



# Administrative Approval Action

Case File / Name: ASR-SR-50-2018  
Virtuous St Lots 4 & 5

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** The site consists of two lots located at 4124 and 4204 Virtuous Street. The PIN numbers are 1721480092 and 1721471800.

**REQUEST:** The applicant is requesting to develop a 2.37 acre site for office and warehouse. The site is zoned Industrial Mixed Use in a Special Highway Overlay District (IX-3, SHOD-1). The proposal includes two 10,000 square foot buildings to accommodate 4,000 square feet of gross floor area for office and 16,000 square feet of indoor warehouse area (total of 20,000 square feet of building space). The existing two lots on this site are to be recombined.

A Design Adjustment was approved for this development plan regarding block perimeter and existing streets. Reference Unified Development Ordinance Article 8.3, Article 8.5 and case# DA-76- 2018.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 6, 2019 by Stocks Engineering.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General Condition**

1. If site lighting is proposed, a site lighting plan with fixture detail must demonstrate compliance with Unified Development Ordinance Article 7.4

### **Public Utilities**

2. The Developer shall provide a letter or e-mail from any Private Utility Company authorizing new water and sewer main encroachments across existing transmission easements prior to concurrent approval.

### **Stormwater**

3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



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4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

## Urban Forestry

6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
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<input checked="" type="checkbox"/>	Utility Placement Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## Engineering

1. A cross access agreement among the lots as shown on the preliminary plan shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

## Public Utilities

3. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## Stormwater

4. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).



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5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
6. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## **General**

1. Record a plat showing lot 4 and lot 5 being recombined.

## **Engineering**

2. A fee-in-lieu for 1' of sidewalk along the frontage of the property shall be paid to the City of Raleigh (UDO 8.1.10).

## **Public Utilities**

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## **Stormwater**

4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. An encroachment agreement for Stormwater pipes within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.
6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

## **Urban Forestry**

7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 12 street trees along Virtuous Street.



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8. A public infrastructure surety for the street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

*The following are required prior to issuance of building occupancy permit:*

## General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

## Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** November 25, 2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: \_\_\_\_\_

Development Services Dir/Designee

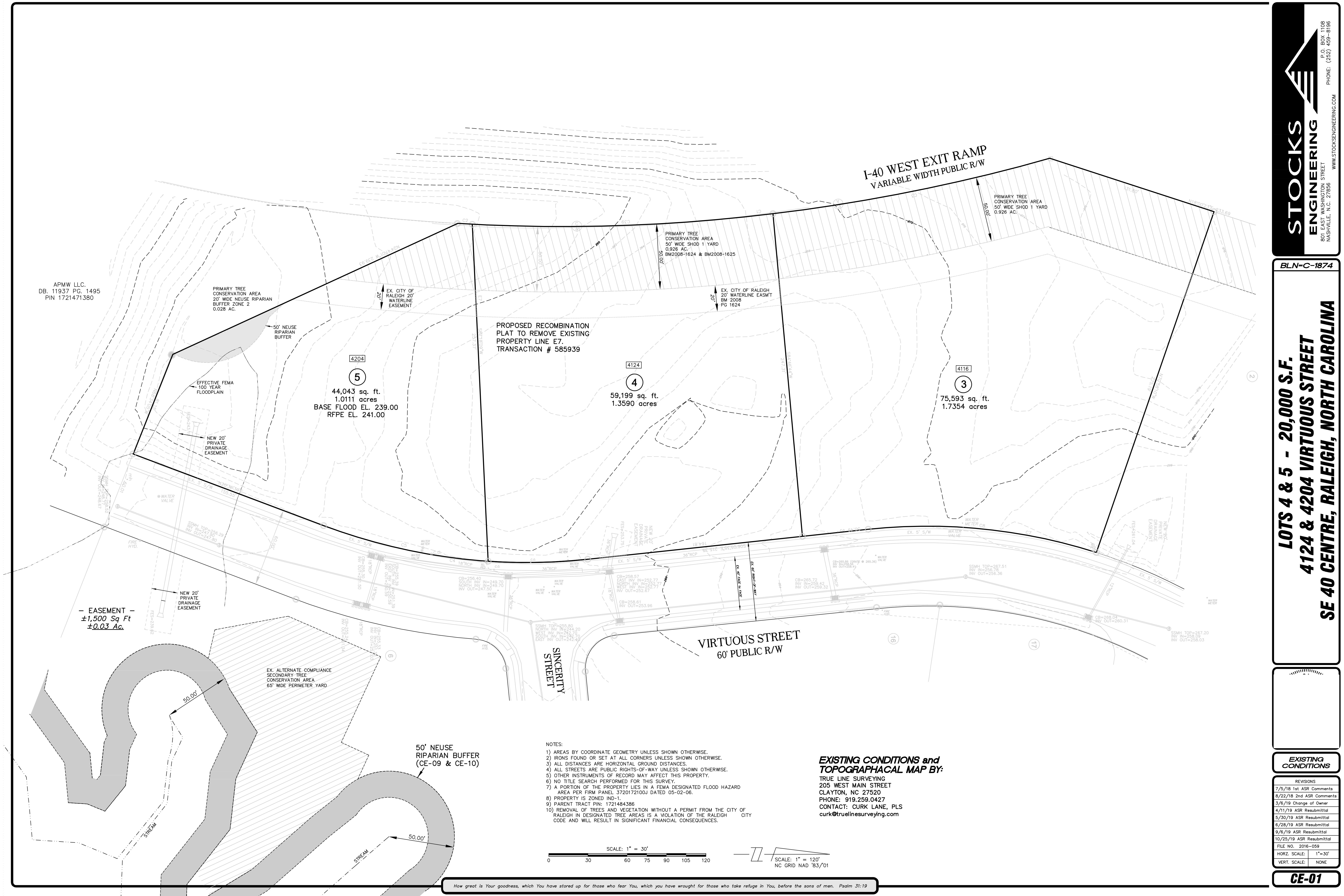
Staff Coordinator: Daniel Stegall

Date: 11/26/2019



**COVER**





- NOTES:
- 1) AREAS BY COORDINATE GEOMETRY UNLESS SHOWN OTHERWISE.
  - 2) IRONS FOUND OR SET AT ALL CORNERS UNLESS SHOWN OTHERWISE.
  - 3) ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
  - 4) ALL STREETS ARE PUBLIC RIGHTS-OF-WAY UNLESS SHOWN OTHERWISE.
  - 5) OTHER INSTRUMENTS OF RECORD MAY AFFECT THIS PROPERTY.
  - 6) NO TITLE SEARCH PERFORMED FOR THIS SURVEY.
  - 7) A PORTION OF THE PROPERTY LIES IN A FEMA DESIGNATED FLOOD HAZARD AREA PER FIRM PANEL 3720172100J DATED 05-02-06.
  - 8) PROPERTY IS ZONED IND-1.
  - 9) PARENT TRACT PIN: 1721484386
  - 10) REMOVAL OF TREES AND VEGETATION WITHOUT A PERMIT FROM THE CITY OF RALEIGH IN DESIGNATED TREE AREAS IS A VIOLATION OF THE RALEIGH CITY CODE AND WILL RESULT IN SIGNIFICANT FINANCIAL CONSEQUENCES.

