



# Administrative Approval Action

Case File / Name: ASR-SR-46-2018  
1013 GARDNER ST DUPLEX

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the south side of Wade Avenue, west side of Gardner Street at 1013 Gardner St.

**REQUEST:** Development of an existing 1-story dwelling unit, which will be demolished, into a proposed new attached dwelling (2) unit structure of 3700 sq. ft. size on a 0.52 acre/22,630 sf tract, zoned R-6 SRPOD (Special Residential Overlay District), with 737 sq. ft./0.02 acres of right-of-way dedication.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** RCMP-0127-2019: DSLC - Recorded Maps/Boundary Survey - Major

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 3, 2019 by CMS Engineering PLLC.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **Stormwater**

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☒ Slope Easement Required

☒ Utility Placement Easement Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

### **General**

1. All legal documents must be approved.



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☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. Detail drawing illustrations, showing building height & materials, for the retaining walls are shown on any building plans submittal for review & in compliance with UDO Sec.7.2.8.
2. A demolition permit shall be obtained for the existing dwelling on site.
3. Provide fire flow analysis.
4. The Infill setback calculation table, shown on the approved ASR plans set and all plats for recording, shall also be shown on any building permit plans review.

## Engineering

5. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
6. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
7. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
8. A 5' general utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
9. A 20' slope easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on a map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
10. A fee-in-lieu for 6-foot wide sidewalk along the length of the site's frontage shall be paid to the City of Raleigh (UDO 8.1.10).

## Urban Forestry



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11. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along Gardner Street.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:


**3-Year Expiration Date:** October 9, 2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

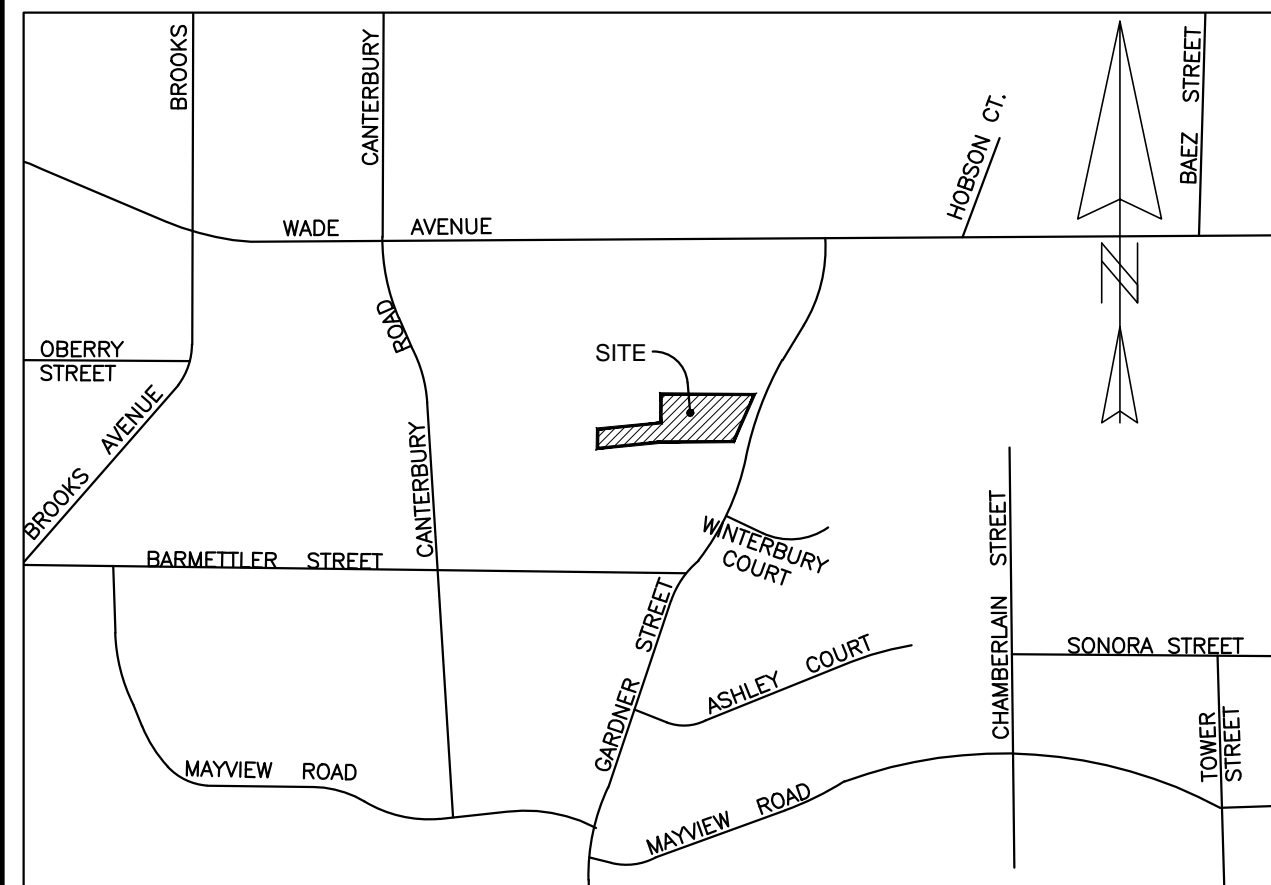
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 10/10/2019  
Development Services Dir/Designee

