

Administrative Approval Action

Case File / Name: ASR-SR-50-2018 Virtuous St Lots 4 & 5

LOCATION: The site consists of two lots located at 4124 and 4204 Virtuous Street. The PIN numbers are 1721480092 and 1721471800. **REQUEST:** The applicant is requesting to develop a 2.37 acre site for office and warehouse. The site is zoned Industrial Mixed Use in a Special Highway Overlay District (IX-3, SHOD-1). The proposal includes two 10,000 square foot buildings to accommodate 4,000 square feet of gross floor area for office and 16,000 square feet of indoor warehouse area (total of 20,000 square feet of building space). The existing two lots on this site are to be recombined. A Design Adjustment was approved for this development plan regarding block perimeter and existing streets. Reference Unified Development Ordinance Article 8.3, Article 8.5 and case# DA-76- 2018. DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 6, 2019 by Stocks Engineering.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General Condition

1. If site lighting is proposed, a site lighting plan with fixture detail must demonstrate compliance with Unified Development Ordinance Article 7.4

Public Utilities

2. The Developer shall provide a letter or e-mail from any Private Utility Company authorizing new water and sewer main encroachments across existing transmission easements prior to concurrent approval.

Stormwater

3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



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- 4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
- 5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☑ <u>LEGAL DOCUMENTS</u> - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

 ☑
 Cross Access Agreements Required
 ☑
 Utility Placement Easement Required

☑ **<u>RECORDED MAP(S)</u>** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

- A cross access agreement among the lots as shown on the preliminary plan shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
- 2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

Public Utilities

3. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

4. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).



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- 5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 6. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Record a plat showing lot 4 and lot 5 being recombined.

Engineering

2. A fee-in-lieu for 1' of sidewalk along the frontage of the property shall be paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

- 4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 5. An encroachment agreement for Stormwater pipes within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.
- 6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 12 street trees along Virtuous Street.



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City of Raleigh Development Services Department One Exchange Plaza Raleigh, NC 27602 (919) 996-2492 currentplanning@raleighnc.gov www.raleighnc.gov

8. A public infrastructure surety for the street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Virtuous St Lots 4 & 5

The following are required prior to issuance of building occupancy permit:

General

- 1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
- 2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

- 3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
- EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: November 25, 2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

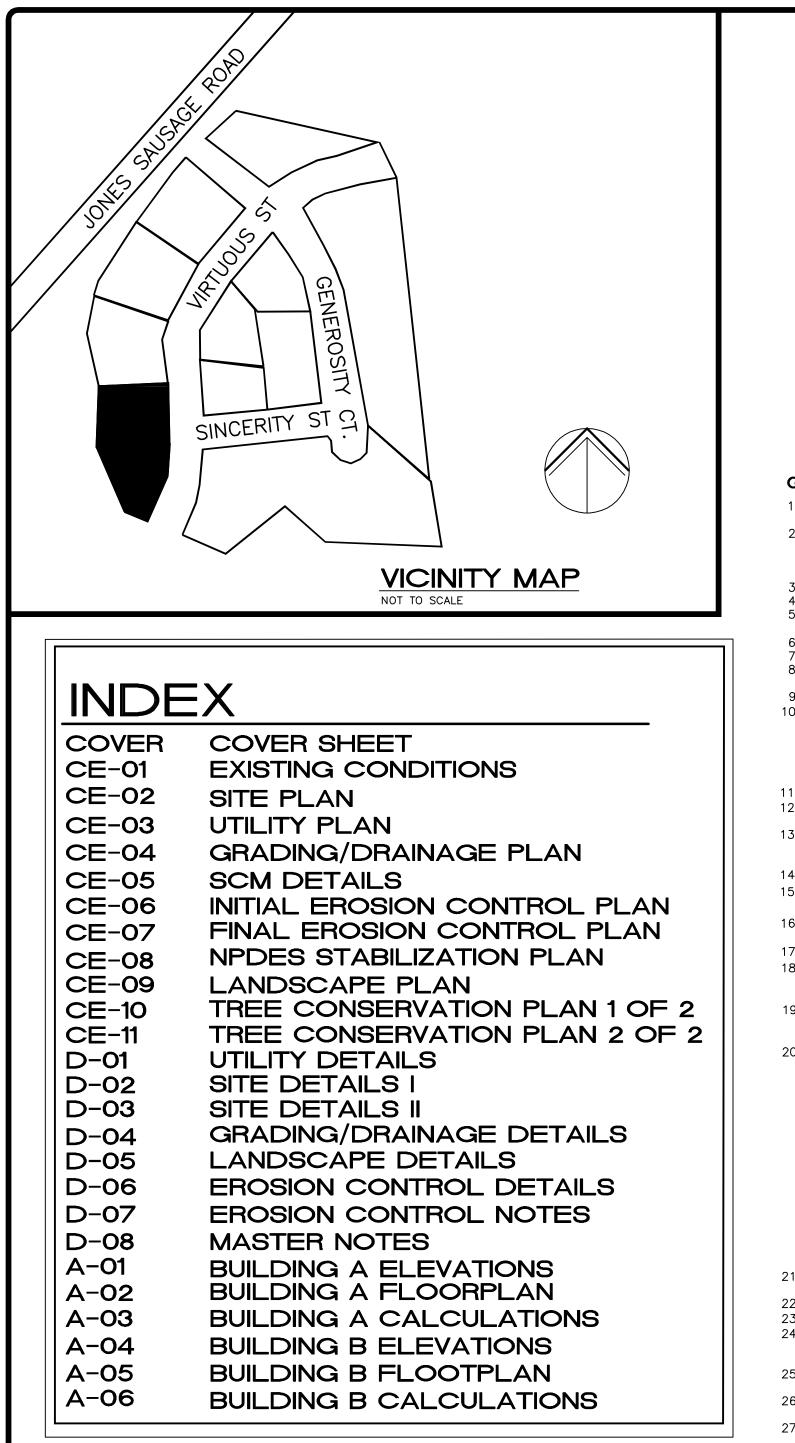
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:

Date: 11/26/2019

Development Services Dir/Designee Staff Coordinator: Daniel Stegall



GOVERNING AGENCIES:

PLANNING/ZONING: CITY OF RALEIGH ONE EXCHANGE PLAZA RALEIGH, NC 27601 919-996-2636 CONTACT: MICHAEL WALTERS EMAIL: michael.walters@raleighnc.gov

ENG./EROSION CONTROL: CITY OF RALEIGH ONE EXCHANGE PLAZA RALEIGH, NC 27601 919-516-2168 CONTACT: KEVIN KIDD MAIL: kevin.kidd@raleighnc.gov

UTILITY AGENCIES:

WATER AND SEWER: CITY OF RALEIGH ONE EXCHANGE PLAZA RALEIGH, NC 27601 919-996-3484 CONTACT: CEASAR SANCHEZ EMAIL: ceasar.sanchez@raleighnc.go ELECTRIC: DUKE ENERGY BUSINESS SERVICES PO BOX 1551 RALEIGH, NC 27602 866-582-6345

