GRADING AROUND GROUND STRUCTURE. ALL DEVELOPMENT WILL TAKE PLACE AT EXISTING GRADE.

1. SURVEY DATA AND LOCATIONS PROVIDED BY NEWCOMB LAND SURVEYORS, PLLC, DATED REVISED AUGUST 22, 2017. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

3. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

4. CONTRACTOR SHALL MAINTAIN ANY EXISTING ACCESSES TO ADJACENT RESIDENCES, BUSINESSES AND PROPERTIES AT ALL TIMES.

1. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS OTHERWISE NOTED.

2. ALL PUBLIC UTILITIES AND CONNECTIONS TO PUBLIC UTILITIES SHALL CONFORM TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

3. PRIOR TO THE CONSTRUCTION OF ANY WATER OR SEWER MAIN EXTENSIONS, TAPS OR RELOCATIONS, THE ENGINEER OF RECORD SHALL BE CONTACTED BY THE GENERAL CONTRACTOR TO DISCUSS CERTIFICATION REQUIREMENTS. FAILURE TO CONTACT THE ENGINEER OF RECORD OR PROVIDE ANY OF THE REQUESTED DOCUMENTATION DISCUSSED MAY RESULT IN THE INABILITY OF THE ENGINEER TO CERTIFY THE LINE AND POSSIBLE REPLACEMENT.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE LOCATION AND/OR RELOCATION OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY, AGENCY OR COMPANY.

5. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS AND DISTURBANCES WITH EXISTING USERS AND THE CITY OF RALEIGH SO THAT ANY SERVICE INTERRUPTIONS ARE MINIMAL.

6. AS IS STANDARD PRACTICE, IT IS ASSUMED THAT THE BUILDING CONTRACTOR AND ASSOCIATED PLANS ARE RESPONSIBLE FOR CONTINUATION OF ALL UTILITIES WITHIN 5' OF THE BUILDING PERIMETER PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL REVIEW BOTH SITE AND BUILDING PLANS WITH THE SITE UTILITIES CONTRACTOR AND PLUMBING CONTRACTOR TO ENSURE THAT THEY ARE CLEAR ON THE TERMINUS POINTS AS WELL AS HOW THE EACH WILL TIE TO THE OTHERS WORK.

7. ALL PIPE INVERTS, TAP LOCATIONS & AVAILABLE CLEARANCES TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTING STORM & UTILITIES AND SHALL BE ADJUSTED BY THE ENGINEER IF NECESSARY. IF THESE ITEMS ARE NOT VERIFIED AT THIS TIME, THE CONTRACTOR WILL BE WHOLLY RESPONSIBLE FOR THE FIELD REVISIONS AND ASSOCIATED DESIGN COSTS OF THE SOLUTIONS PROPOSED.

8. MATERIALS FROM RELOCATED SERVICES SHALL NOT BE REUSED PER CITY OF RALEIGH PUD HANDBOOK, PG 18.

9. CREDITS FOR EXISTING FEES ARE ONLY FOR CAPACITY FEES AND NEW FEES FOR THE METER, ABANDONED SERVICE, AND NEW SERVICE STUB FEES SHALL APPLY AND PAID PRIOR TO CONSTRUCTION.

1. LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK.

2. THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.

3. ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.

4. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

5. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.

6. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

ITEM

AMOUNT

UNITS

NUMBER OF LOTS

0

EA

LOT NUMBER BY PHASE

0

EA

NUMBER OF UNITS

0

EA

LIVABLE BUILDINGS

0

EA

OPEN SPACE

0

EA

NUMBER OF OPEN SPACE LOTS

0

EA

PUBLIC WATER

50

LF (4 FIRE LINE)

PUBLIC SEWER

0

LF

PUBLIC STREET

0

LF

PUBLIC SIDEWALK

0

LF

STREET SIGNS

0

EA

WATER SERVICE STUBS

2

EA

SEWER SERVICE STUBS

0

EA

LEGEND & NOMENCLATURE

PARKING CALCULATIONS

SYMBOLS

LINE TYPES

Ex. iron pipe/rod or nail
Ex. concrete monument
New iron pipe
Calculated point
Cable pedestal
Telephone pedestal
Electric pedestal
Fiber-optic marker
Traffic signal box
Water meter
Fire hydrant
Valve (water or gas)
Sanitary sewer manhole
Sanitary sewer cleanout
Storm curb inlet
Drainage inlet (w/ grate)
Storm drain manhole
Utility pole
Lamp post
Signal pole
Guy wire
Sign post

X
OU
W
SS
SD

Fence
Overhead utility
Water
Sanitary sewer
Storm drain

ABBREVIATIONS

DB Dead Book
PB or BM Plat or Map Book
N/F Now or formerly
Pg. Page
SF Square feet
Ac. Acres
R/W Right-of-way
NCSR NC State Route
NCDOT NC Dept. of Trans.
Ex. Existing
RCP Reinforced concrete pipe
PVC Polyvinyl chloride pipe
(M) Measured
AG Above ground
BG Below ground

PARKING CALCULATIONS:

FOR USE (PER SEC. 7.1.2.C) – RESTAURANT/BAR

1 SPACE PER 150 SF OF GROSS FLOOR AREA OR 1 SPACE PER 5 SEATS, WHICHEVER IS GREATER

REQUIRED PER GFA: 2670 SF / 150 = 17.8 = 18 SPACES

REQUIRED PER SEATS: 130 SEATS / 5 = 26 SPACES

PER SECTION 7.1.3.D, NO VEHICLES PARKING IS REQUIRED FOR THE FIRST 10,000 SF OF GROSS FLOOR AREA OF ANY NONRESIDENTIAL USE

PROVIDED: 5 SPACES

BICYCLE CALCULATIONS:

LONG TERM:

REQUIRED: 1 SPACE PER 50,000 SF OF GROSS FLOOR AREA, MINIMUM 4

SHORT TERM:

REQUIRED: 1 SPACE PER 50,000 SF OF GROSS FLOOR AREA, MINIMUM 4

PROJECT CONTACTS

SUBMITTAL & REVIEW LOG

ADMINISTRATIVE SITE REVIEW - LEVEL III
612 BLDG. & EXTERIOR. BAR ADD.
612 GLENWOOD AVENUE, RALEIGH NC 27603
WAKE COUNTY, NC

CITY OF RALEIGH 6th REVIEW COMMENTS

CITY OF RALEIGH 5th REVIEW COMMENTS

CITY OF RALEIGH 4th REVIEW COMMENTS

CITY OF RALEIGH 3rd REVIEW COMMENTS

CITY OF RALEIGH 2nd REVIEW COMMENTS

CITY OF RALEIGH 1st REVIEW COMMENTS

FIRST ISSUED

REVISIONS

DATE

C3 PROJECT #:

17-037

City of Raleigh Transaction #:

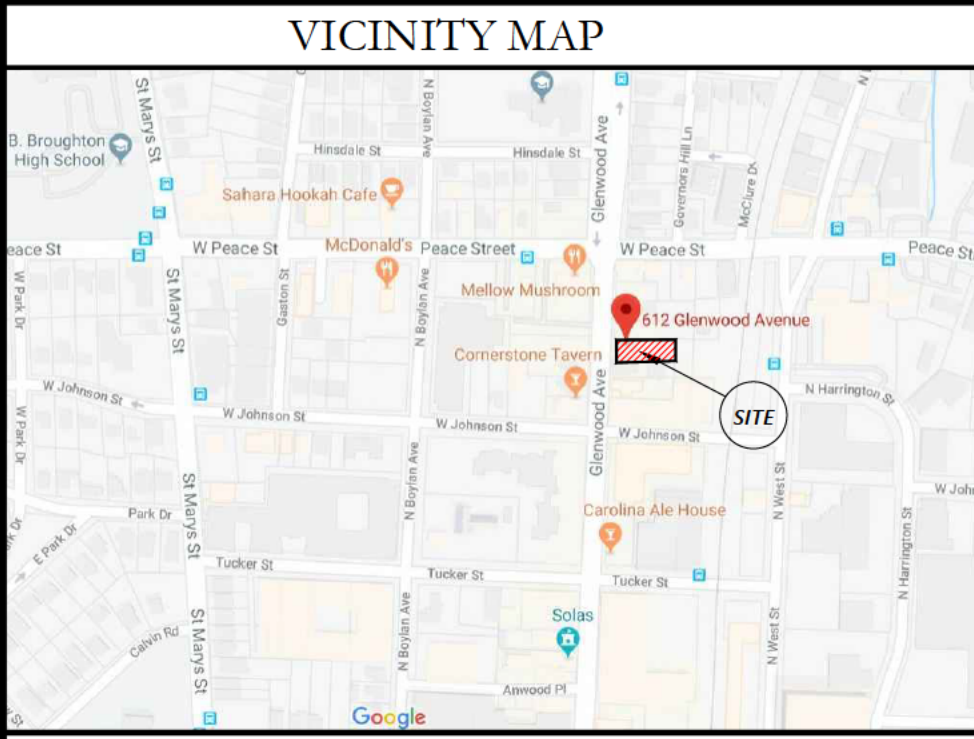
554021

SHEET #:

C-1.1

COVER SHEET

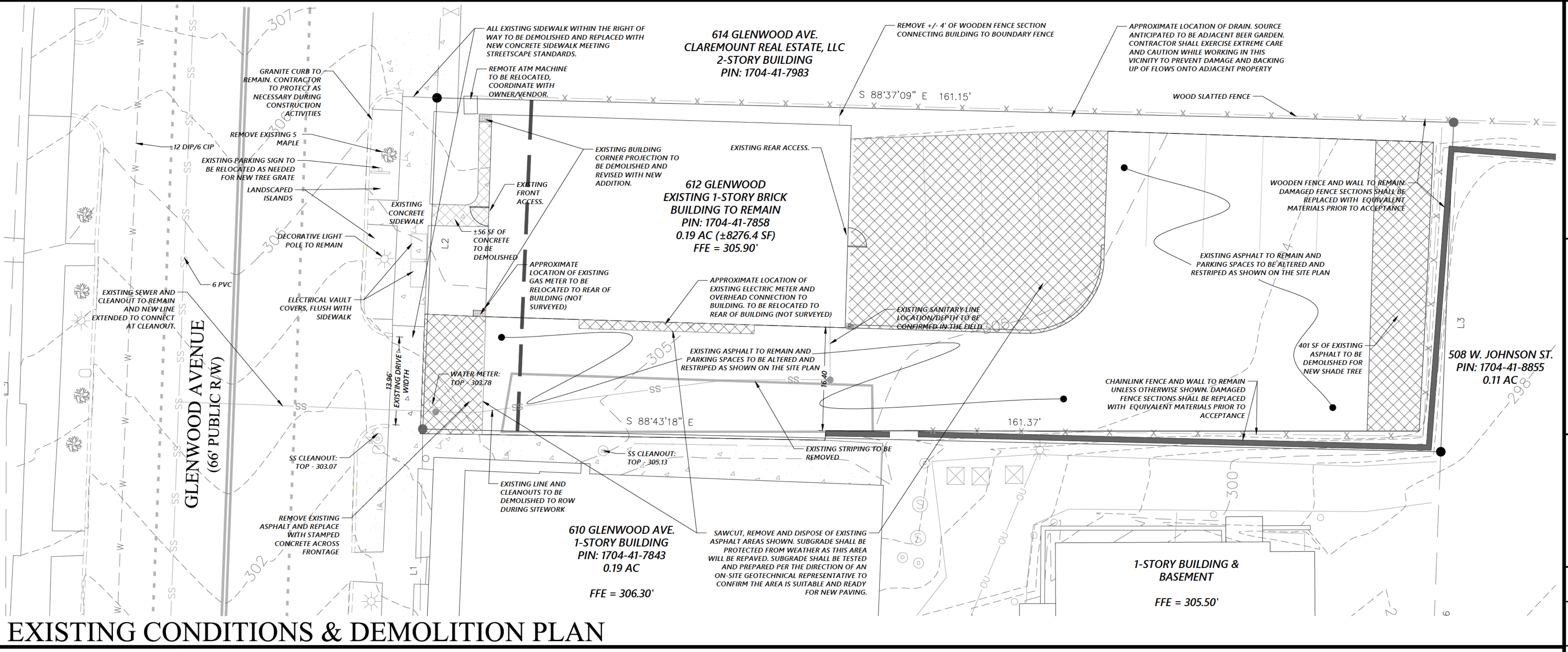
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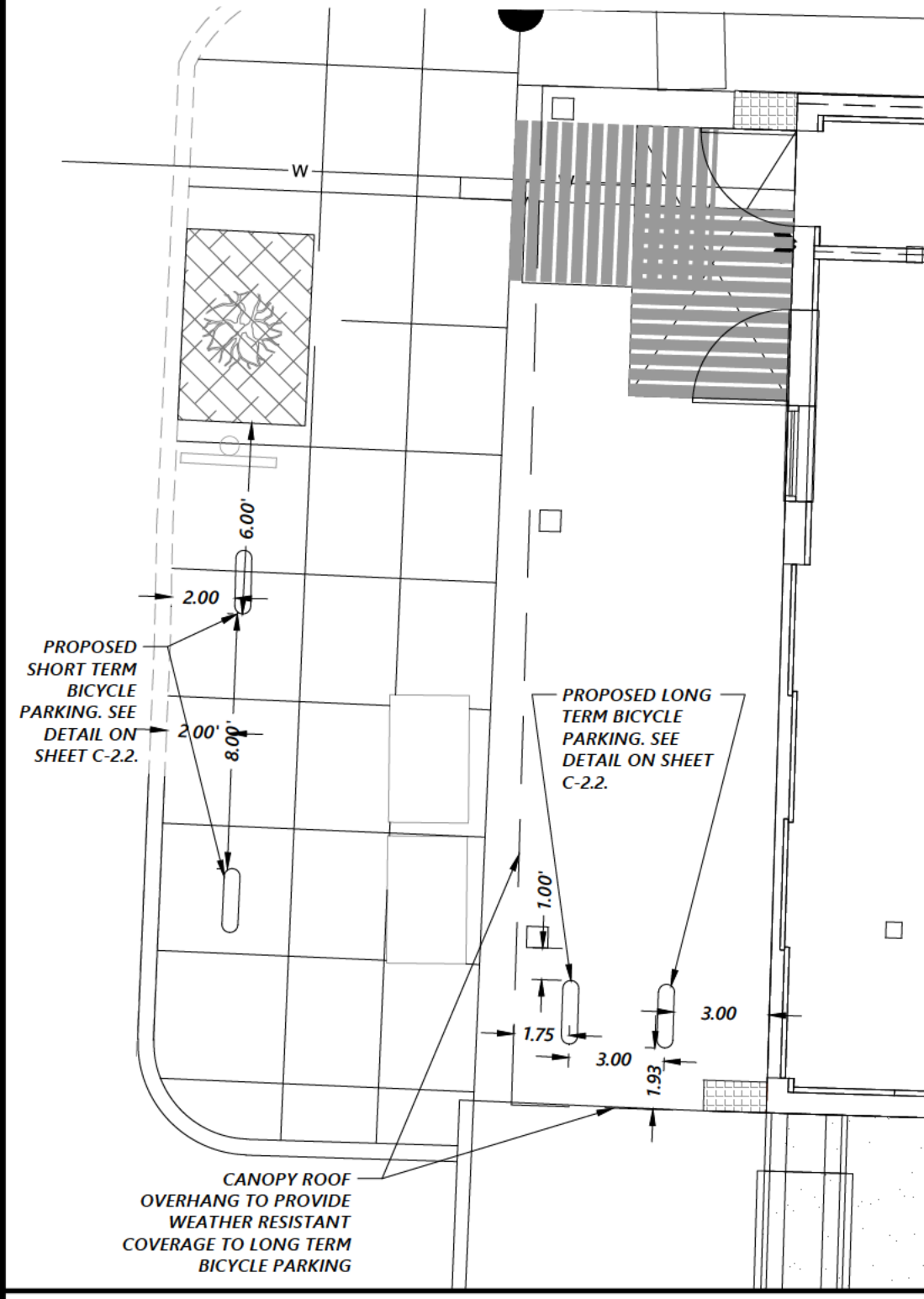
LEGEND & NOMENCLATURE

SYMBOLS	LINETYPES
● Ex. iron pipe/rod or nail	— X — Fence
■ Ex. concrete monument	— OU — Overhead utility
● New iron pipe	— W — Water
● Calculated point	— SS — Sanitary sewer
○ Cable pedestal	— SD — Storm drain
○ Telephone pedestal	5' MIN ACCESSIBLE ROUTE MAX 2% CROSS SLOPE & 5% LONG SLOPE
○ Electric pedestal	
○ Fiber-optic marker	
○ Traffic signal box	
○ Water meter	
○ Fire hydrant	
○ Valve (water or gas)	
○ Sanitary sewer manhole	
○ Sanitary sewer cleanout	
○ Storm curb inlet	
○ Drainage inlet (w/ grate)	
○ Storm drain manhole	
○ Utility pole	
○ Lamp post	
○ Signal pole	
○ Guy wire	
○ Sign post	

ABBREVIATIONS
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(M) Measured
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BICYCLE PARKING EXHIBIT