SCALE: 1" = 30'

0 30 60 75 90 105 120

SCALE: 1" = 120'

NC GRID NAD '83/'01

**EXISTING CONDITIONS and TOPOGRAPHICAL MAP BY:**

TRUE LINE SURVEYING  
205 WEST MAIN STREET  
CLAYTON, NC 27520  
PHONE: 919.259.0427  
CONTACT: CURK LANE, PLS  
curk@truelinesurveying.com

How great is Your goodness, which You have stored up for those who fear You, which you have wrought for those who take refuge in You, before the sons of men. Psalm 31:19

**STOCKS ENGINEERING**

801 EAST WASHINGTON STREET  
NASHVILLE, N.C. 27556  
P.O. BOX 1108  
PHONE: (252) 459-8196  
WWW.STOCKSENGINEERING.COM

BLN-C-1874

**LOTS 4 & 5 - 20,000 S.F.**

**4124 & 4204 VIRTUOUS STREET**

**SE 40 CENTRE, RALEIGH, NORTH CAROLINA**

EXISTING CONDITIONS

REVISIONS	
7/5/18	1st ASR Comments
8/22/18	2nd ASR Comments
3/6/19	Change of Owner
4/11/19	ASR Resubmittal
5/30/19	ASR Resubmittal
6/28/19	ASR Resubmittal
9/6/19	ASR Resubmittal
10/23/19	ASR Resubmittal
FILE NO. 2016-059	
HORIZ. SCALE:	1"=30'
VERT. SCALE:	NONE

**CE-01**

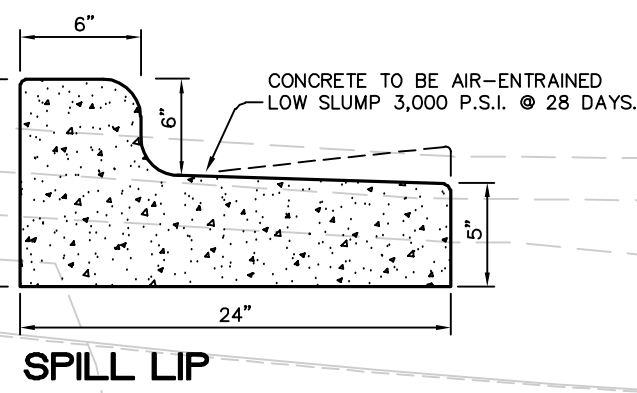
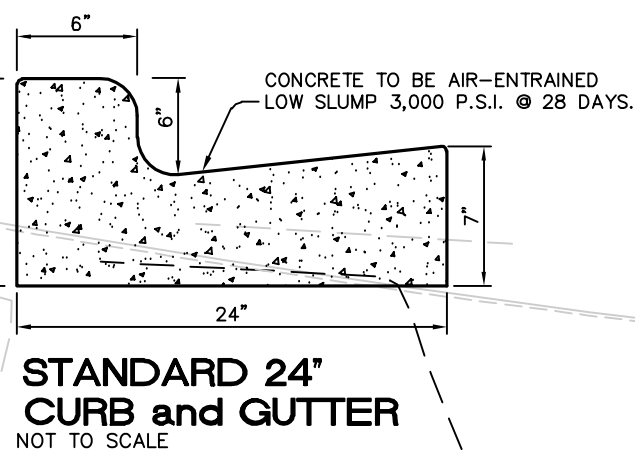
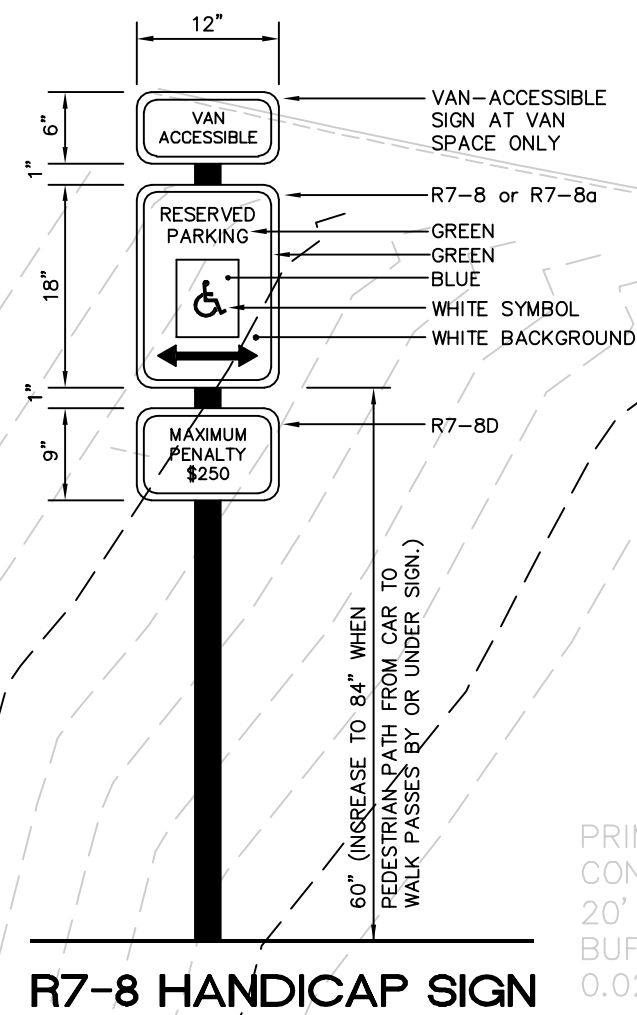


HEAVY DUTY  
FLEXIBLE PAVEMENT  
NOT TO SCALE  
3" SF9.5B  
ASPHALT  
OVER  
2" I19.0B  
ASPHALT  
8" CABC  
COMPACTED  
SUBGRADE

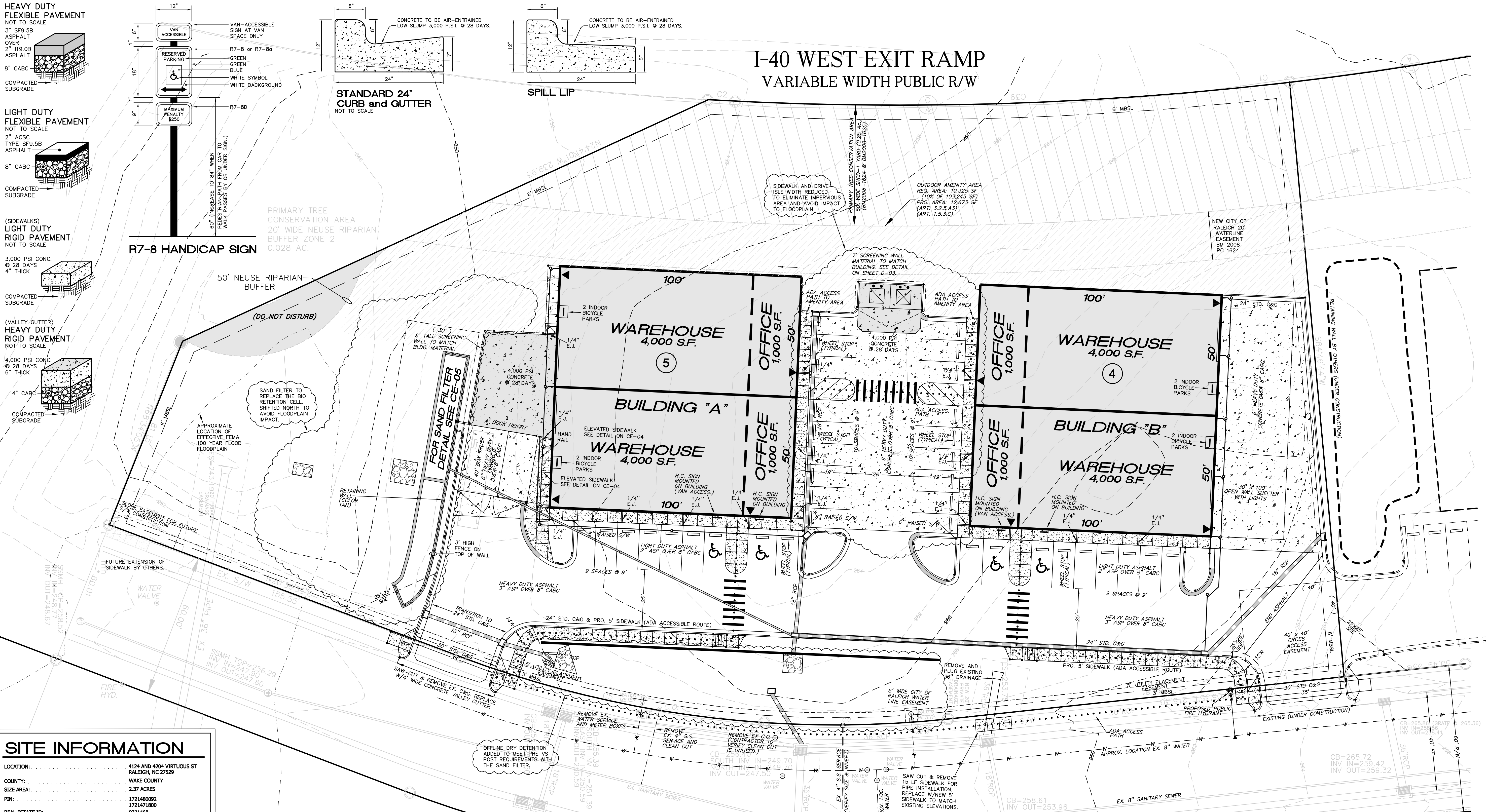
LIGHT DUTY  
FLEXIBLE PAVEMENT  
NOT TO SCALE  
2" ACSC  
TYPE SF9.5B  
ASPHALT  
8" CABC  
COMPACTED  
SUBGRADE