NATURAL GAS: PSNC ENERGY - SCANA PO BOX 100256 COLUMBIA, SC 29202 919-367-2728 CONTACT: MIKE KASOPSKI 541 Pylon Drive

Raleigh, NC 27606 1330 SE 4th AVE. STE A Fort Lauderdale, FL 33316-1958

Phone: 954.304.6652 Contact: William Bodenhamer III wbodenhamer@me.com

General Notes

- 1. Existing Condition and Topographical survey performed by True Line Surveying. Contours shown hereon are from an actual field survey. 2. The Contractor shall notify and cooperate with all utility companies or firms having facilities on or adjacent to the site before disturbing, altering, removing, relocating, adjusting or relocation of any existing facilities.
- 3. All excavation is unclassified and shall include all materials encountered. 4. All structural fill material shall be free of all sticks, rocks, and clumps of mud. 5. Unusable excavated materials and all waste resulting from clearing and grubbing shall be disposed of off-site by the Contractor in an approved solid waste landfill.
- 6. The proposed building will not be sprinkled. . Omitted. 8. Concrete Sub shall be responsible for all score joints and expansion joints. Should a
- 9. Contractor to furnish all pavement markings as shown. 10. Location of underground utilities are approximate and must be field verified. Contact the surveying has only located the utilities that are above ground at the time of field survey. Underground lines shown hereon are approximate or as reported by
- structures such as utilities, tanks and pipes are located hereon. 11. All pipe lengths are horizontal distances and are approximate. 12. All work shall comply with all applicable codes, regulations, and/or local standards imposed by local utility, & City of Raleigh.
- 13. All construction and materials shall meet City of Raleigh Public Utility Specifications and Standards, latest edition. All work within NCDOT right-of-way shall meet the specifications and standards of NCDOT.
- 14. All concrete pipe is to be ASTM C-76, Class III with ram-nek. 15. Property is located in Flood "X" unshaded per FEMA FIRM PANEL 3720172100J dated May 2, 2006. City of Raleigh - Basin 30 Stream 3.
- 16. All lot dimensions shown are approximate. Consult the boundary survey of actual site boundary information.
- 17. Wetlands and ponds are not present on site.
- 19. Prior to placing CABC stone base, the Contractor should notify the Project Engineer to inspect and proof roll the subgrade. Any stone placed without prior approval will be the sole responsibility of the Contractor.
- soils or groundwater conditions may be discovered that were not revealed during the initial which may include, but may not necessarily be limited to, testing subgrade and base density, engaging the Design Engineer for the evaluation of the subgrade and for the design of the road, street of parking area (private or public). The Design Engineer must be construction process. Plan design is a small portion of the Design and cannot be Engineer stand behind the completed designed Project.
- 22. Ömitted.
- 23. Property is to be served by the City of Raleigh. 24. The building setback lines shown on this plat are for the Engineer's use in establishing minimum lot frontages at the setback line and for reserving sufficient building area.
- 25. Regulatory signs, stops signs and street name signs shall be manufactured from high intensity reflective materials.
- directed by the Owner. 27. All site construction must be inspected by The Project Engineer at the following stages: A. Completion of grading subgrade prior to placing Stone Base.
- B. Completion of Stone placement prior to paving. Final inspection when all work is complete. 28. The surveyor did not visibly see any cemeteries in any open areas unless otherwise noted.
- 31. All curb and gutter to be 24" standard curb and gutter on private property. All curb and gutter within the R/W shall be 30" standard. 32. All curb and gutter and sidewalk concrete is to be minimum 3,000 psi at 28 days, air
- entrained. 33. All dimensions are to face of curb unless indicated otherwise. 34. Provide handicap signs, marking and ramps as shown. 35. Handicap ramps are to meet "ADA Accessibility Guidelines for Buildings and Facilities" as
- regulations activated January 26, 1992. For additional information, refer to the NC State Building Code Volume 1-C, "Making Buildings and Facilities Accessible to the Useable by the Physically Handicapped", 1991 edition. All street returns to have H.C. Ramps. 36. Contractor SHALL NOT POUR any concrete before forms are inspected by the Project Engineer, City Engineering City Engineering Inspector and/or owner. Any concrete
- that has not been approved by the Engineer and/or City Engineer Inspector will be the of the Contractor 37. All areas not covered by building or parking shall be covered with 4" minimum of topsoil, free of root matter and rocks and grassed.
- 38. Contractor shall saw-cut to provide smooth transitions where existing asphalt and/or curb and gutter is to be removed.
- asphalt. Note stalls to receive 'van accessible' signage.

Owner/Developer

Lot 4 and 5 - 20,000 SF

SR-50-18; TRANSACTION #556764

4124 and 4204 VIRTUOUS STREET RALEIGH, N.C. 27529 GIS PARCEL ID# 1721480269

connecting to said facilities. The Owner shall pay all costs in connection with alteration of or

auestion arise about the proposed pattern consult with the Engineer prior to pouring.

NC One Call Center at least 48 hours prior to digging @ 1.800.632.4949. True Line Surveying

various responsible parties. The surveyor does not guarantee that any underground

18. The Contractor shall be responsible for all work zone traffic control in or adjacent to NCDOT right-of-way. All signs, pavement markings and other traffic control devices shall conform to the Manual on Uniform Traffic Control Devices (MUTCD), latest edition

20. DESIGN/FIELD CONDITIONS quite easily may vary from that represented in the initial soils report and/or topographical report. Isolated areas may show up weak and adverse

soils investigation. Therefore, the Owner/Client is to be aware that Stocks Engineering, P.A. will not and cannot be held responsible for any failures to either a street or parking lot pavement design unless we can be fully and totally involved in the construction process

observation of proof rolling subgrade and base at various steps of construction, opportunity for the Design Engineer to call in a soils Engineer for consultation and advice, etc. - steps which taken altogether with the initial design shown on the plans, constitute the complete

given the full latitude and opportunity to complete the design by fully participating in the separated from the construction process if the Owner's/Client's desire is to have the Design

21. All utility services, (power, telephone, cable, etc.) are proposed to be underground. Do not permanently seed or mulch disturbed areas until all underground utilities have been installed.

Building Contractors are to verify lot line setbacks before setting forms or digging footings.

26. All excess topsoil and unclassified excavation is to be hauled off-site, unless otherwise

29. This property does not depict encumbrances that are found during a thorough title search. 30. All HVAC units for the proposed building will be screened from public right of way.

detailed in the Federal Register, Volume 56, Number 144 dated July 26, 1991, rules and

39. The Contractor shall provide all the material and appurtenances necessary for the complete installation of the utilities. All pipe and fittings shall be inspected prior to being covered. 40. All handicap spaces are to receive a handicap sign and handicap symbol painted on the

W and B HOLDINGS LLC

41. The Contractor shall refer to the architectural plans for exact locations and dimensions of precise building dimensions and exact utility entrance points. 42. Information concerning underground utilities was obtained from available records and field conditions when possible, but the Contractor must determine the exact location and elevation of all existing utilities by digging test pits by hand at all utility crossings well in advance of trenching. If the clearances are less than specified on the plans or 12 inches,