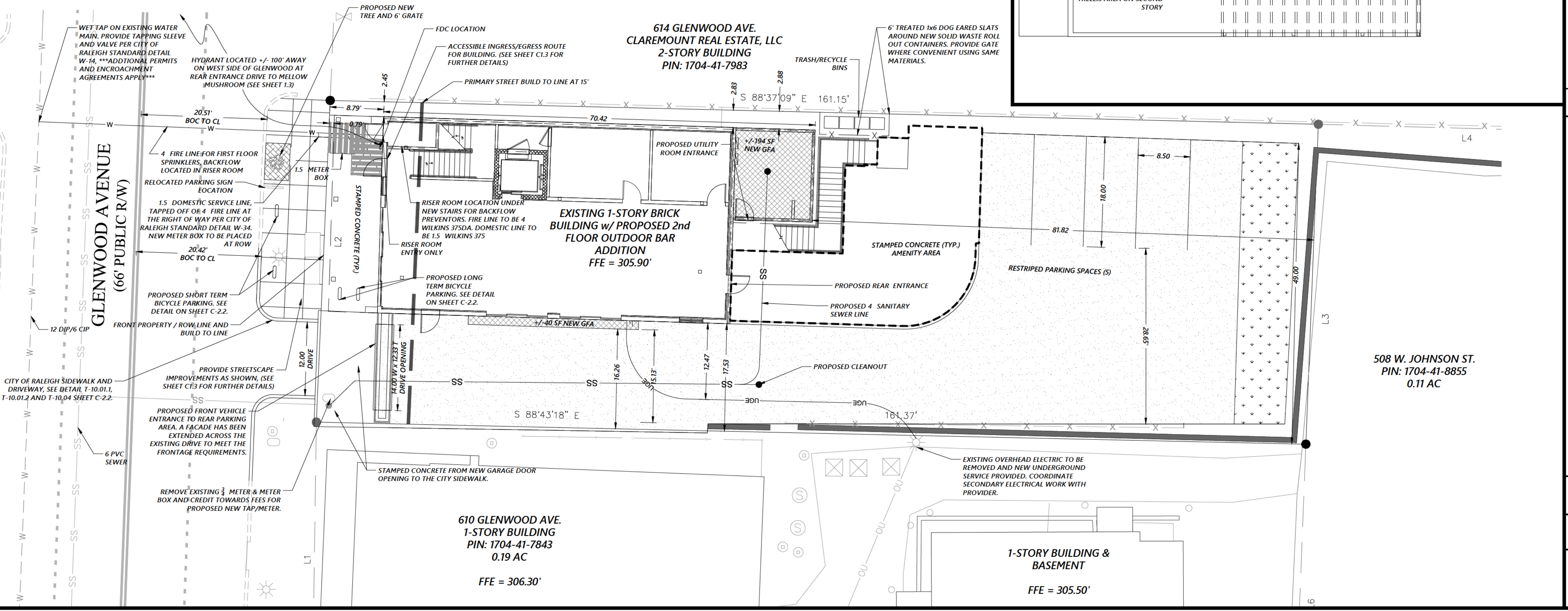


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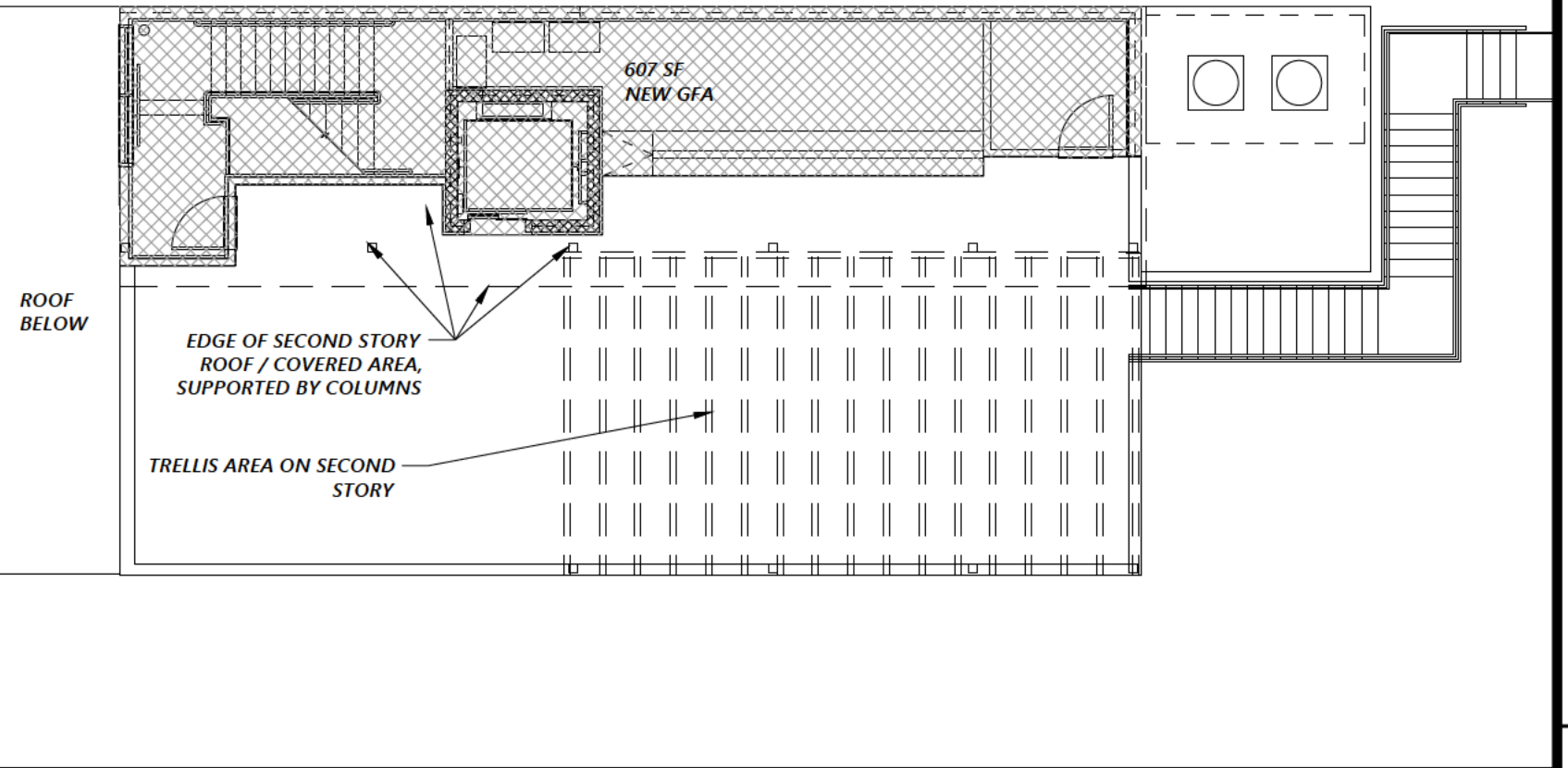
Know what's below.
Call before you dig.