(SIDEWALKS)  
LIGHT DUTY  
RIGID PAVEMENT  
NOT TO SCALE  
3,000 PSI CONC.  
28 DAYS  
4" THICK  
COMPACTED  
SUBGRADE

(VALLEY GUTTER)  
HEAVY DUTY  
RIGID PAVEMENT  
NOT TO SCALE  
4,000 PSI CONC.  
28 DAYS  
6" THICK  
4" CABC  
COMPACTED  
SUBGRADE



## I-40 WEST EXIT RAMP VARIABLE WIDTH PUBLIC R/W

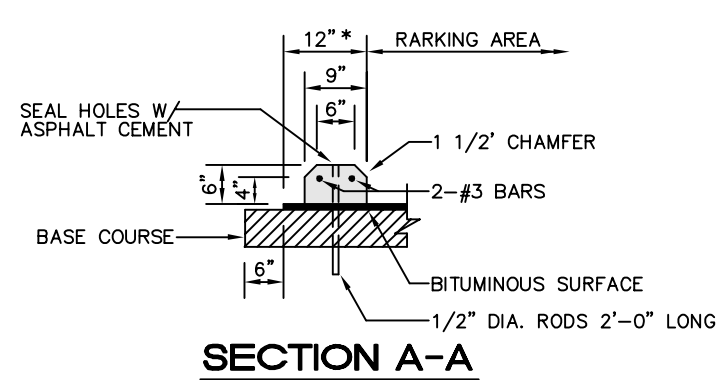


### SITE INFORMATION

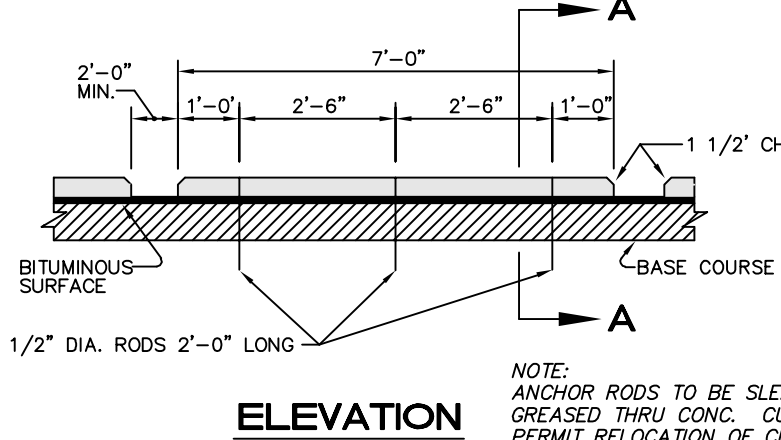
LOCATION:	4124 AND 4204 VIRTUOUS ST RALEIGH, NC 27529
COUNTY:	WAKE COUNTY
SIZE AREA:	2.37 ACRES
PIN:	1721480092 1721471800
REAL ESTATE ID:	0371469
DEED BOOK/PAGE NUMBER:	046070/1689 017247/01474 046070/1689 017247/01474
TOWNSHIP:	ST. MARY'S
ZONING:	DC-3
OVERLAY DISTRICT:	SHOD-1
TYPE OF CONSTRUCTION:	II-B
MINIMUM BUILDING SETBACKS	
PRIMARY ST	3'
SIDE STREET	5'
REAR	6'
PARKING SETBACKS	
PRIMARY ST	10'
SIDE STREET	3'
REAR	3'
PARKING REQUIREMENTS	
4,000 SF OFFICE SPACE (1 PARK/600 SF)	7
16,000 SF WAREHOUSE SPACE (1 PARK/3,000 SF)	6
TOTAL PARKING REQUIRED	13
PARKING PROVIDED	
REGULAR 9' X 18'	32
H.C. (REGULAR)	2
H.C. (VAN ACCESSIBLE)	2
TOTAL PARKING PROVIDED	36
IMPERVIOUS AREA	
EXISTING IMPERVIOUS	1,340 SF (1.30%)
PROPOSED IMPERVIOUS	51,368 SF (49.8%)
TOTAL IMPERVIOUS	52,708 SF (51.1%)
DISTURBED AREA	1.77 AC

- NOTES:
1. SIGNS ARE TO BE PERMITTED SEPARATELY.
  2. THIS SITE IS PERMITTED 3 STORIES AT 50' IN HEIGHT.
  3. RETAINING WALL TO BE DESIGNED BY STRUCTURAL ENGINEER OR WALL DESIGN SPECIALIST.

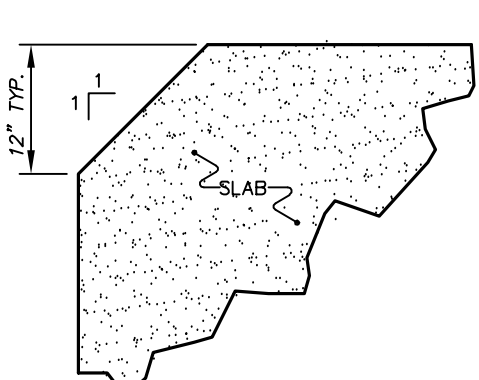
### WHEEL STOP DETAIL SCALE: N.T.S.



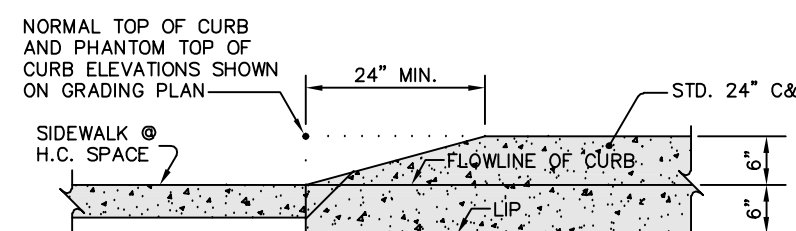
NOTE: AT H.C. SPACES USE 30"



### CONCRETE CORNER DETAIL SCALE: N.T.S.



### CURB DEPRESSION DETAIL SCALE: N.T.S.



How great is Your goodness, which You have stored up for those who fear You, which you have wrought for those who take refuge in You, before the sons of men. Psalm 31:19

**STOCKS**  
**ENGINEERING**

BLN-C-1874

**LOTS 4 & 5 - 20,000 S.F.**  
**4124 & 4204 VIRTUOUS STREET**  
**SE 40 CENTRE, RALEIGH, NORTH CAROLINA**

### SITE PLAN

#### REVISIONS

7/5/18 1st ASR Comments
8/22/18 2nd ASR Comments
3/6/19 Change of Owner
4/11/19 ASR Resubmittal
5/30/19 ASR Resubmittal
5/28/19 ASR Resubmittal
5/6/19 ASR Resubmittal
10/25/19 ASR Resubmittal
FILE NO. 2016-059
HORZ. SCALE: 1"=20'
VERT. SCALE: NONE