Staff Coordinator: Jermont Purifoy





## VICINITY MAP

SCALE: 1"=400'

### INDEX

TITLE & EXISTING CONDITIONS .....	SR-1
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BUILDING ELEVATIONS .....	A-3

### NOTES:

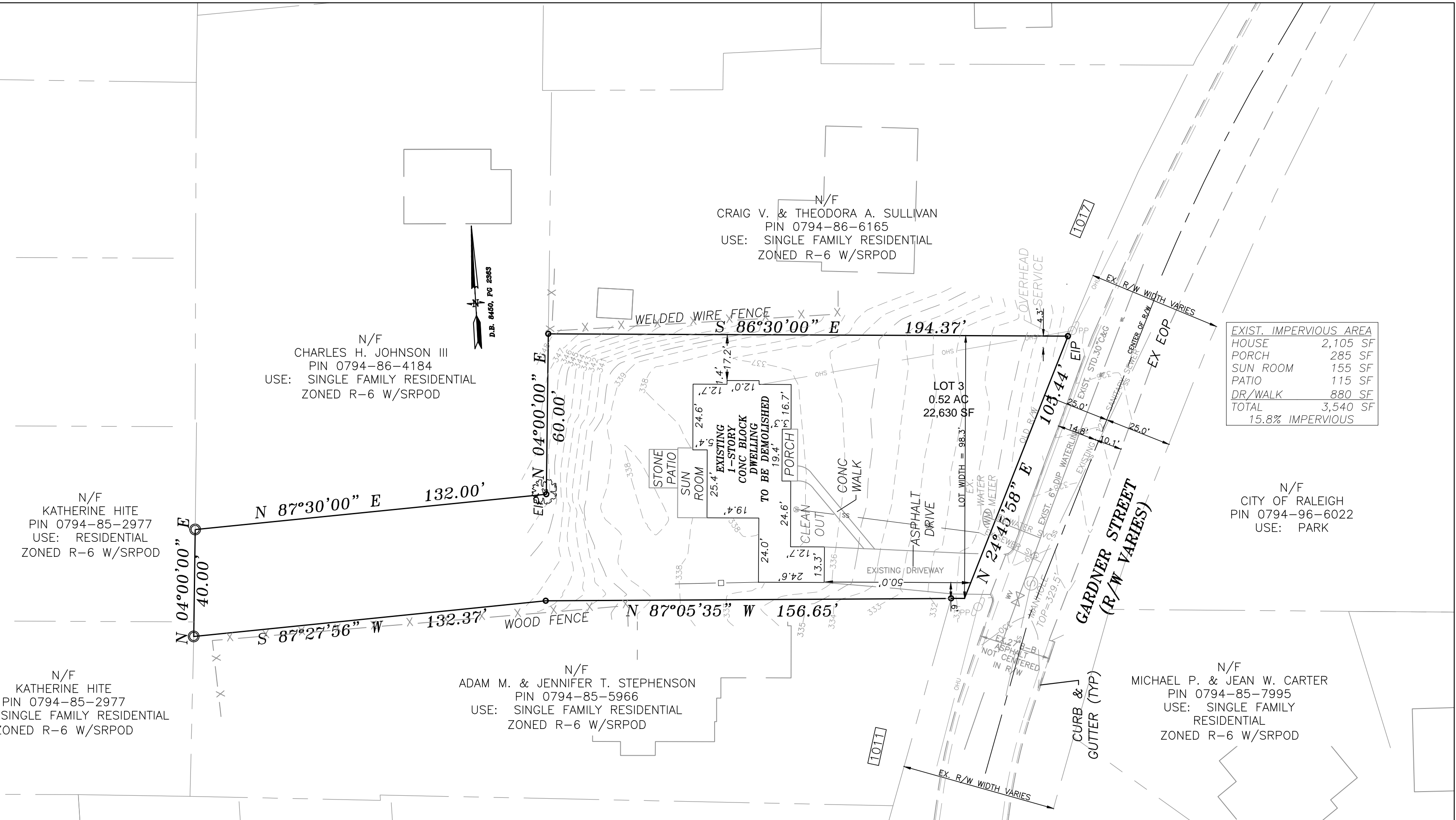
- BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY TURNING POINT SURVEY COMPANY, PLLC.
- STREETS, SANITARY & STORM SEWERS ARE EXISTING PER ABOVE SURVEY.
- THE LOCATION OF EXISTING WATER MAINS ARE SHOWN PER ABOVE SURVEY MAP.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH DEVELOPMENT STANDARDS AND SPECIFICATIONS.
- ALL NEW DRIVEWAY LOCATIONS WILL BE DETERMINED AND PERMITTED AT SITE PLAN SUBMITTAL PER CITY OF RALEIGH STANDARDS.
- SOLID WASTE SERVICE WILL BE PROVIDED AT PUBLIC STREET BY INDIVIDUAL 96-GAL. STANDARD CITY OF RALEIGH RESIDENTIAL SOLID WASTE CART PER CITY OF RALEIGH WASTE DESIGN MANUAL.
- DEMOLITION PERMIT IS REQUIRED PRIOR TO DEMOLITION OF EXISTING BUILDING.