- which ever is less, contact the Project Engineer prior to proceeding with construction. 43. The Contractor shall include in his contract price the removal and disposal of any excess topsoil he determines is not required to perform the final grading and landscaping
- operation. 44. The Contractor is responsible for the design and implementation of all required/necessary sheeting, shoring, and special excavation measures required on the Project to meet OSHA, Federal, State and Local regulations pursuant to the installation of the work indicated on the drawings. BK Investments, LLC, City of Raleigh, & Stocks Engineering, P.A.
- accept no responsibility for the design to install said items. 45. The Contractor shall include in the contract price daily record keeping of the as-built condition of all of the underground utilities, construction stakeout associated with the
- 46. All water line and sewer line installation shall conform to the standards and details of the State of North Carolina Department of Health Construction Permit and City of Raleigh. 47. The Land Disturbance Permit must be kept on the work site and shown upon request.
- 48. The Contractor shall include in the contract price all material and labor associated with the testing of the water and sewer lines required by the State of North Carolina Department of Health & City of Raleigh.
- 49. The Contractor shall include in the contract price any de-watering necessary to construct the Project as shown on the plans.
- 50. Natural gas is available. Coordinate with City of Raleigh to determine existing location & cost to bring gas to site. 51. TESTING BY Contractor: Contractor shall employ at his expense an outside
- independent Soil Testing Service (approved by the Architect) to perform soil testing and inspection service for quality control testing during earthwork operations. Copies of results of tests shall be submitted by the Testing Service directly to the Contractor, the Architect, and the Structural Engineer. ——The Testing Service will classify proposed on—site and borrow soils to verify that soils comply with specified requirements and to perform required field and laboratory testina. (Minimum required soil bearing capacity is noted on the structural drawings). --In paved and building slab areas, the Testing Service shall make at least one field density test for each 2000 square feet of fill in each compacted fill layer. If a test should fail to meet required density, the Contractor shall re-compact that layer. The Soil Testing Service shall perform additional tests at the Contractor's expense to show that the failed layer has reached the required compaction. --In foundation wall areas, the Testing Service shall make at least one field density test for each 100 feet or less of wall length of fill in each compacted fill layer, with no less than two tests along a wall face. If a test should fail to meet required density, the Contractor shall recompact that layer. The Soil Testing Service shall perform additional tests at the Contractor's expense to show that the failed layer has reached the required compaction.
- 52. COMPACTION: Compact each layer of backfill and fill soil materials and the top 12" of subgrade in cut areas to 98% of maximum density as determined by ASTM D698 for structures slabs, and pavements and 90% of maximum density for lawns or unpaved areas. 53. The building Contractor and the site work Contractor are to coordinate the installation of
- drainage pipes around the building structure. 54. Any relocation of existing utilities will be at the cost of the Developer/Owner. The City will not accept responsibility for damages to curb and gutter or street improvements installed prior to underground services, nor will the City absorb the cost for borings to install underground service, pavement patching or damage to landscaping. These will be the responsibility of the Developer/Owner.
- 55. Fire department vehicular access to all structures under construction shall be provided at all times. In areas where ground surfaces are soft or likely to become soft, hard all weather surface roads shall be provided and maintained.
- 56. Address Numbers, both Commercial and Residential, must be posted on the front of the structure nearest to the main entrance in a position to be plainly legible, visible, and unobstructed from the street or road fronting the property.
- 57. Disturbed area is in excess of 1 acre and formal Sedimentation & Erosion Control plan approval was required as a condition of construction plan approval. A copy of the approved erosion control plan must be kept on site at all times. The approved Sedimentation & Erosion Control Plan should be regarded as minimum requirements; additional measures shall be put in place as needed to ensure that no sediment is released from the site.
- 58. (Construction/Site Plans) Water and Sewer permit applications have been approved by the DENR. Permit numbers are as follows: Water Permit Number: N/A - Services Only
- Sewer Permit Number: N/A Services Only 59. Copies of all permits and approved plans must be kept on site in a permit box that is
- conspicuously located and easily accessible during construction. This includes approved construction plans, approved erosion control plans, encroachment agreements, driveway permits, water/sewer permits, etc.
- 60. All construction shall be in accordance with all City of Raleigh and NCDENR Standards and Specifications. 61. Maintain minimum 3' cover for all water pipe.
- 62. Where Waterline Crosses:
- A. Sanitary Sewer: Waterline shall cross above and maintain 2' vertical separation or 10' of horizontal separation. If this separation cannot maintain or if waterline passes below sewer line then both waterline and sewer line shall be class 50 ductile iron pipe for a minimum of 10' each side of crossing.
- B. Storm Sewer: Where waterline crosses above maintain 1' vertical separation, where waterline crosses below maintain 2' vertical separation. If this separation cannot be maintained waterline shall
- be class 50 ductile iron pipe for minimum of 10' each side of crossina. 63. Where sanitary sewer crosses storm maintain 2' separation.
- If this separation cannot be maintained sanitary sewer shall be class 50 ductile iron pipe for minimum of 10' each side of
- crossina.
- 64. Reference NC 15A, 18C, .0906 for additional crossing information. This criteria shall be met at all crossinas.
- 65. Prior to the start of work, the client will schedule a pre-construction meeting with the Right-of-Way Services Coordinator to review the specific components of the approved plan, and assure all permits are issued. 66. Signs shall be permitted separately.

Civil Engineering:

Stocks Engineering, P.A. 801 East Washington Street Nashville, NC 27856

Phone: 252.459.8196 252.459.8197 Fax:

Contact: J. Michael Stocks, PE mstocks@stocksengineering.com

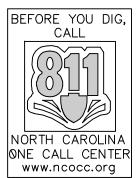
Surveying:

True Line Surveying 205 West Main St. Clayton, N.C. 27520

Phone: 919.359.0427

Contact: Curk Lane, PLS curk@truelinesurveying.com

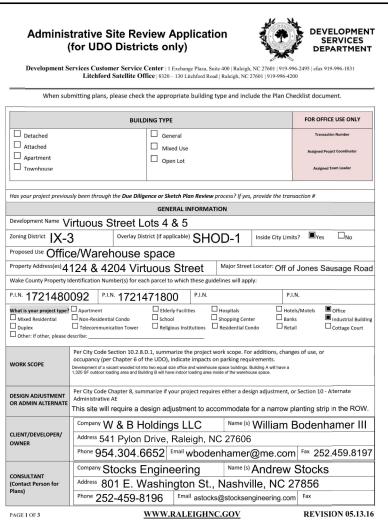




SOLID WASTE COMPLIANCE STATEMENT

SOLID WASTE WILL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLD WASTE DESIGN MANUAL AND PER THE CITY OF RALEIGH CODE

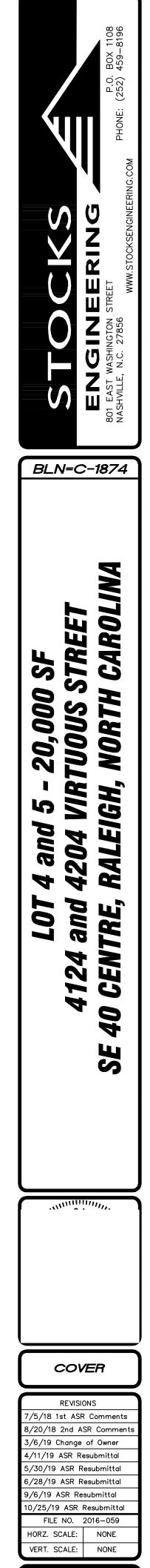
A FEE-IN-LIEU WILL BE REQUIRED FOR 1' SIDEWALK ALONG 155 LF FRONTAGE TO MEET THE 6' SIDEWALK REQUIREMENT