GRAPHIC SCALE
(IN FEET)
1 inch = 5 ft.

PROPOSED SITE & UTILITY PLAN



SECOND FLOOR EXHIBIT



NOIR HOLDINGS, LLC
MATTHEW KENNER - LESSEE
612 GLENWOOD AVENUE
RALEIGH, NC 27603
919-376-5877
matt.kenner@idoud.com

C3 DESIGN & ENGINEERING, PLLC

NC Firm License #: P-1764
P.O. Box 361
C 27522-0361
919-625-7368

REVISIONS	DATE	BY
1	02-12-20	ABA
2	09-09-19	ABA
3	12-13-18	CEA
4	09-28-18	CEA
5	06-25-18	CEA
6	05-17-18	CEA

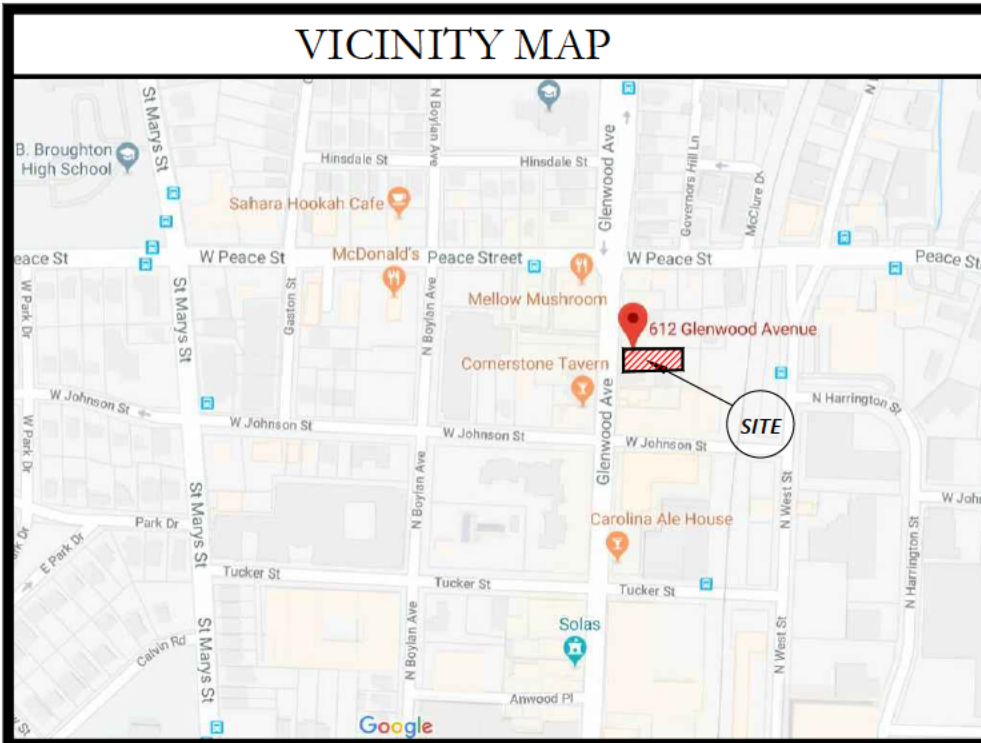
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WAKE COUNTY, NC