**CE-02**

P.O. BOX 1108  
801 EAST WASHINGTON STREET  
NASHVILLE, N.C. 27556  
PHONE: (252) 459-8196  
WWW.STOCKSENGINEERING.COM



**STOCKS ENGINEERING**  
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P.O. BOX 1108  
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PHONE: (615) 252-4599-8196  
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BLN-C-1874

**LOTS 4 & 5 - 20,000 S.F.**  
**4124 & 4204 VIRTUOUS STREET**  
**SE 40 CENTRE, RALEIGH, NORTH CAROLINA**

**UTILITY PLAN**

REVISIONS

7/5/18	1st ASR Comments
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HORZ. SCALE:	1"=20'
VERT. SCALE:	NONE

**CE-03**

# I-40 WEST EXIT RAMP

## VARIABLE WIDTH PUBLIC R/W

**ABANDONMENT NOTES:**

- Contractors abandoning water services shall remove the entire service stub. When available, a mechanical plug shall be used to abandon the corporation cock. If equipment necessary to plug the main is not available, the corporation stop shall be turned off and capped. A 1/2" PVC pipe shall extend a minimum of 12" above the capped corporation stop, wrapped at least 3 times with caution tape to identify an abandoned tap. All remaining portions of the service stub shall be removed from the main to the right of way line and shall be disposed of properly. Water main abandonment must be performed in accordance with a plan approved by the Public Utilities Department. Service and main abandonment requires a stub permit for inspection by the Public Works Department at 919-996-2409 or a Public Utilities Inspector at 919-996-2737, in the merger areas.
- Sewer service stub to a main shall be abandoned by removing the saddle and replacing the saddle with a 360 degree stainless steel sleeve. At in-line wyes the service lateral shall be cut within 12" of the wye and a mechanical cap installed on DIP/cast services or glued to PVC services and the abandoned wye to be surrounded with 1 ft. of concrete. The remaining portion of the sewer service stub shall be removed from the main to the right of way line and shall be disposed of properly. Sewer main abandonment must be performed in accordance with a plan approved by the Public Utilities Department. Service stub and main abandonment requires a stub permit for inspection by the Public Works Department at 919-996-4540. Raleigh Public Utilities Department will oversee stub abandonment in the merger towns 919-996-4540.

**General Requirements:**

- Property owner is responsible for proper abandonment of all unused existing service stubs.
- All abandoned meters are to be removed by the Raleigh Meters Division prior to service abandonment. (919-996-2742).
- The Raleigh Public Utilities operations staff will not abandon an existing service stub unless it is part of a service renewal as required by ordinance.
- For circumstances that may not be addressed by this clarification or a variance from this procedure please contact the Raleigh Public Utilities Department Development staff at 919-996-4540.

**LICENSED UTILITY CONTRACTOR REQUIRED SERVICE ABANDONMENT PERMITS**

Contractor installed domestic (3/4" thru 12"), irrigation water (3/4" thru 10"), sewer (4" thru 8") and fire hydrant (6") service stubs;

**Commercial;** All domestic and/or irrigation, sewer and fire hydrant abandonment requires a stub permit for each connection to a water or sewer main.

**Residential/Individual;** All domestic water and/or irrigation and sewer service stubs abandonment installation requires a stub permit. Exception; Irrigation splits installed with a new domestic service. Irrigation splits on an existing tap requires a stub permit.

**Demolition Permits;** Plans are required to show all existing services to be abandoned included temporary construction water using existing meter(s). Plan review required.

**Sewer Stubs in Easements;** A licensed and bonded utility or plumbing contractor may install a sewer stub on a sewer main located within a dedicated easement and requires the issuance of a stub permit. Raleigh Ordinance 10-6082

Street cut permits are required for pavement repair in ROW.

**City of Raleigh Capital Projects**

A licensed utility contractor performing City contracted water or sewer main replacement work is not required to obtain a stub or street cut permit for abandoned services or mains.

**Water and Sewer Main Abandonment**

All water and sewer main abandonment requires plan submittal for review by the Raleigh Public Utilities Development Staff by submission of plans through the Raleigh Development Customer Service Center

**BACKFLOW PREVENTION DEVICES NOW REQUIRE A CERTIFICATE OF COMPLIANCE AT BUILDING PERMIT REVIEW, WHICH MUST BE DIGITALLY AFFIXED TO THE PLANS AND WILL REMAIN IN EFFECT UNTIL THE NEXT SCHEDULED TEST DATE. EMAIL CROSS.CONNECTION@RALEIGHNC.GOV OR CALL 919.996.2747 FOR MORE INFORMATION.**

**NOTE:** UTILITY CONNECTION PERMIT TO BE ASSIGNED AT BUILDING PERMIT APPROVAL TO INCLUDE CAPITAL FEES BASED ON THE WATER METER TO BE USED.

**CONDITION OF APPROVAL:** PLAT RECORDATION REQUIRED FOR R/W, GUPE, AND/OR WATERLINE EASEMENT DEDICATION.

**ABANDONMENT NOTES:**

1. Contractors abandoning water services shall remove the entire service stub. When available, a mechanical plug shall be used to abandon the corporation cock. If equipment necessary to plug the main is not available, the corporation stop shall be turned off and capped. A 1/2" PVC pipe shall extend a minimum of 12" above the capped corporation stop, wrapped at least 3 times with caution tape to identify an abandoned tap. All remaining portions of the service stub shall be removed from the main to the right of way line and shall be disposed of properly. Water main abandonment must be performed in accordance with a plan approved by the Public Utilities Department. Service and main abandonment requires a stub permit for inspection by the Public Works Department at 919-996-2409 or a Public Utilities Inspector at 919-996-2737, in the merger areas.

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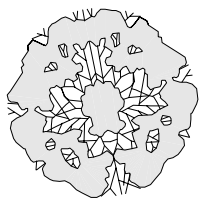
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**CE-03**



PLANTING LEGEND



CANOPY TREE (30'-40' MATURE HEIGHT)  
3" CALIPER AND 10' TALL @ PLANTING  
(LIVE OAK, EVERGREEN)



MEDIUM MATURING TREE  
3" CALIPER AND 10' TALL @ PLANTING  
(TRIDENT MAPLE)



CHINESE FRINGE FLOWER



OTTO LUYKEN LAUREL



CRYPTOMERIA

LANDSCAPE REQUIREMENTS

TYPE C3 STREET PROTECTIVE YARD

TYPE C3 PROTECTIVE YARD AVG. WIDTH = 10' = 315 LF @ 22' + 133 LF @ 8'  
SHRUBS REQUIRED = 30 PER 100LF OF STREET FRONTAGE  
453 FT / 3.33 LF = 136 SHRUBS (137 SHRUBS PROVIDED)