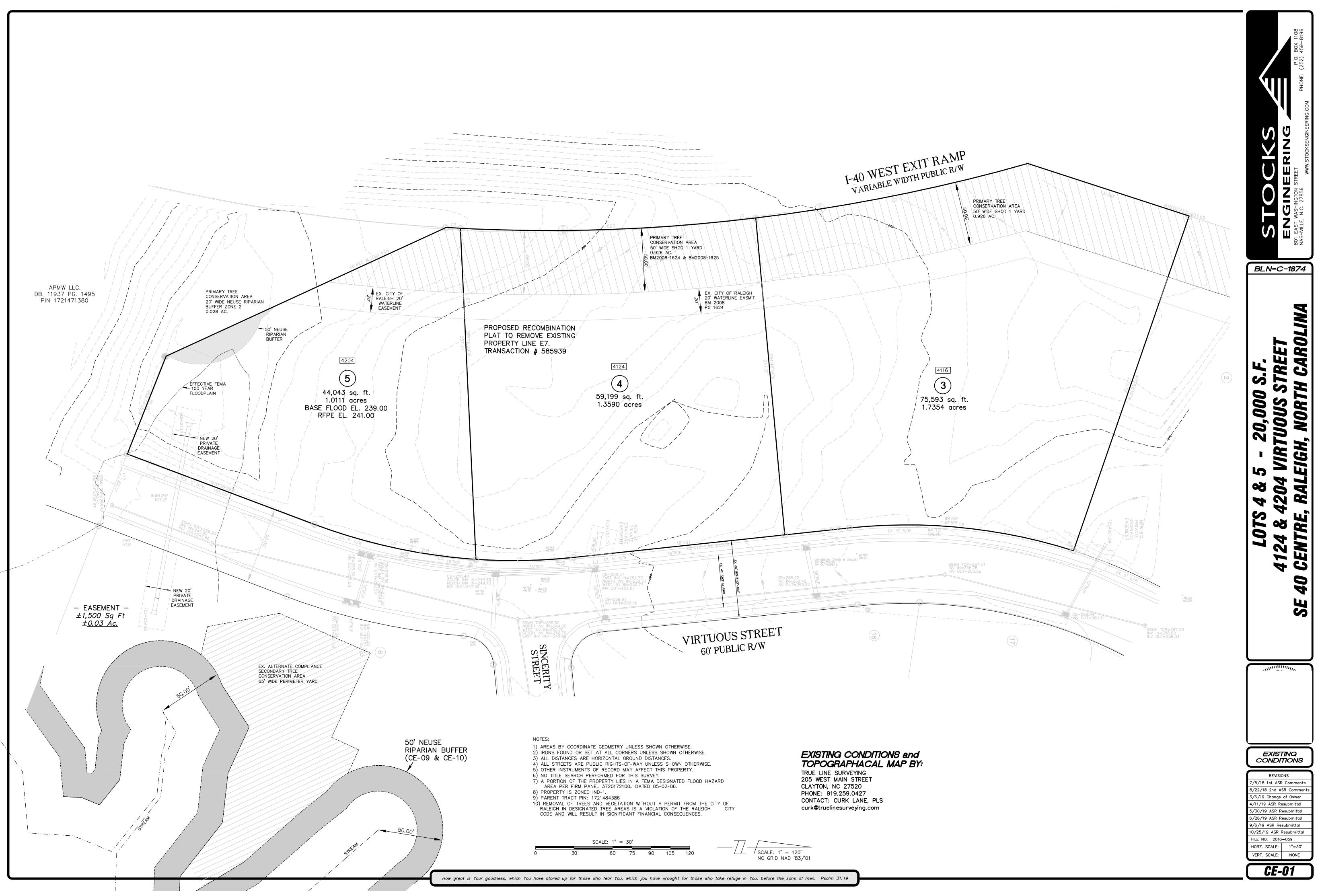


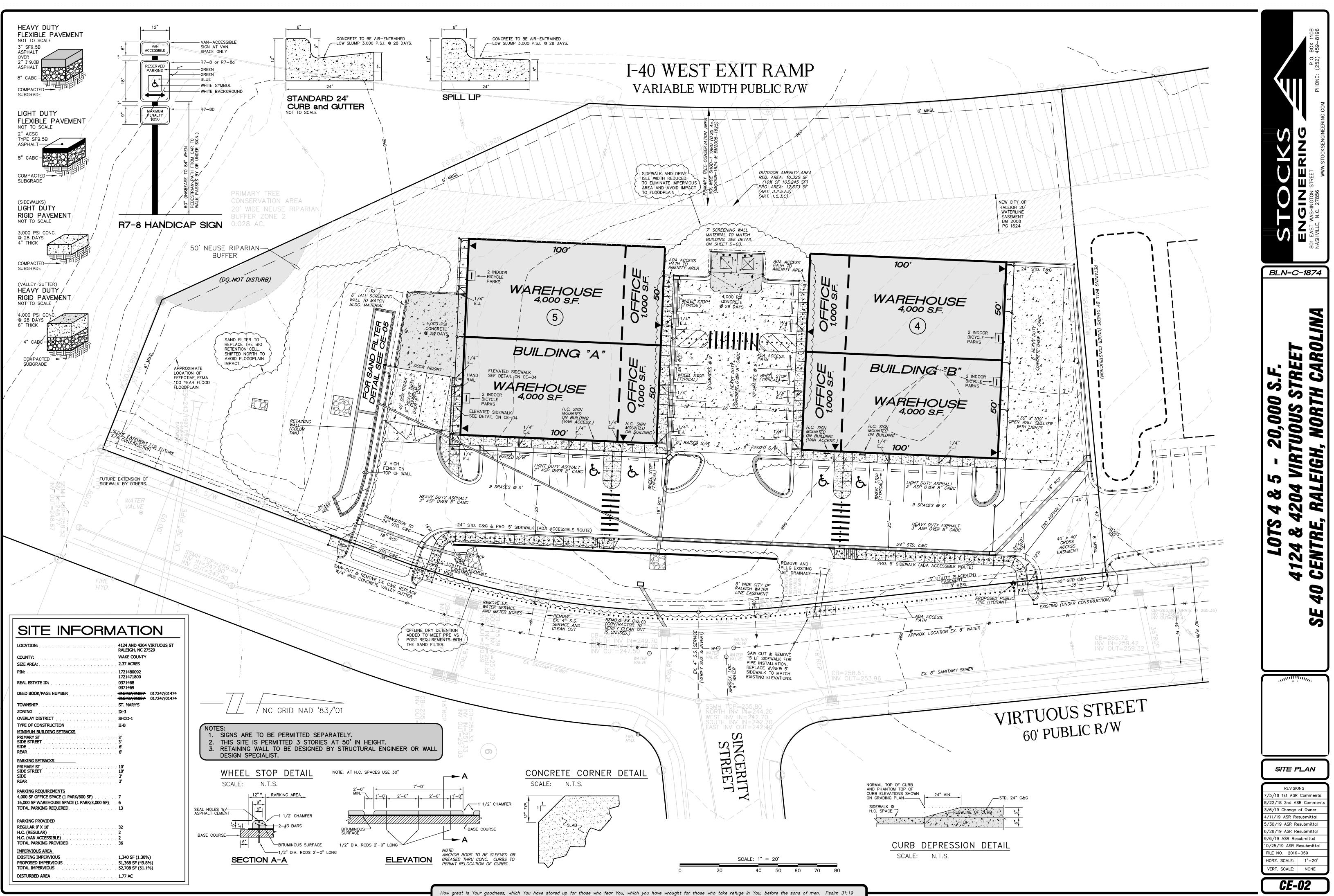
DEVELOPMENT TYPE & SITE DATA TA	ABLE (Applicable to all developments)	
Zoning Information	Building Information	
Zoning District(s) IX-3	Proposed building use(s) Office/Warehouse	
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 0 SF	
Overlay District SHOD-1	Proposed Building(s) sq. ft. gross 20,000 SF	
Total Site Acres Inside City Limits I Yes IN0 2.37 AC	Total sq. ft. gross (existing & proposed) 20,000 S	
Off street parking: Required 13 Provided 40	Proposed height of building(s) 201	
COA (Certificate of Appropriateness) case #	# of stories 1	
BOA (Board of Adjustment) case # A-	Ceiling height of 1st Floor	
CUD (Conditional Use District) case # Z-		
Stormwate	r Information	
Existing Impervious Surface 1,340 SF acres/square feet	Flood Hazard Area 🔳 Yes 🛛 No	
Proposed Impervious Surface 54,537 SF acres/square feet	If Yes, please provide:	
Neuse River Buffer I Yes No Wetlands Yes No	Alluvial Soils Flood Study FEMA Map Panel # 3720172100J	
FOR RESIDENTIA	L DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more	
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7	
3. Total Number of Hotel Units	7. Open Space (only) or Amenity	
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? Yes No	
SIGNATURE BLOCK (Appl	icable to all developments)	
In filing this plan as the property owner(s), (Iwe do hereby agree and fir and assigns jointly and severally to construct all improvements and mak approved by the City. Alexander Design & Build receive and respond to administrative comments, to resubmit plans on i application. We have read, acknowledge and affirm that this project is conforming i use. Signed WJBLOW M MODEMANCE	e all dedications as shown on this proposed development plan asto serve as my agent regarding this application, to my behalf and to represent me in any public meeting regarding this to all application requirements applicable with the proposed developme	
Printed Name William H. Bodenham	er	
Signed	Date	
Printed Name		