**EX. CONDITIONS & DEMO/
PROP. SITE & UTILITY PLAN**

C3 PROJECT #:
17-037

City of Raleigh Transaction # :
554021

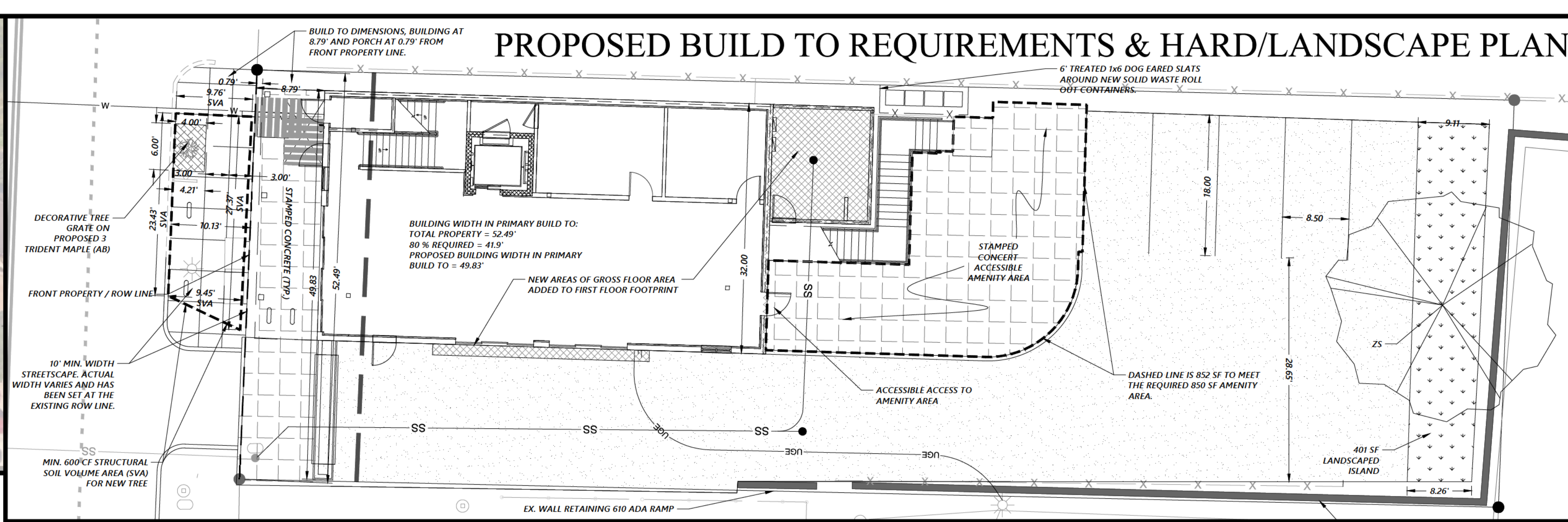
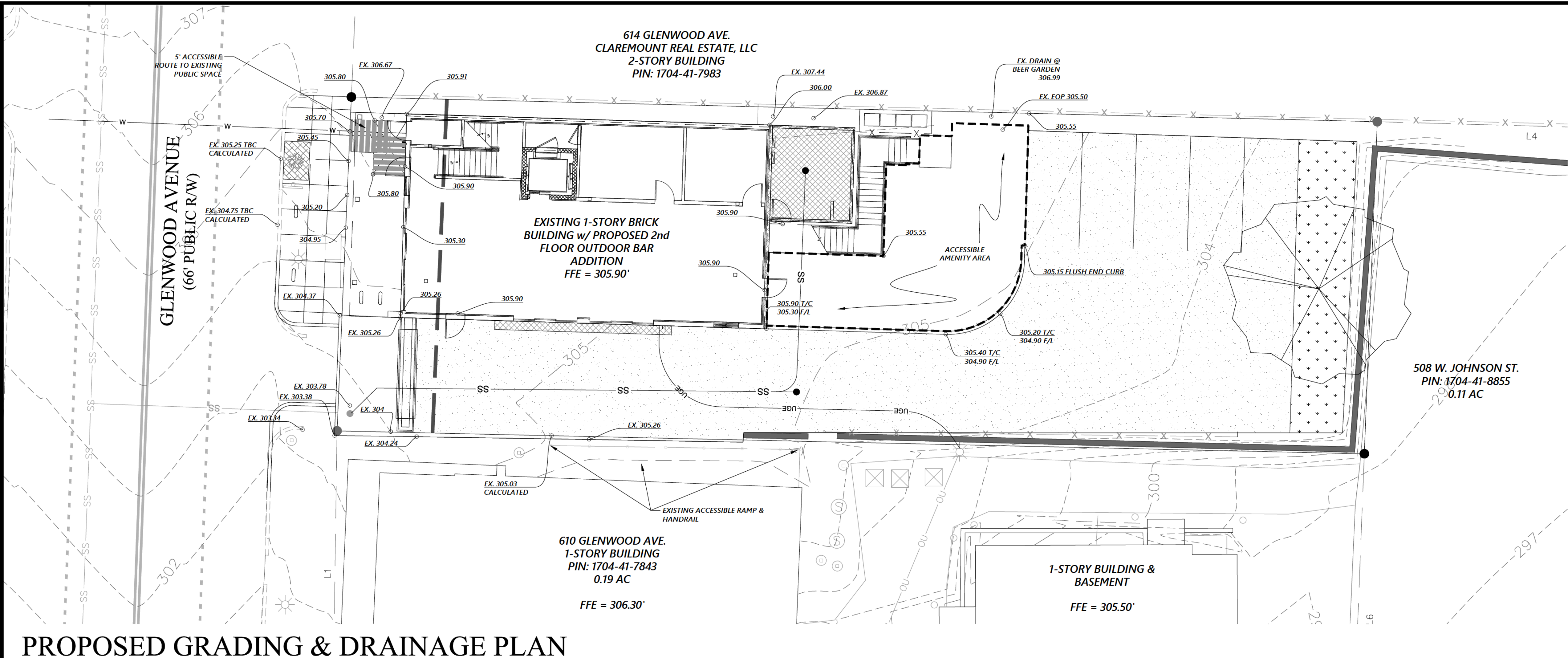
SHEET #:
C-1.2



LEGEND & NOMENCLATURE

SYMBOLS	LINETYPES
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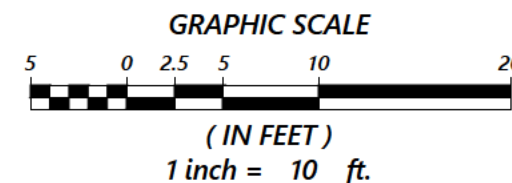


GENERAL LANDSCAPING NOTES:

1. LANDSCAPE CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES AND PROPOSED SITE LIGHTING POLE LOCATIONS LOCATED PRIOR TO INSTALLING PLANT MATERIAL.
2. CONTRACTOR SHALL COMPLY WITH SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN).
3. CONTRACTOR SHALL NOT PLANT NEW PLANT MATERIAL IN CRITICAL ROOT ZONES OF EXISTING TREES TO BE SAVED AND PROTECTED ON SITE.
4. ANY DISTURBED AREAS NOT SCHEDULED FOR HARDSCAPE, PLANTING, FESCUE SOD OR MULCH SHALL BE SEEDED FESCUE LAWN.
5. CONTRACTOR SHALL AMEND ALL PROPOSED PLANT BEDS WITH ORGANIC SOIL AMENDMENT (COMPOST), ROTOTILL BEDS TO A DEPTH OF 8". ADD 2" OF COMPOST AND ROTOTILL AGAIN. REMOVE ALL EXIST. WEEDS, GRASS AND ROOTS.
6. CONTRACTOR SHALL RAKE SMOOTH AND APPLY 1" TO 2" TOPSOIL TO ALL LAWN AREAS RECEIVING SEED. REMOVE ALL EXIST. WEEDS, GRASS AND ROOTS.
7. ALL PLANT AND PLANT BED LINES SHALL BE LOCATED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
8. ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH. REFERENCE DETAILS FOR DEPTH AND TYPE OF MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS.
9. OWNERS OPTION: INSTALL 1/2" THK. x 4" WIDE GREEN STEEL EDGING WITH STEEL STAKES BETWEEN PLANTING BEDS AND LAWN.
10. FINISHED GRADE ON LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT IT IS ONE INCH LOWER THAN THE TOP OF SURROUNDING CURBS. MULCH WITH 3" OF TRIPLE SHREDDED HARDWOOD MULCH FROM A REPUTABLE LOCAL SOURCE.
11. CONTRACTOR SHALL PROVIDE WATER PERMEABLE WEED MAT FOR ALL PLANTING BEDS.
12. STREET TREE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS IN CHAPTER 2 OF THE CITY TREE MANUAL.