STREET TREE REQUIREMENT

1 PER 40LF OF STREET FRONTAGE  
525 LF FRONTAGE - 72' DRIVE = 453 FT  
453 FT / 40 LF = 11.3 TREES (12 TREES PROVIDED)

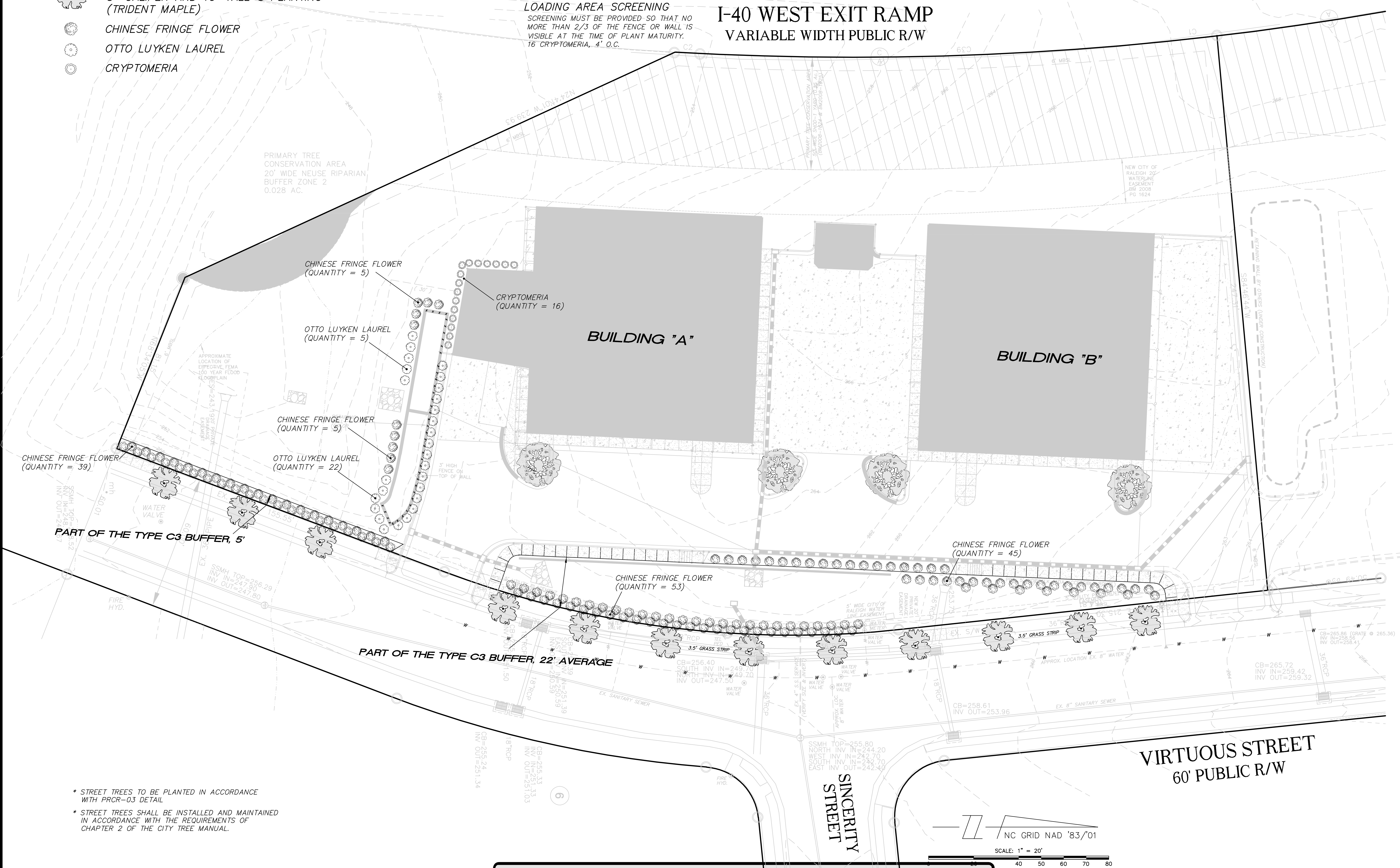
LOADING AREA SCREENING

SCREENING MUST BE PROVIDED SO THAT NO MORE THAN 2/3 OF THE FENCE OR WALL IS VISIBLE AT THE TIME OF PLANT MATURITY.  
16 CRYPTOMERIA, 4' O.C.

I-40 WEST EXIT RAMP  
VARIABLE WIDTH PUBLIC R/W

PLANTING SCHEDULE

QUANTITY	COMMON NAME	LATIN NAME	SIZE @ PLANTING
4	LIVE OAK	Quercus virginana	3" CALIPER AND 10' TALL
147	CHINESE FRINGE FLOWER	Loropetalum chinensis "ruby"	36" TALL (3 GAL.), 5' O.C.
27	OTTO LUYKEN LAUREL	Prunus laurocerasus "otto luyken"	18" TALL (3 GAL.)
12	TRIDENT MAPLE	Acer buergerianum	3" CALIPER AND 10' TALL
16	CRYPTOMERIA	Cryptomeria japonica	4' TALL AT PLANTING



**STOCKS**  
**ENGINEERING**  
801 EAST WASHINGTON STREET  
NASHVILLE, N.C. 27556  
P.O. BOX 1108  
PHONE: (252) 459-8196  
WWW.STOCKSENGINEERING.COM

BLN-C-1874

**LOTS 4 & 5 - 20,000 S.F.**  
**4124 & 4204 VIRTUOUS STREET**  
**SE 40 CENTRE, RALEIGH, NORTH CAROLINA**

**LANDSCAPE PLAN**

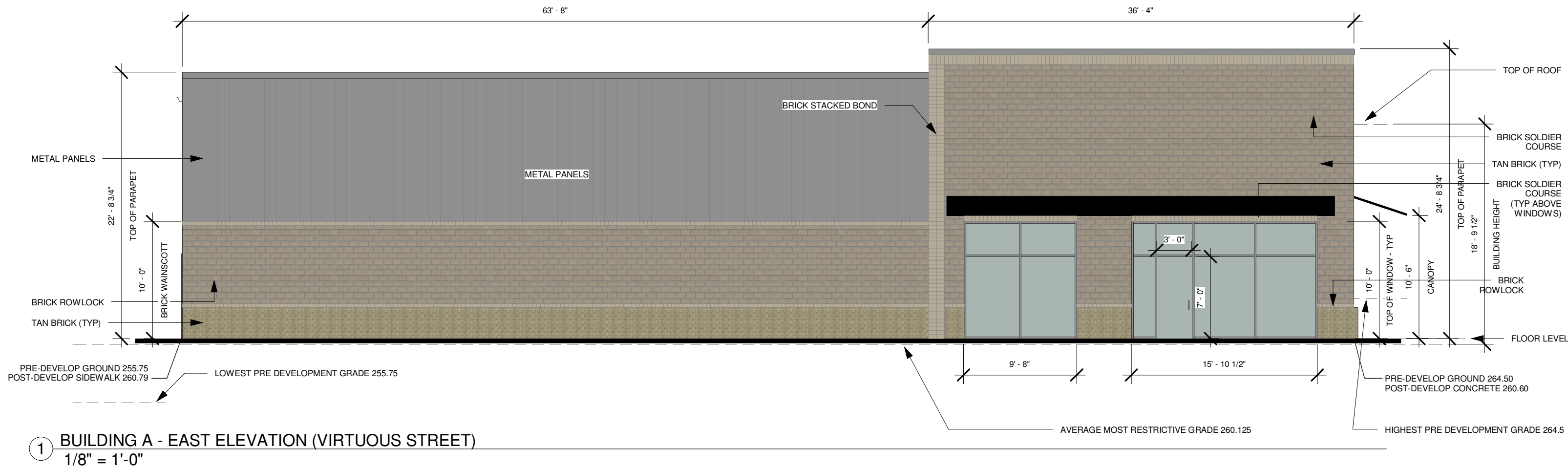
REVISIONS

7/5/18	1st ASR Comments
8/22/18	2nd ASR Comments
3/6/19	Change of Owner
5/30/19	ASR Resubmit
6/28/19	ASR Resubmit
9/6/19	ASR Resubmit
10/25/19	ASR Resubmit

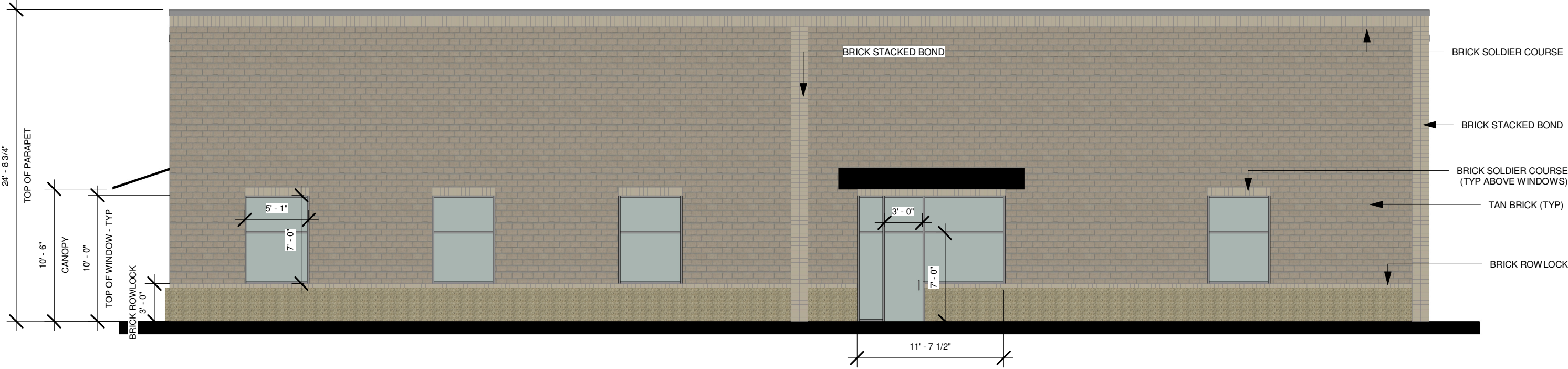
FILE NO. 2016-059  
HORIZ. SCALE: 1"=20'  
VERT. SCALE: NONE