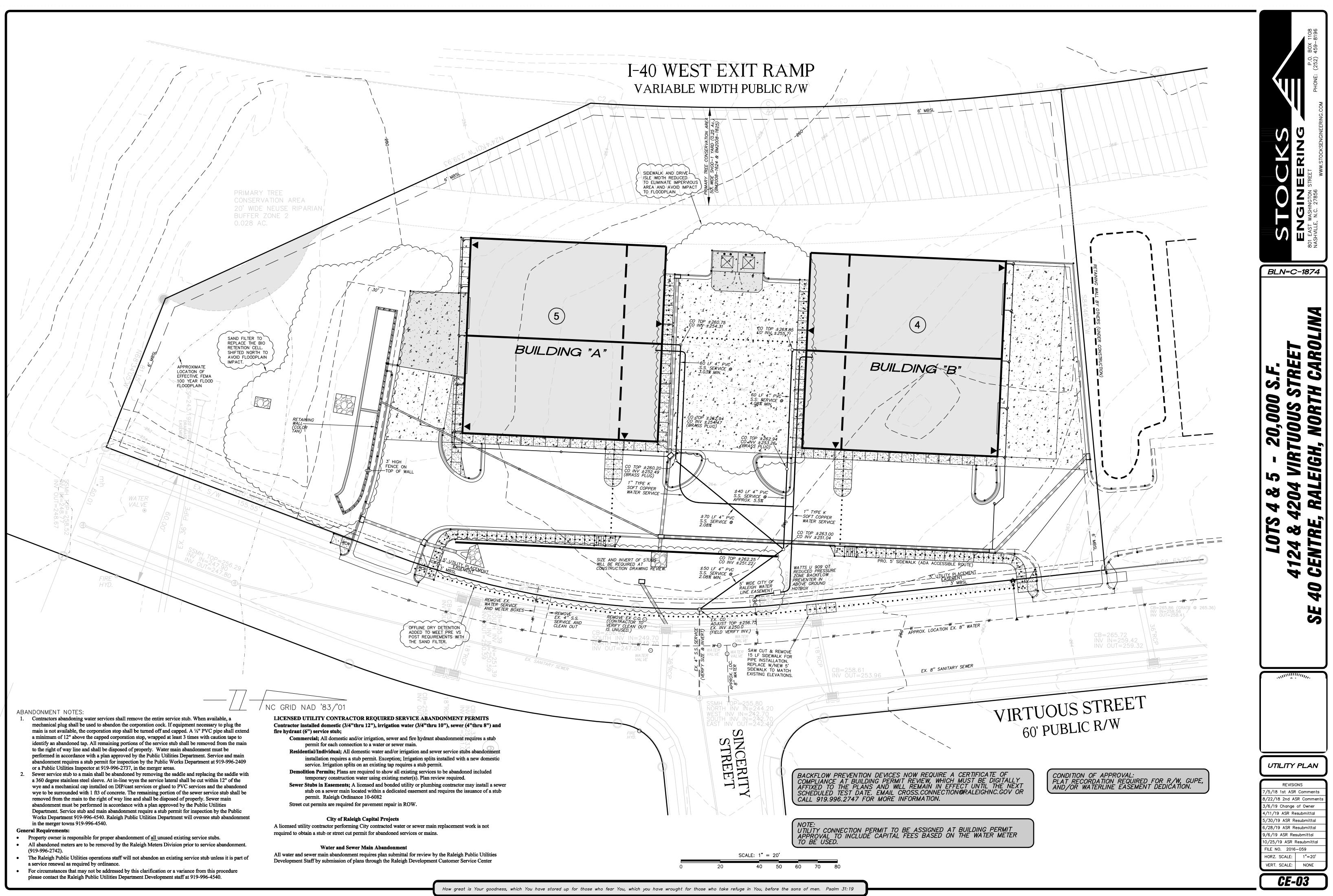
PUBLIC IMPROVEMEN QUANTITIES TABLE

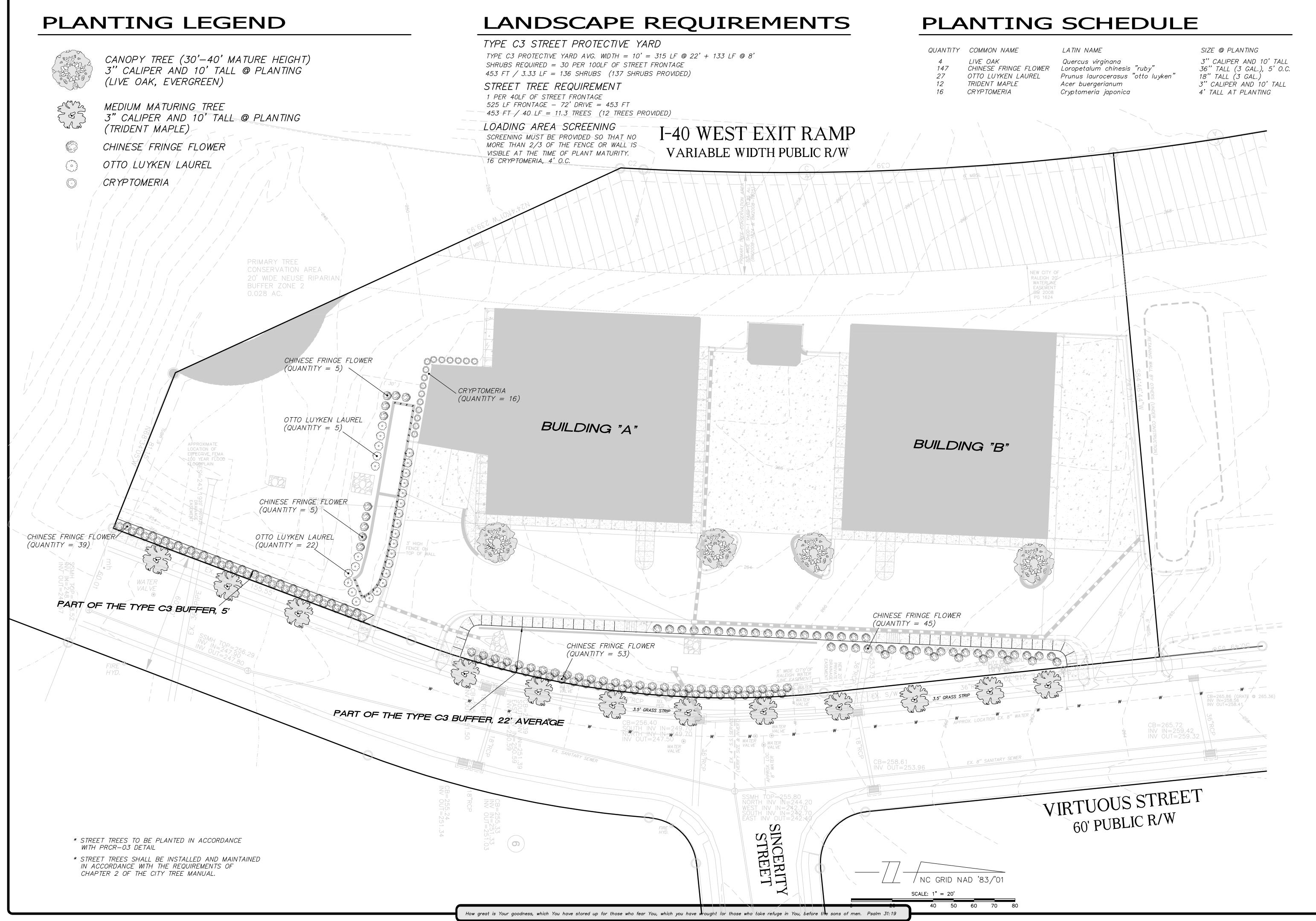
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PHASE NUMBER	1
NUMBER OF LOTS	1
LOT NUMBER BY PHASE	1
NUMBER OF UNITS	2
LIVABLE BUILDINGS	0
OPEN SPACE	0.25 ACRES
NUMBER OF OPEN SPACE LOTS	1
PUBLIC WATER (LF)	0
PUBLIC SEWER (LF)	0
PUBLIC STREET (LF)	0
PUBLIC SIDEWALK (LF)	0
STREET SIGNS (LF)	0
STUB PERMITS	2 Water 2 Sewer











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LANDSCAPE

PLAN

REVISIONS 5/18 1st ASR Comment 22/18 2nd ASR Comme

/6/19 Change of Owner

/30/19 ASR Resubmitta

/28/19 ASR Resubmittal

9/6/19 ASR Resubmittal 0/25/19 ASR Resubmittal

ILE NO. 2016-059

VERT. SCALE: NONE

CE-09

1"=20'

HORZ. SCALE:

S.F.