	NEW GROSS FLOOR AREA
	STAMPED CONCRETE

PLANTING SCHEDULE									
SYM./KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SPECIFICATION					
				CALIPER	HEIGHT	MATURE HGT	ROOT	SPACING	NOTES
ZS	ZELKOVA SERRATA	JAPANESE ZELKOVA	1	3"	8' - 10'	50' - 80'	B&B	AS SHOWN	SHADE TREE
AB	ACER BUERGERIANUM	TRIDENT MAPLE	1	3"	8' - 10'	20' - 30'	B&B	AS SHOWN	STREET TREE



NOIR HOLDINGS, LLC
MATTHEW KENNER - LESSEE
612 GLENWOOD AVENUE
RALEIGH, NC 27603
919-376-5877
matt.kenner@idcloud.com

C3 DESIGN & ENGINEERING, PLLC

NC Firm License #: P-1764
P.O. Box 361
C. 27522-0361
919-625-7368

DATE	BY	REVISIONS
02-12-20	ABA	CITY OF RALEIGH 6th REVIEW COMMENTS
12-09-19	ABA	CITY OF RALEIGH 5th REVIEW COMMENTS
09-19-19	ABA	CITY OF RALEIGH 4th REVIEW COMMENTS
12-13-18	ABA	CITY OF RALEIGH 3rd REVIEW COMMENTS
09-28-18	CEA	CITY OF RALEIGH 2nd REVIEW COMMENTS
06-25-18	CEA	CITY OF RALEIGH 1st REVIEW COMMENTS
5-7-18	CEA	FIRST ISSUED

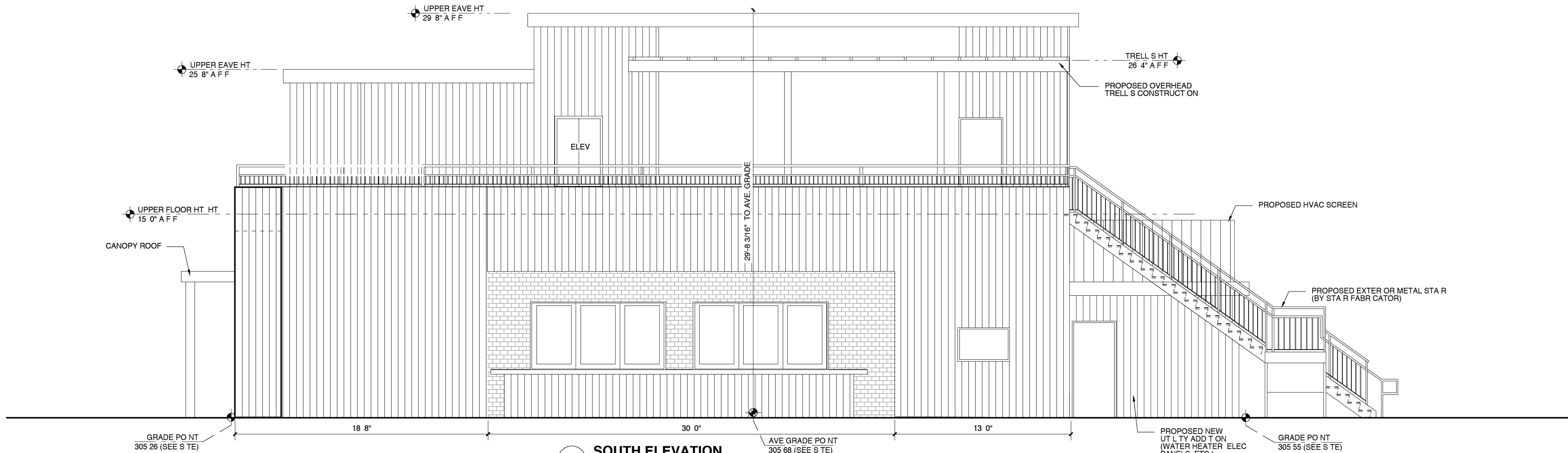
ADMINISTRATIVE SITE REVIEW - LEVEL III
612 BLDG. & EXTERIOR. BAR ADD.
612 GLENWOOD AVENUE, RALEIGH NC 27603
WAKE COUNTY, NC