### STORMWATER EXEMPTION:

PER SEC. 9.2.2.A.1.b. THIS PROJECT IS EXEMPT FROM CITY OF RALEIGH STORMWATER REQUIREMENTS. HOWEVER, THERE IS A MAXIMUM IMPERVIOUS AREA LIMIT OF 51% OF LOT AREA.

### LEGEND

—	Exist. Waterline
—	Exist. Overhead Utility
—	Exist. Sewer
X — X	Exist. Fence
—	Centerline
- - -	Adjoining Property Line
○	Exist. Iron Pipe
○	Exist. Utility Pole
⊗	Exist. Fire Hydrant
⊗	Exist. Water Valve
⊗	Exist. Sewer Manhole
⊗	Exist. Water Meter
⊗	Exist. Sewer Clean Out
⊗	Proposed Water Meter
●	Exist. Sewer Clean Out
—	Existing Iron Pipe
—	Iron Pipe Set
—	Power Pole



### PLAN SUMMARY

ADDRESS 1013 Gardner St.

WAKE CO. PIN 0794-86-6014

ZONING R-6 w/SRPOD

EX.LOT AREA 22,630sf/0.52ac

AREA IN R/W TO BE DEDICATED 737sf/0.02ac

NET LOT AREA 21,893sf/0.50ac

OWNER Kathleen A. Gruer  
5215 Melbourne Rd., Raleigh, NC 27606  
(919) 859-8172, kagruer@gmail.com

NUMBER OF DUPLEX UNITS 2  
NUMBER OF BEDROOMS PER UNIT 2  
TOTAL NUMBER OF BEDROOMS 4

### SETBACK INFORMATION

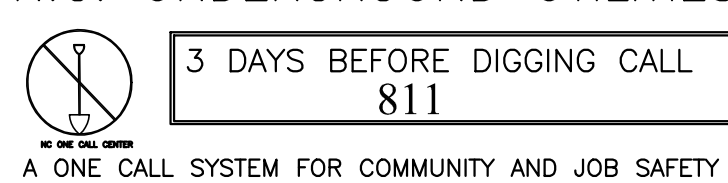
REQUIRED FOR R-6 ZONING:

FRONT - 10'  
FRONT INFILL TO  $\mathcal{Q}$  (See sheet SR-1A) - 60.23' to 100.38'  
Distance from  $\mathcal{Q}$  to New R/W = 32'  
FRONT INTILL TO New R/W - 28.23' to 68.38'  
SIDE - 5', SUM 15'  
REAR - 20'