5

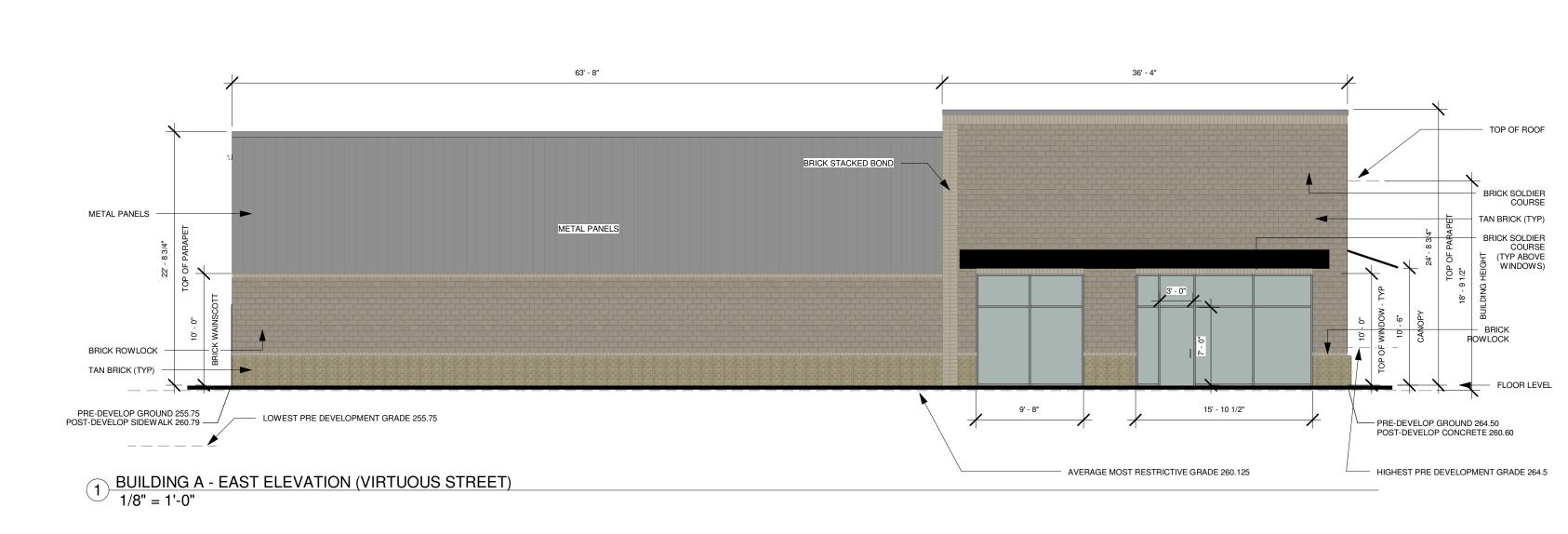
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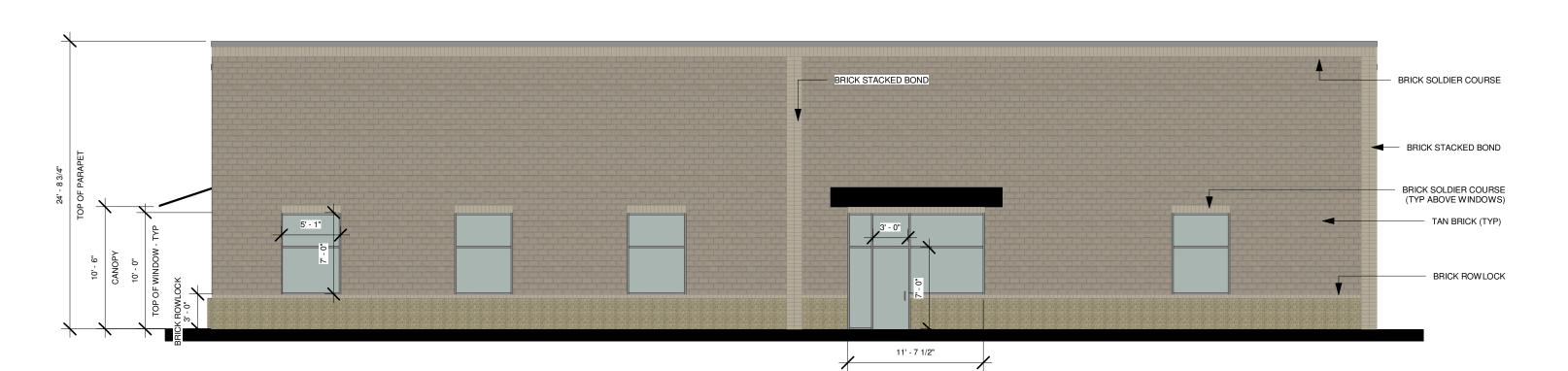
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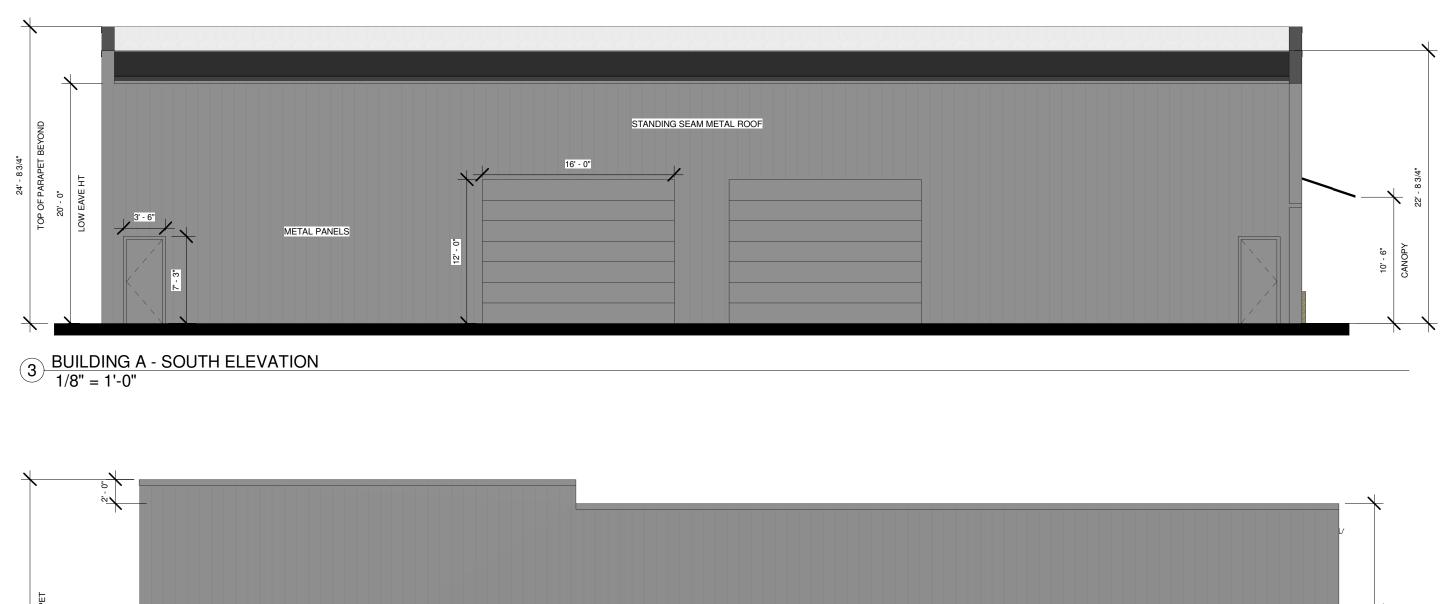
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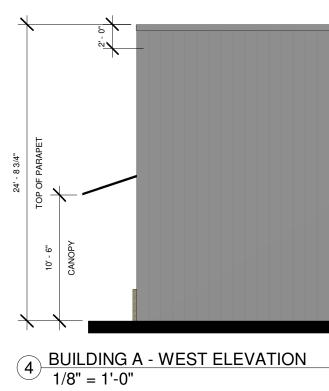
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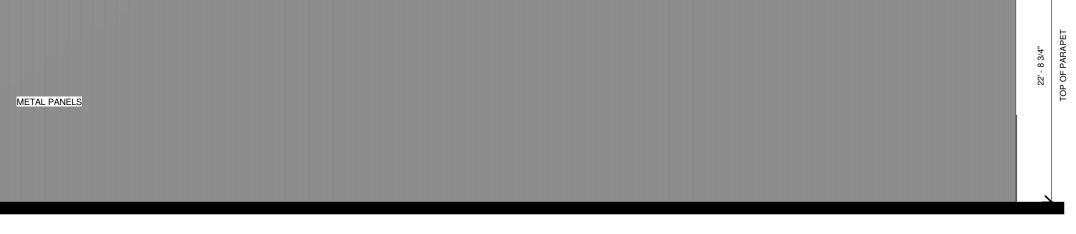