**CE-09**

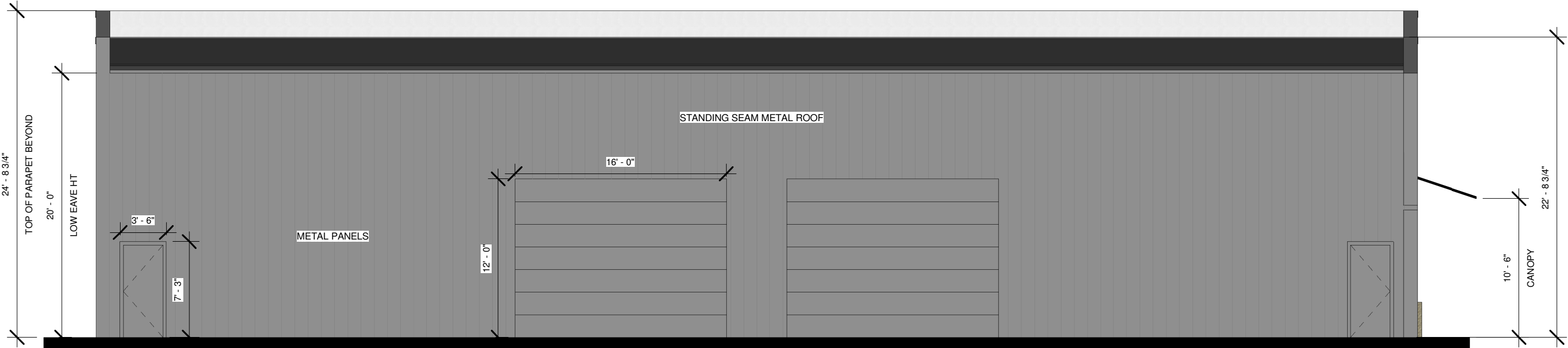




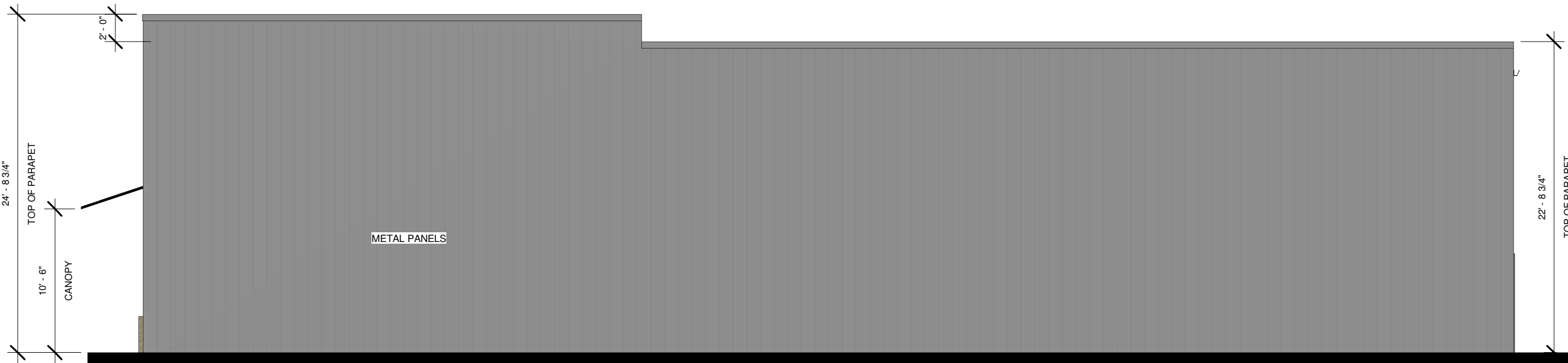
1 BUILDING A - EAST ELEVATION (VIRTUOUS STREET)  
1/8" = 1'-0"