### PROVIDED:

FRONT - Min. 32.5', Max. 56.4'  
SIDE - 10.5', 9.0', Sum 19.5'  
REAR - 35.0'

### N.C. UNDERGROUND UTILITIES



### NOTES:

- RESIDENTIAL INFILL COMPATIBILITY APPLIES TO THIS SITE.
- DEDICATE RIGHT-OF-WAY TO ONE HALF OF 64'.
- A FEE-IN-LIEU FOR A 6" SIDEWALK WILL BE REQUIRED PRIOR TO MAP RECORDEATION.
- RESIDENTIAL DRIVEWAYS ARE TO BE CONSTRUCTED AS PER RSDM SECTIONS 6.5.2 AND TABLE 6.5.A.

### BOUNDARY SURVEY BY:

**TURNING POINT SURVEYING PLLC**  
4113 JOHN S. RABOTEAU WYND  
RALEIGH, NORTH CAROLINA 27612  
FAX (800)948-0213 PH (919)761-0234  
LICENSE No. P-0121

### PUBLIC IMPROVEMENT QUANTITIES

Phase Number(s)	1
Number of Lot(s)	1
Lot Number(s) by Phase	1
Number of Units	2
Liveable Buildings	2
Open Space?	No
Number of Open Space Lots	0
Public Water (LF)	0
Public Sewer (LF)	0
Public Street (LF) - FULL	0
Public Street (LF) - PARTIAL	0
Public Sidewalk (LF)	0
Street Signs (LF)	0
Water Service Stubs	1
Sewer Service Stubs	1

ASR-SR-46-18

Trans.#555703

NOT RELEASED FOR CONSTRUCTION

1013 GARDNER ST. DUPLEX  
SITE REVIEW

Owner: Kathleen A. Gruer

Site Address: 1013 Gardner St., Raleigh, NC

CMS Engineering, PLLC

P.O. Box 780  
Knightdale, NC 27545  
PHONE: (919) 833-0830  
EMAIL: info@cmsengineering.net

P-1867

### REVISIONS

01/02/19	PER COR REVIEW COMMENTS
06/17/19	PER COR REVIEW COMMENTS
07/31/19	PER COR REVIEW COMMENTS
09/03/19	PER COR REVIEW COMMENTS

### TITLE & EXISTING CONDITIONS

DWG NAME:	1013 Gardner SR R4
DRAWN:	PDH
CHECKED:	PDH
PLAN DATE:	05/14/18
DATE ISSUED:	09/03/19
SCALE:	AS SHOWN

SR-1

555703



LEGEND

—X—X—X—X—

Exist. Waterline

—OH—

Exist. Overhead Utility

—S—

Exist. Sewer

—X—X—X—X—

Exist. Fence

—

Centerline

---

Adjoining Property Lined

⊙

Exist. Iron Pipe

⊙

Exist. Utility Pole

⊙

Exist. Fire Hydrant

⊙

Exist. Water Valve

⊙

Exist. Sewer Manhole

WM

Exist. Water Meter

⊗

Exist. Sewer Clean Out

WM

Proposed Water Meter

●

Exist. Sewer Clean Out

EIP

Existing Iron Pipe

NIP

Iron Pipe Set

PP

Power Pole

REQUIRED PARKING

PARKING REQUIRED

2 SP/UNIT

4 SP

LEGEND

⊙

Computed Point

⊙

Existing Iron Pipe

⊙

Fire Hydrant

⊙

Utility Pole

⊙

Sanitary Sewer Manhole

⊙

Water Valve

WM

Proposed Water Meter

⊙

Proposed Sewer Clean Out

STORMWATER EXEMPTION:

PER SEC. 9.2.2.A.3, THIS PROJECT IS EXEMPT FROM CITY OF RALEIGH STORMWATER REQUIREMENTS.

GRAPHIC SCALE

20

0

10

20

40

80

( IN FEET )

1 inch = 20 ft.