 $2 \frac{\text{BUILDING A - NORTH ELEVATION}}{1/8" = 1'-0"}$





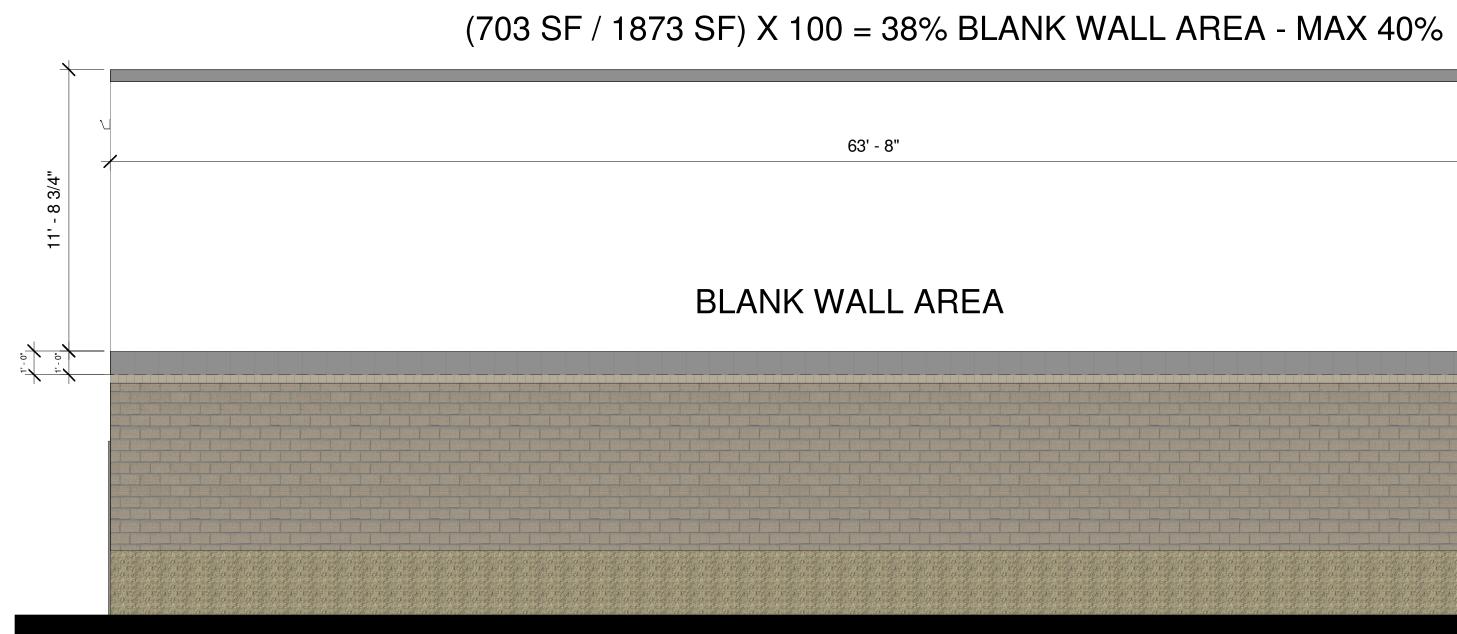


	REVISIONS
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	BU JS SU NOC
	PIPKIN BUILDING A VIRTUOUS STREET GARNER, NC 27529
	GAR GAR
	Δ Δ Δ Δ Δ Δ Δ Δ
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	919-550-7717 TONY@TONYJOHNSONA 104 N. LOMBARD ST. CLAYTON, NC 27520 TONYJOHNSONARCHI
	919-550- TONY@TOI CLAYTON TONYJOH
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EAST ELEVATION - VIRTUOUS STREET



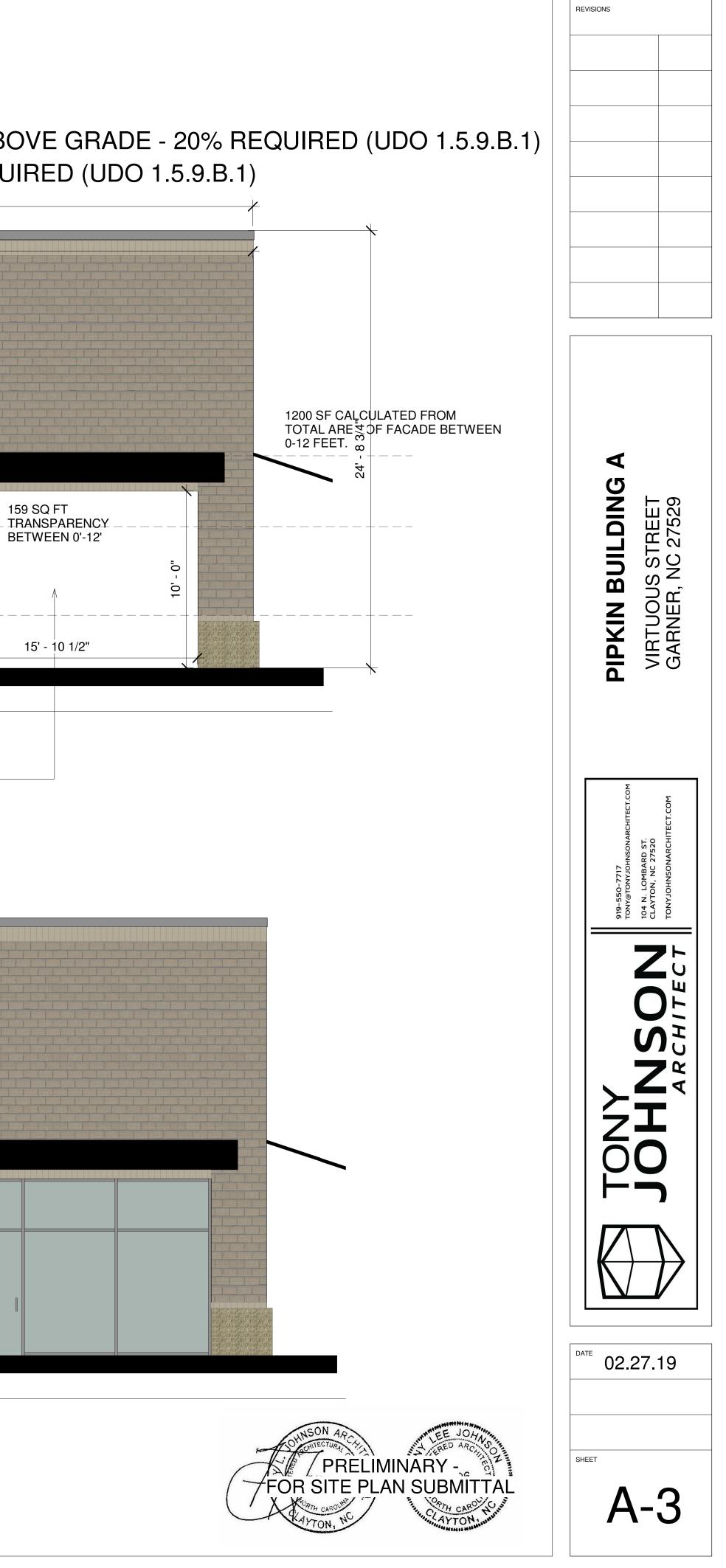
VIRTUOUS STREET TOTAL ACTUAL FACADE AREA =1873 SF VIRTUOUS STREET FACADE AREA BETWEEN 0'-12' =1200 SF