2 BUILDING A - NORTH ELEVATION  
1/8" = 1'-0"



3 BUILDING A - SOUTH ELEVATION  
1/8" = 1'-0"



4 BUILDING A - WEST ELEVATION  
1/8" = 1'-0"



REVISIONS	

**PIPKIN BUILDING A**  
VIRTUOUS STREET  
GARNER, NC 27529

919-550-7717  
TONY@TONYJOHNSONARCHITECT.COM  
104 N. LOMBARD ST.  
CLAYTON, NC 27520  
TONYJOHNSONARCHITECT.COM

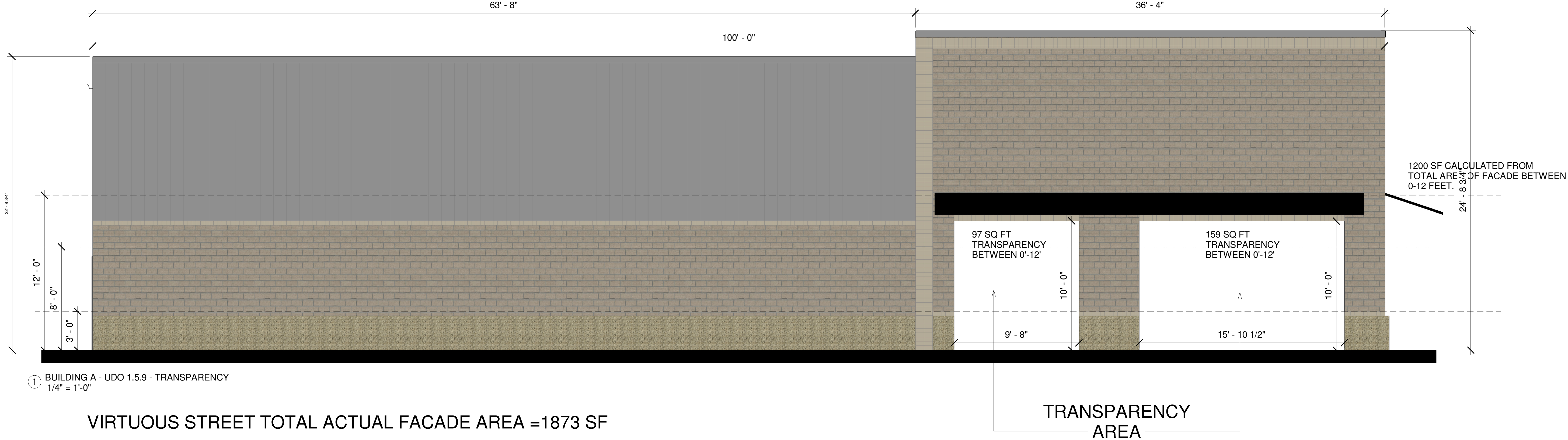
**TONY JOHNSON**  
ARCHITECT

DATE	02.27.19
SHEET	A-1



EAST ELEVATION - VIRTUOUS STREET

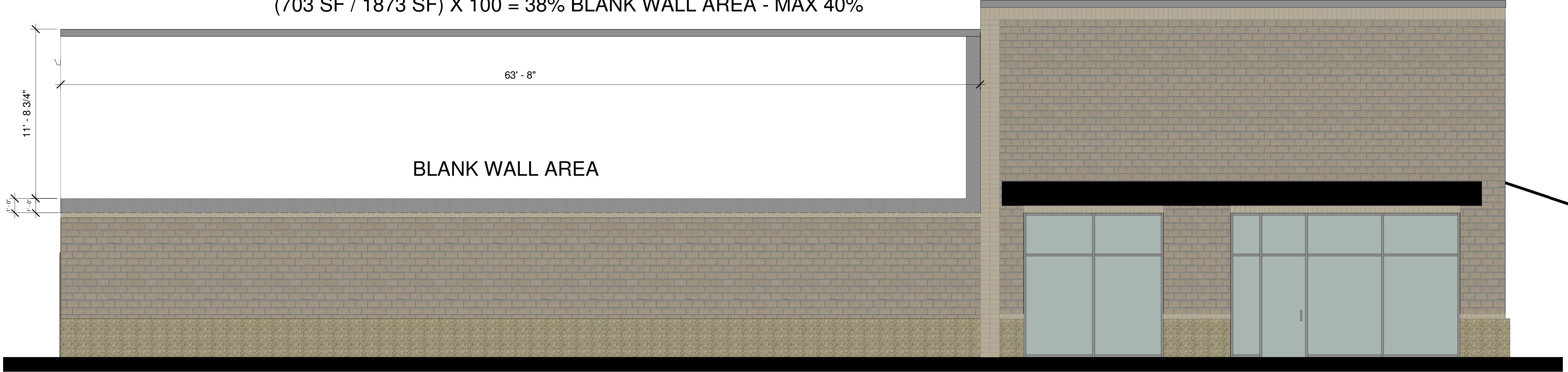
(256 SF TRANSPARENCY [97 SF+159 SF] / 1200 SF WALL BETWEEN 0'-12' [100'x12"]) X 100 = 21% TRANSPARENCY BETWEEN 0 AND 12 FEET ABOVE GRADE - 20% REQUIRED (UDO 1.5.9.B.1)  
(129 SF ACTUAL TRANSPARENCY / 257 SF REQUIRED TRANSPARENCY) X 100 = 52% OF TRANSPARENCY BETWEEN 3 AND 8 FEET - 50% REQUIRED (UDO 1.5.9.B.1)



1 BUILDING A - UDO 1.5.9 - TRANSPARENCY  
1/4" = 1'-0"

VIRTUOUS STREET TOTAL ACTUAL FACADE AREA =1873 SF  
VIRTUOUS STREET FACADE AREA BETWEEN 0'-12' =1200 SF

(703 SF / 1873 SF) X 100 = 38% BLANK WALL AREA - MAX 40%



2 BUILDING A - UDO 1.5.10 - BLANK WALL AREA  
1/4" = 1'-0"



REVISIONS	

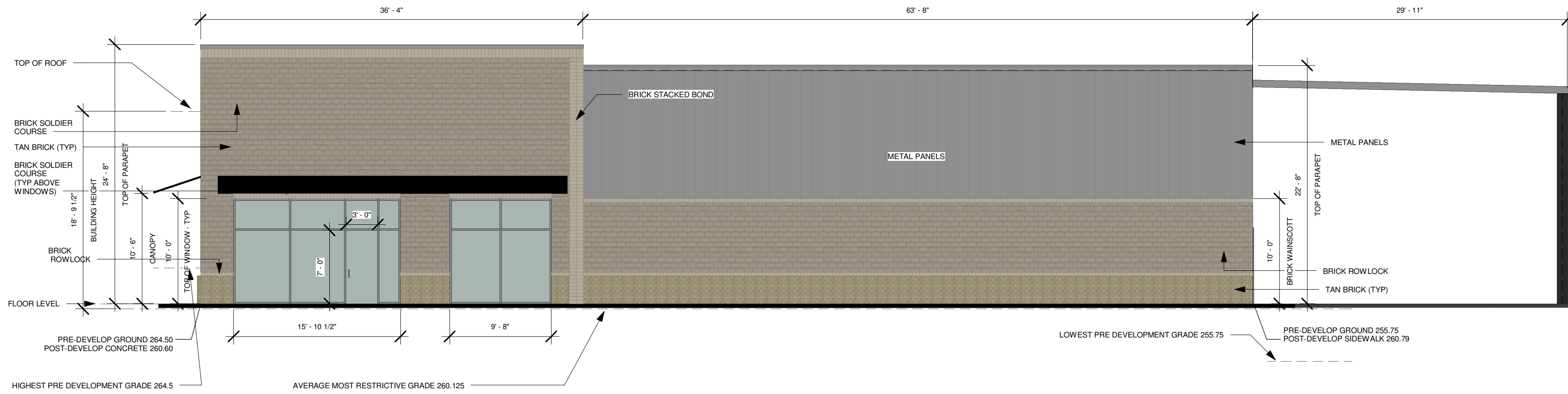
PIPKIN BUILDING A  
VIRTUOUS STREET  
GARNER, NC 27529

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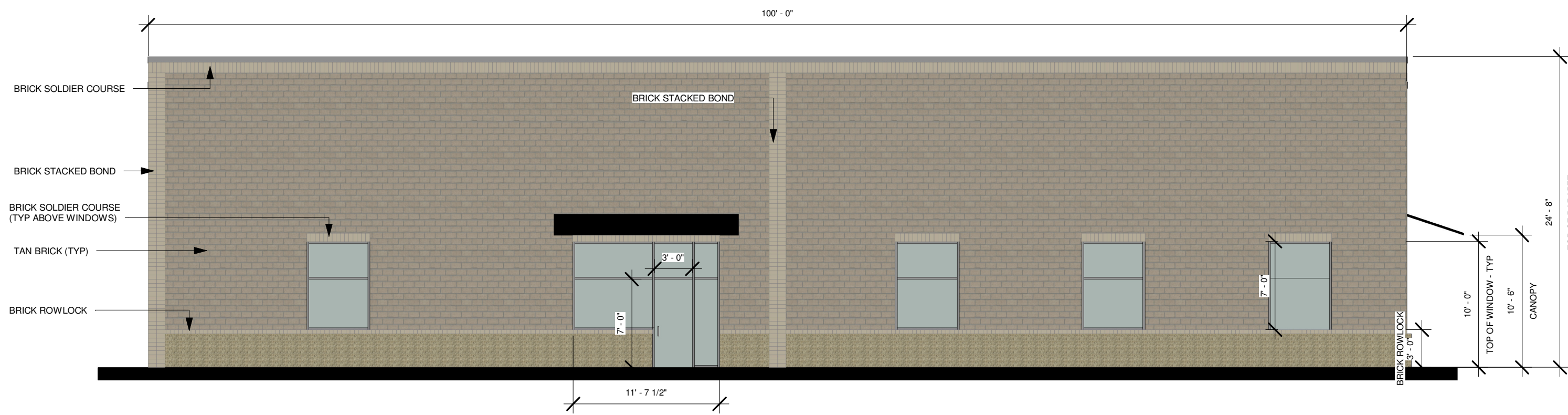