N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL 811

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

SITE PLAN NOTES:

1. EXACT R/W DEDICATION TO BE DETERMINED WITH DEDICATION PLAT.

2. A FEE-IN-LIEU WILL BE REQUIRED FOR A 6' SIDEWALK ACROSS FRONTAGE.

3. RESIDENTIAL DRIVEWAYS ARE TO BE CONSTRUCTED AS PER RSDM SECTIONS 6.5.2 AND TABLE 6.5A. PLOT PLAN CRITERIA FOR RESIDENTIAL DRIVEWAYS SHALL FOLLOW THE REQUIREMENTS PER RSDM SECTION 6.5.7.

\*RIGHT-OF-WAY DEDICATION NOTE:

RIGHT-OF-WAY SHALL BE DEDICATED TO 1/2 OF 64'.

PROPOSED IMPERVIOUS AREA

NET LOT AREA 21,893 SF

BUILDING

5,109 SF

SIDEWALK

734 SF

DRIVEWAY

2,165 SF

COURTYARD

955 SF

TOTAL

8,963 SF

40.9% IMPERVIOUS

(Max. Impervious for R-6 is 51%)

EXIST. IMPERVIOUS AREA

HOUSE

2,105 SF

PORCH

285 SF

SUN ROOM

155 SF

PATIO

115 SF

DR/WALK

880 SF

TOTAL

3,540 SF

15.8% IMPERVIOUS

NOT RELEASED FOR CONSTRUCTION

CMS Engineering, PLLC

P.O. Box 780  
Knightdale, NC 27545  
PHONE: (919) 833-0830  
EMAIL: info@cmsengineering.net

1013 GARDNER STREET  
SITE REVIEW

Owner: Kathleen A. Gruer

Site Address: 1013 Gardner St., Raleigh, NC

REVISIONS

01/02/19	PER COR REVIEW COMMENTS
06/17/19	PER COR REVIEW COMMENTS
07/31/19	PER COR REVIEW COMMENTS
09/03/19	PER COR REVIEW COMMENTS

SITE PLAN

DWG NAME:	1013 GARDNER SR R4
DRAWN:	PDH
CHECKED:	PDH
PLAN DATE:	05/14/18
DATE ISSUED:	09/03/19
SCALE:	1"=20'

SR-2

555703







LEGEND

—•—•—•— Exist. Waterline

—OH— Exist. Overhead Utility

—S— Exist. Sewer

—X—X—X— Exist. Fence

— Centerline

— Adjoining Property Lined

○ Exist.Iron Pipe

○ Exist.Utility Pole

⊗ Exist.Fire Hydrant

WV Exist.Water Valve

⊙ Exist.Sewer Manhole

WM \* Exist. Water Meter

⊗ Exist.Sewer Clean Out

WM Proposed Water Meter

● Exist.Sewer Clean Out

EIP - Existing Iron Pipe

NIP - Iron Pipe Set

PP - Power Pole

DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR UNHEALTHY BRANCHES

PROVIDE STAKING IF SPECIFIED. IF STAKING IS PROVIDED, PROTECT TREE WITH BROAD STRAP OR FLEXIBLE TUBING. ALLOW FLEXIBILITY IN STRAPS TO DEVELOP TRUNK TAPER. PROVIDE TURN BUCKLE AND WARNING FLAGS. REMOVE ALL STAKING AND ACCESSORIES WITHIN ONE YEAR FROM PLANTING.

THE ROOT FLARE SHALL BE PLANTED AT GRADE, NO HIGHER THAN 2" ABOVE GRADE, AND NEVER BELOW GRADE. REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE AT GRADE. TREE SHALL BE SET PLUMB.

MULCH DEPTH 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM

HIGH QUALITY SOIL MIX AS SPECIFIED

WATER SAUCER SHALL BE NO MORE THAN 3" ABOVE GRADE

COMPLETELY REMOVE TOP HALF OF BURLAP LACING AND WIRE BASKET AND DISCARD FROM HOLE

ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.