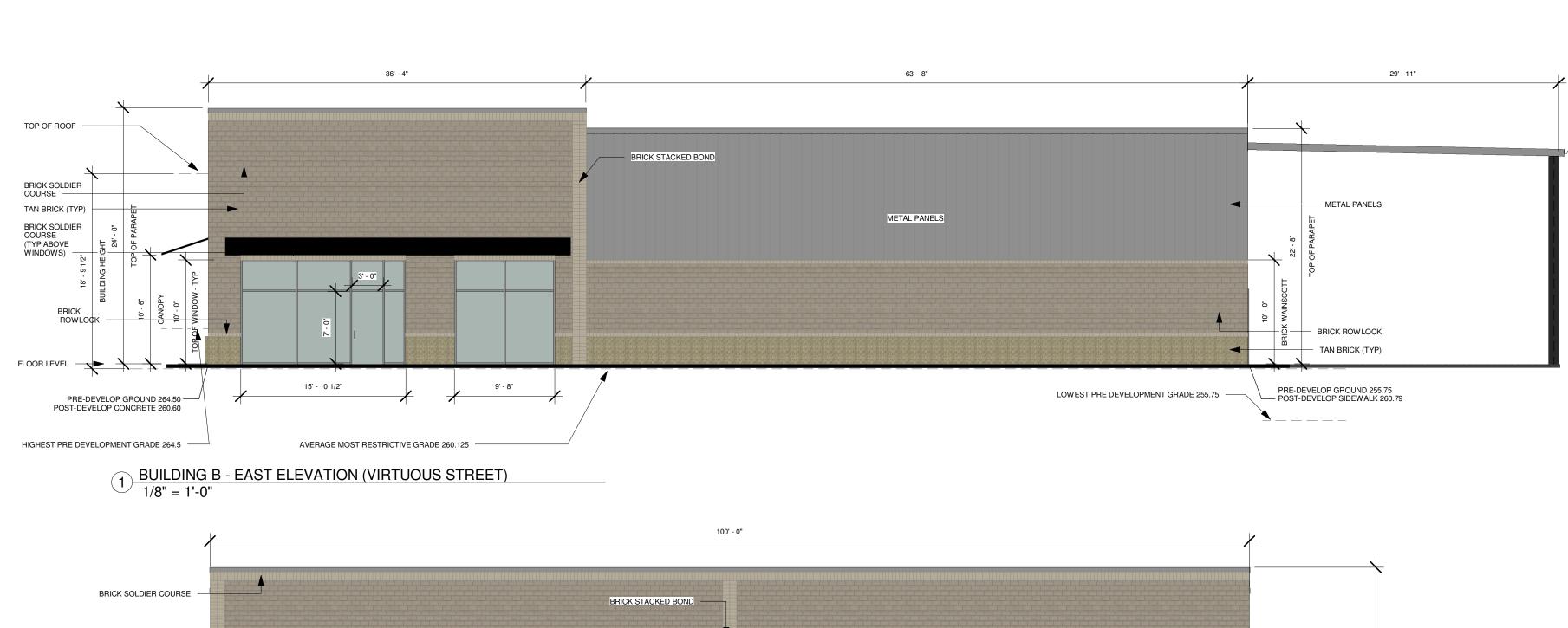


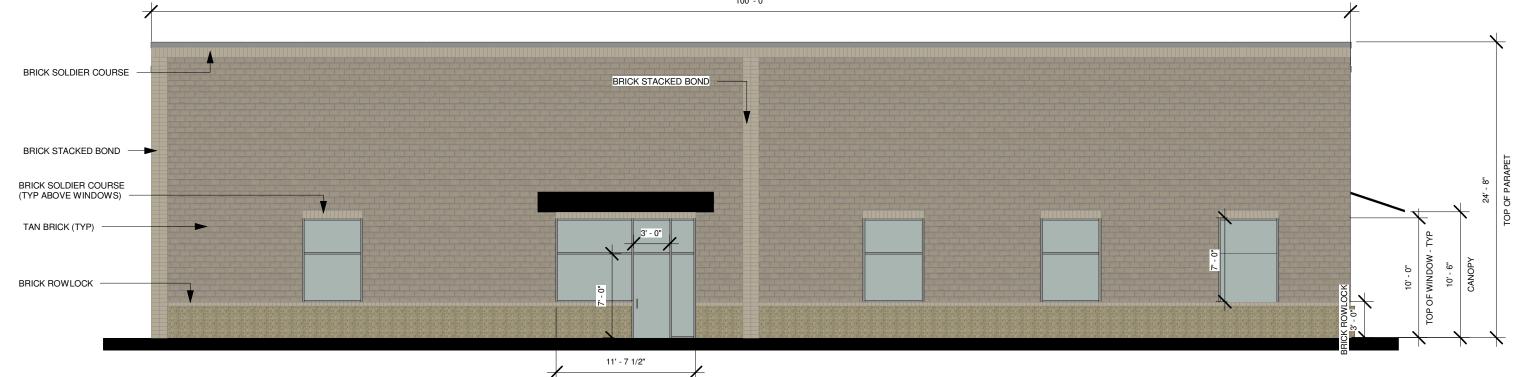
2 BUILDING A - UDO 1.5.10 - BLANK WALL AREA 1/4" = 1'-0"

(256 SF TRANSPARENCY [97 SF+159 SF] / 1200 SF WALL BETWEEN 0'-12' [100'x12"]) X 100 = 21% TRANSPARENCY BETWEEN 0 AND 12 FEET ABOVE GRADE - 20% REQUIRED (UDO 1.5.9.B.1) (129 SF ACTUAL TRANSPARENCY / 257 SF REQUIRED TRANSPARENCY) X 100 = 52% OF TRANSPARENCY BETWEEN 3 AND 8 FEET - 50% REQUIRED (UDO 1.5.9.B.1) 36' - 4''

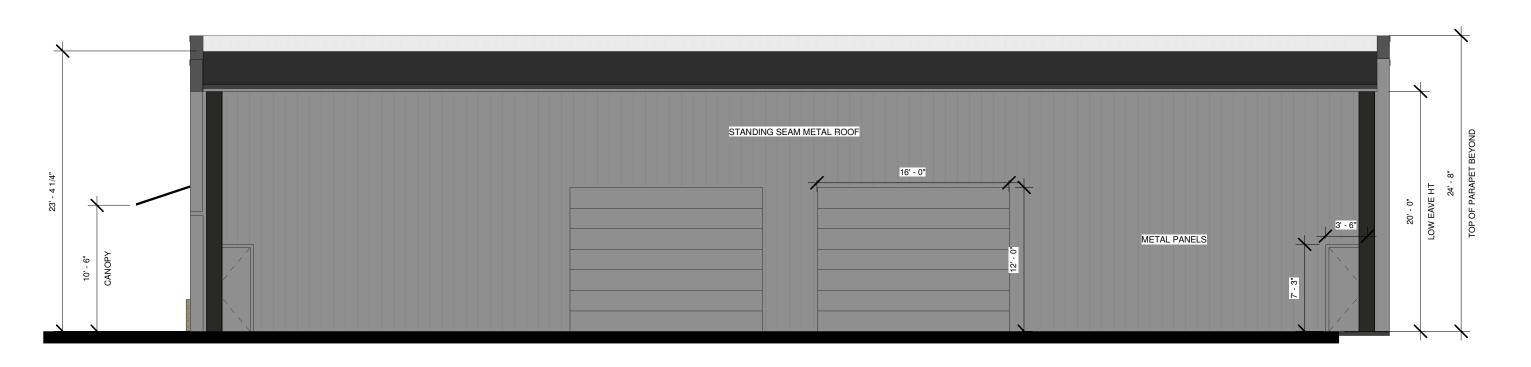
AREA







2 BUILDING B - SOUTH ELEVATION 1/8" = 1'-0"



 $3 \frac{\text{BUILDING B - NORTH ELEVATION}}{1/8" = 1'-0"}$



4 BUILDING B - WEST ELEVATION 1/8" = 1'-0"

REV	ISIONS		
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	BUIL	NUS ST R, NC	
	PIPKIN BUILDING B	VIRTUOUS STREET GARNER, NC 27529	
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	919-550-7717 TONY@TONYJOHNSONARCHITECT.COM	104 N. LOMBARD ST. CLAYTON, NC 27520 TONYJOHNSONARCHITECT.COM	
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