DATE	02.27.19
SHEET	A-3

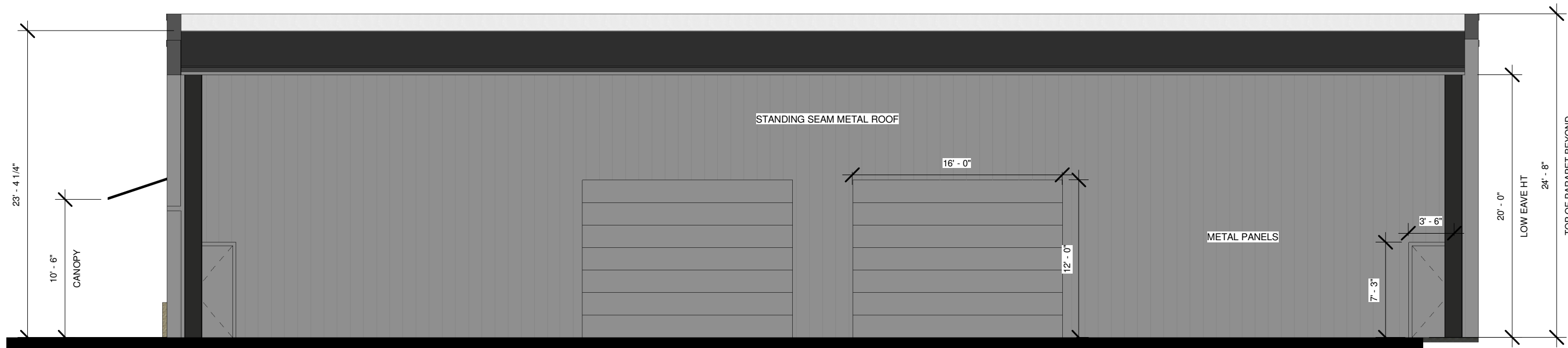




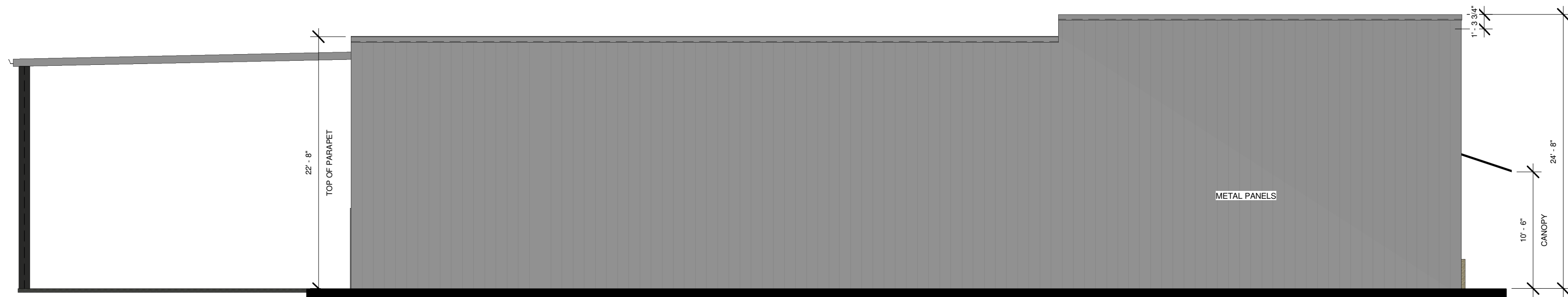
1 BUILDING B - EAST ELEVATION (VIRTUOUS STREET)  
1/8" = 1'-0"



2 BUILDING B - SOUTH ELEVATION  
1/8" = 1'-0"



3 BUILDING B - NORTH ELEVATION  
1/8" = 1'-0"



4 BUILDING B - WEST ELEVATION  
1/8" = 1'-0"



REVISIONS	

PIPKIN BUILDING B  
VIRTUOUS STREET  
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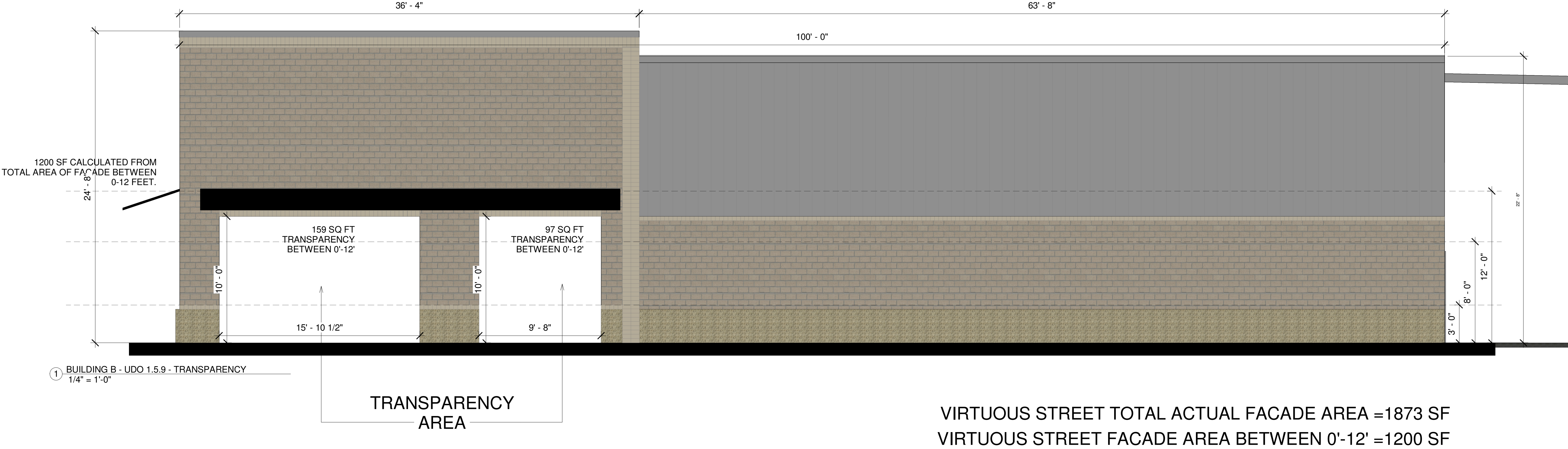


DATE	02.15.19
SHEET	A-4



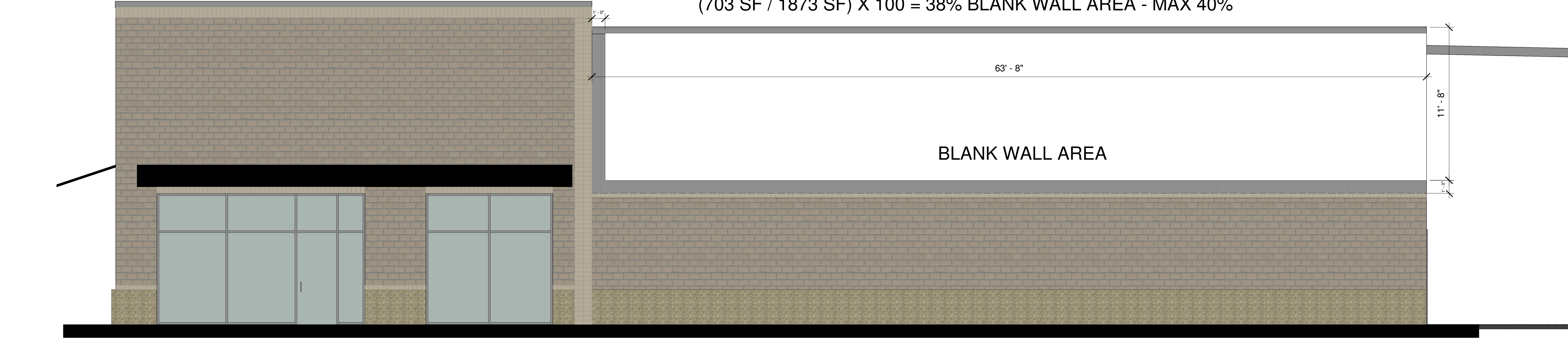
EAST ELEVATION - VIRTUOUS STREET

(256 SF TRANSPARENCY [97 SF+159 SF] / 1200 SF WALL BETWEEN 0'-12' [100'x12"] ) X 100 = 21% TRANSPARENCY BETWEEN 0 AND 12 FEET ABOVE GRADE - 20% REQUIRED (UDO 1.5.9.B.1)  
(129 SF ACTUAL TRANSPARENCY / 257 SF REQUIRED TRANSPARENCY) X 100 = 52% OF TRANSPARENCY BETWEEN 3 AND 8 FEET - 50% REQUIRED (UDO 1.5.9.B.1)



① BUILDING B - UDO 1.5.9 - TRANSPARENCY  
1/4" = 1'-0"

(703 SF / 1873 SF) X 100 = 38% BLANK WALL AREA - MAX 40%



② BUILDING B - UDO 1.5.10 - BLANK WALL AREA  
1/4" = 1'-0"



REVISIONS	

**PIPKIN BUILDING B**  
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**TONY JOHNSON**  
ARCHITECT

DATE	02.15.19
SHEET	A-6