3X ROOTBALL DIAMETER

NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
- STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
- PLANTING SEASON: OCTOBER - APRIL.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

FOR TREES PLANTED ON PUBLIC R/W

CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPT  
TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV

CITY OF RALEIGH  
PARKS, RECREATION AND CULTURAL RESOURCES DEPT

REVISIONS: [DATE] BY [NAME] NOY TO RALEIGH

TREE PLANTING DETAIL

PRCR-03

NEW TREES PLANT LEGEND:

QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE at planting	SIZE at maturity
4	Japanese Maple, Single Stem or approved equal understory tree	Acer palmatum or approved equal understory tree	1 1/2" - CAL. Min. 6' Tall B&B	15' to 20' Ht. 10' to 15' Spread

- NOTES:
- ALL STREET TREE INSTALLATION AND MAINTENANCE WILL COMPLY WITH CITY OF RALEIGH STREET DESIGN MANUAL SECTIONS 6.18.1 AND 6.18.2.
  - TREES SHALL BE PLANTED IN 6' PLANTING STRIP AT MAXIMUM 20' ON CENTER. SEE COR T-10.12.
  - A TREE IMPACT PERMIT IS REQUIRED FROM C.O.R. PRIOR TO INSTALLATION OF STREET TREES.

- PLANTING STANDARDS:
- ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS DETAILED IN THE FOLLOWING DOCUMENTS:
    - AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300. AMERICAN NATIONAL STANDARDS INSTITUTE, 11 WEST 42nd STREET, NEW YORK, N.Y. 10036
    - AMERICAN NATIONAL STANDARD FOR NURSERY STOCK, ANSI Z60.1. AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 1250 EYE STREET, NW, SUITE 500, WASHINGTON, DC 20005
    - HORTUS THIRD, THE STAFF OF THE L.H.BAILEY HORTORIUM, 1976. MacMILLAN PUBLISHING CO., NEW YORK

LEGEND

○ Computed Point

○ Existing Iron Pipe

⊗ Fire Hydrant

○ Utility Pole

⊙ Sanitary Sewer Manhole

WV Water Valve

WM Proposed Water Meter

co\* Proposed Sewer Clean Out

N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL 811

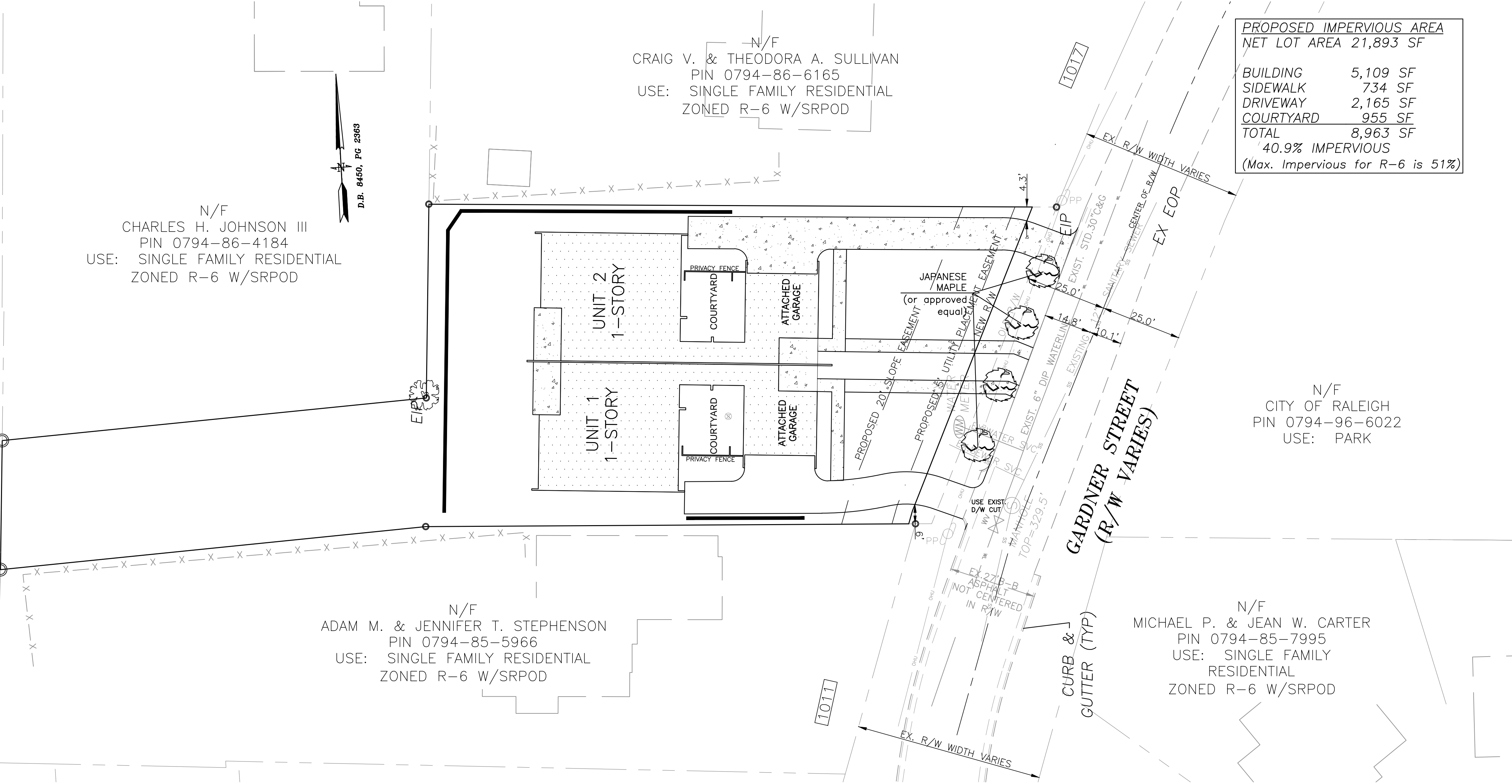
A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