PROP. GRADING & DRAINAGE
HARD/LANDSCAPE PLAN

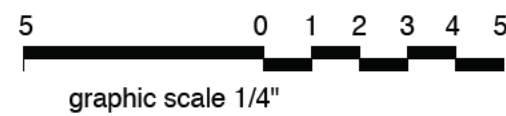
C3 PROJECT #:
17-037

City of Raleigh Transaction # :
554021

SHEET #:
C-13



2 SOUTH ELEVATION
SCALE: 1/4" = 1' 0"



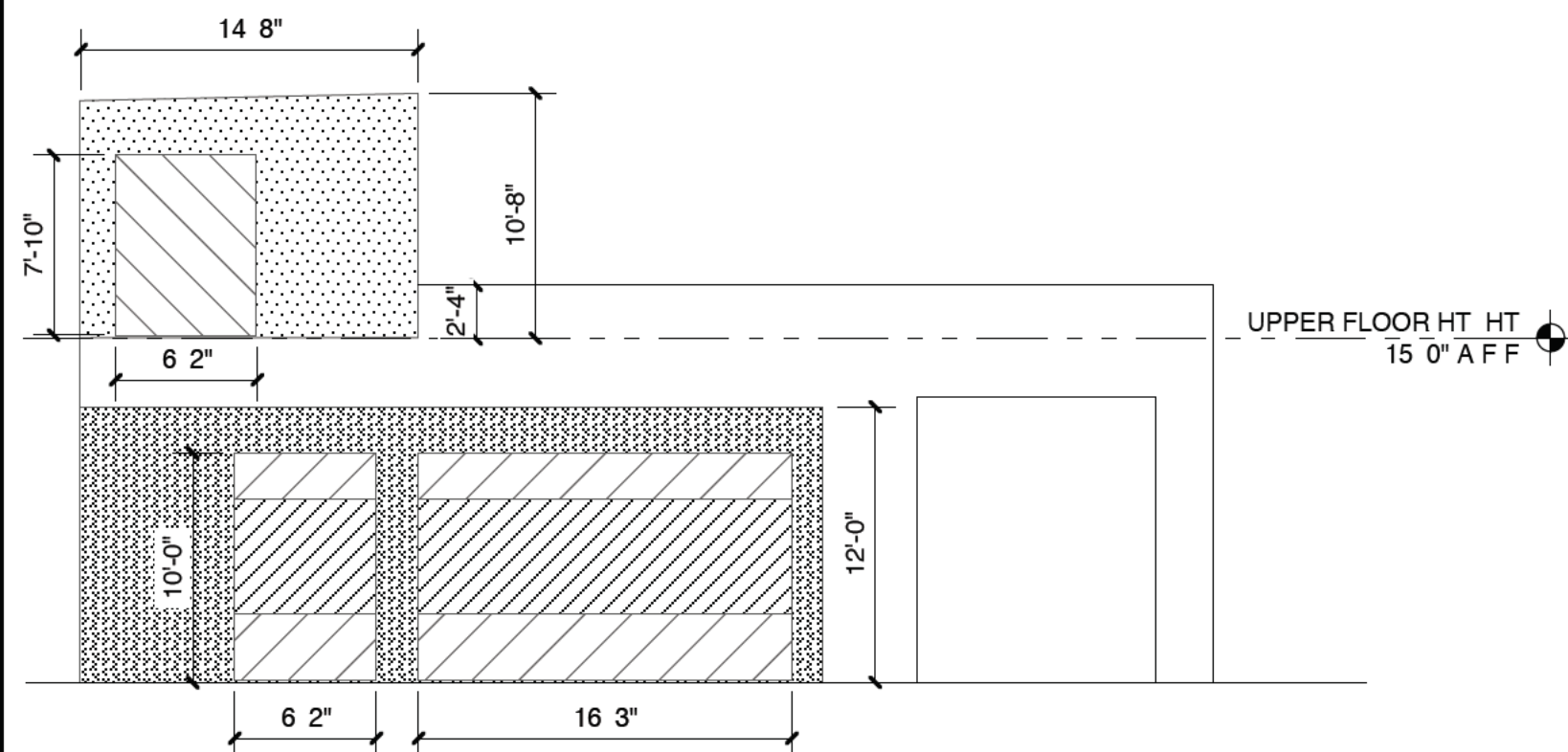
TRANSPARENCY NOMENCLATURE PER CITY OF RALEIGH UDO 1.5.9.B.3 AND 1.5.9.B.4

- In a mixed use building, or general building where an Urban Frontage is applied, a minimum of 60% of the street-facing, street-level window pane surface area must allow views into the ground story use for a depth of at least 8 feet. Windows shall not be made opaque by non-operable window treatments (except curtains, blinds or shades within the conditioned space).
- Glass shall be considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.

NOTE: GLAZING / WINDOW AREAS DEFINED AS PORTION OF TRANSPARENCY AS REFERENCED BELOW SHALL CONFORM TO EXTERNAL REFLECTANCE AS REQUIRED BY ABOVE-REFERENCED SECTION.

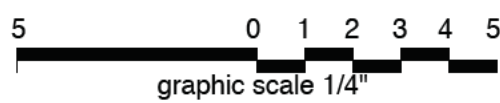
TRANSPARENCY REQUIREMENTS FOR STREET-FACING FACADE (PER SEC 3.2.5)

MARK	DESCRIPTION	AREA	CALCULATION
	UPPER FACADE TOTAL AREA:	156 SQ FT	48 / 156 = 0.31 (%)
	UPPER FACADE TOTAL TRANSPARENCY AREA:	48 SQ FT	REQUIRED TRANSPARENCY: 20% (31 SQ FT) PROVIDED TRANSPARENCY: 33% (48 SQ FT)
	LOWER FACADE TOTAL AREA TO 12 FT: (TOTAL LOWER FACADE AREA 3480 SQ FT)	384 SQ FT	224 / 384 = 0.64 (%)
	LOWER FACADE TOTAL TRANSPARENCY AREA:	224 SQ FT	REQUIRED TRANSPARENCY: 50% (192 SQ FT) PROVIDED TRANSPARENCY: 64% (224 SQ FT)
	TRANSPARENCY LOCATED BTWN 3 - 8 ON LOWER FACADE	112 SQ FT	112 / 224 = 0.50 (%)
	LOWER FACADE TOTAL TRANSPARENCY AREA:	224 SQ FT	REQUIRED TRANSPARENCY: 20% (23 SQ FT) PROVIDED TRANSPARENCY: 50% (112 SQ FT)



NOTE: FRONT FACADE OF BUILDING'S LEVEL WHERE BUILDING MEETS GRADE BUILDING HEIGHTS SHOWN ARE FOR THE MOST RESTRICTIVE HEIGHT ABOVE GROUND LEVEL

1 WEST ELEVATION (PRIMARY STREET)
SCALE: 1/4" = 1' 0"



STREET ELEVATION ON FACES PRIMARY STREET OF GLENWOOD AVENUE

HATCHED AREA INDICATES AREA > 50% OF PROVIDED TRANSPARENCY BTWN 3' - 8' PER UDO 1.5.9.B.1