GRAPHIC SCALE

20 0 10 20 40 60 80

( IN FEET )

1 inch = 20 ft.



PROPOSED IMPERVIOUS AREA

NET LOT AREA 21,893 SF

BUILDING	5,109 SF
SIDEWALK	734 SF
DRIVEWAY	2,165 SF
COURTYARD	955 SF
TOTAL	8,963 SF
40.9% IMPERVIOUS	
(Max. Impervious for R-6 is 51%)	

NOT RELEASED FOR CONSTRUCTION

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Knightdale, NC 27545

PHONE: (919) 833-0830

EMAIL: info@cmsengineering.net

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1013 GARDNER STREET SITE REVIEW

Owner: Kathleen A. Gruer

Site Address: 1013 Gardner St., Raleigh, NC

REVISIONS

01/02/19	PER COR REVIEW	COMMENTS
06/17/19	PER COR REVIEW	COMMENTS
07/31/19	PER COR REVIEW	COMMENTS
09/03/19	PER COR REVIEW	COMMENTS

STREETSCAPE PLAN

DWG NAME: 1013 GARDNER SR R4

DRAWN: PDH

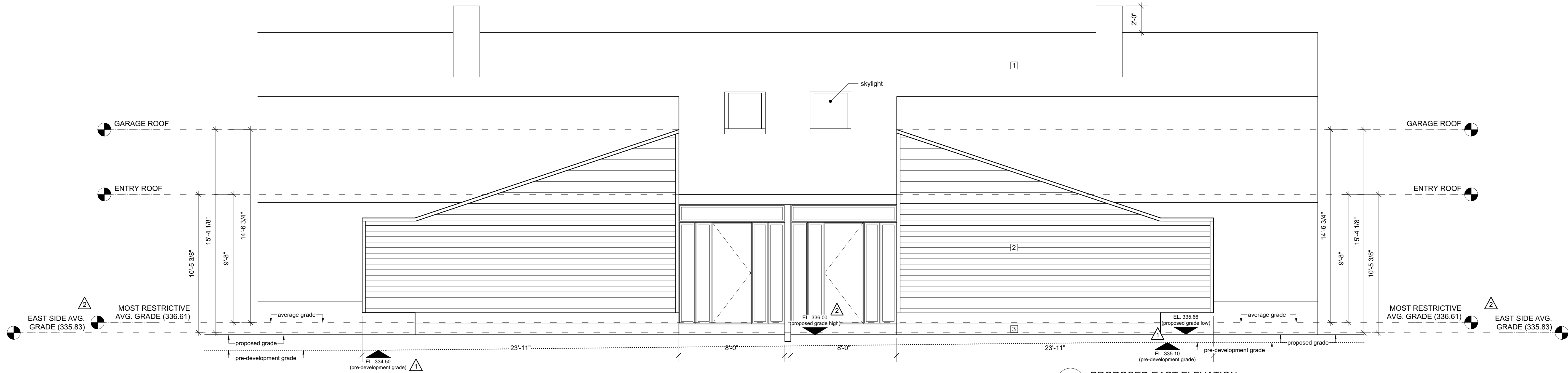
CHECKED: CMS

PLAN DATE: 05/14/18

DATE ISSUED: 09/03/19

SCALE: 1"=20'

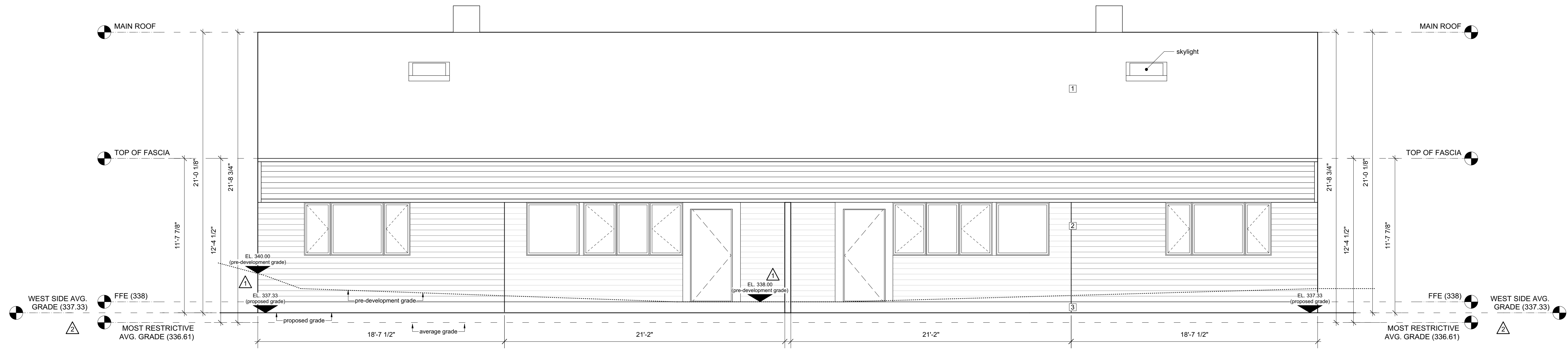
SR-5



1 PROPOSED EAST ELEVATION  
Scale: 1/4" = 1'-0"

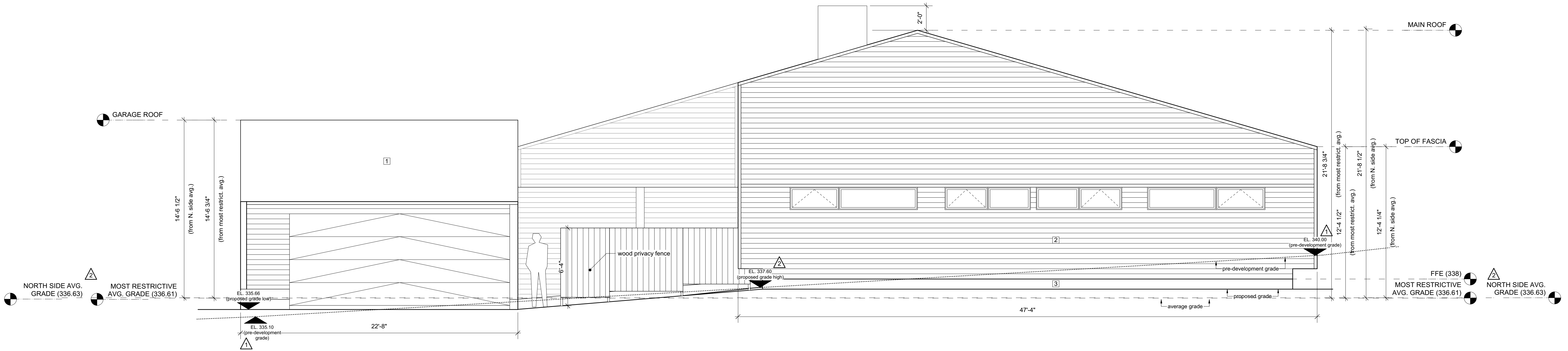
MATERIAL SCHEDULE

- 1 Shingle Roof
- 2 Wood Siding
- 3 Concrete



2 PROPOSED WEST ELEVATION  
Scale: 1/4" = 1'-0"





1 PROPOSED NORTH ELEVATION  
Scale: 1/4" = 1'-0"

MATERIAL SCHEDULE

- 1 Shingle Roof
- 2 Wood Siding
- 3 Concrete



2 PROPOSED SOUTH ELEVATION  
Scale: 1/4" = 1'-0"