



Administrative Approval Action

Case File / Name: ASR-SR-54-2018
908 New Bern Avenue Condos

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The 0.418 acre site is located on the south side of New Bern Avenue, east of Idlewild Avenue and west of North State Street, zoned OX-3-GR in the New Bern Edenton NCOD. The site address is 908 New Bern Avenue.

REQUEST: Development of two multi-family residential buildings, totalling 18 units and 26,618 square feet in size with associated garage parking. Currently an attached house is on the site (to be demolished).
A design adjustment has been approved by the Board of Adjustment for this project.
Case A-168-19, granting a design adjustment for the shown streetscape and street tree location as well as elimination of the 5' utility placement easement.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 29, 2020 by Wake Land Design, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

General Condition

3. Include letter from private solid waste hauler and notification of acceptance of this method from Raleigh Solid Waste services on Site Permit Drawings.

Stormwater

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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5. Flood study was looked at and as by UDO 9.2.2 A 4 b ii Active Stormwater Control Measures exemption is claimed. [Fee for the flood study upon permit submittal]

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained.

Engineering

2. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
3. A fee-in-lieu for 1 foot of sidewalk at the east side of the driveway (approx. 40+- feet) shall be paid to the City of Raleigh (UDO 8.1.10).

Urban Forestry

4. A public infrastructure surety, including for street trees, shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 2 street trees along New Bern Avenue, behind the sidewalk.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right-of-way street trees by Urban Forestry Staff.



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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

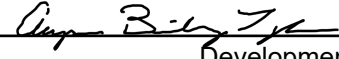
3-Year Expiration Date: March 10, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 03/10/2020
Development Services Dir/Designee
Staff Coordinator: Justin Biegler



908 NEW BERN AVE

ADMINISTRATIVE SITE REVIEW PLANS

ASR-SR-54-2018

RALEIGH, NORTH CAROLINA

JUNE 4, 2018
REVISED JUNE 5, 2018
REVISED JULY 6, 2018
OCTOBER 16, 2019
JANUARY 29, 2020

SITE DATA	
PROPERTY OWNER:	FIVE HORIZONS, LLC 2321 BLUE RIDGE ROAD, STE 201 RALEIGH, NC 27607
SITE ADDRESS:	908 NEW BERN AVENUE
LOT SIZE: BEFORE R/W DEDICATION AFTER R/W DEDICATION	18,813 SF (0.432 AC.) 18,191 SF (0.418 AC.)
WAKE COUNTY PIN #:	1713182838
ZONING DISTRICT:	OX-3-GR
OVERLAY DISTRICT:	NCOD - NEW BERN EDENTON OVERLAY
TOTAL ACREAGE:	0.418 AC.
EXISTING USE:	ATTACHED HOUSE
PROPOSED USE:	MULTI-UNIT LIVING (APARTMENT BUILDING TYPE)
STREET CLASSIFICATION:	4-LANE AVE - PARALLEL PARKING (ONE-WAY)
STREETSCAPE REQUIRED:	GREEN FRONTAGE - COMMERCIAL 6' TREE LAWN 6' SIDEWALK (PER UDO 3.4.6.G)
STREETSCAPE PROVIDED:	+5-6' TREE LAWN (VARIES) 5-6' SIDEWALK STREET TREES LOCATED BEHIND SIDEWALK TO MEET NCDOT REQUIREMENTS
REQUIRED PARKING:	(18) TWO BEDROOM UNITS *UDO 7.1.3.C.2 - NO PARKING REQUIRED FOR FIRST 16 UNITS NET REQUIRED: 2 SPACES
PROVIDED PARKING:	18 SPACES PROVIDED (1 GARAGE SPACE PER UNIT)
BICYCLE PARKING REQUIRED:	SHORT TERM: 1 SPACE PER 20 UNITS (MIN. OF 4 SPACES)
PROVIDED:	4 SPACES
AMENITY AREA REQUIRED:	1,834 SF (10%)
PROVIDED:	3,505 SF (19.1%)
NEW BERN - EDENTON NEIGHBORHOOD (NCOD)	MIN. LOT SIZE: 4,000 SF MIN. LOT FRONTAGE: 30' FRONT SETBACK: 10' MIN., 25' MAX. SIDE YARD SETBACK: 0' BUILDING SEPARATION: MIN. 10' MAX. BUILDING HEIGHT: 35'

FEE-IN-LIEU REQUEST
THE PROJECT IS REQUESTING THE ABILITY TO
PAY A FEE-IN-LIEU FOR THE LACKING SIDEWALK
WIDTH ALONG THE EASTERN PORTION OF
FRONTAGE TO ALLOW FOR A MORE
CONSISTENT STREETSCAPE SECTION ALONG
NEW BERN AVENUE.

OWNER:
FIVE HORIZONS, LLC
2321 Blue Ridge Rd. Suite 202
Raleigh, NC 27607
919-443-0262
corey@mergecap.com

DEVELOPER:
VERDE HOMES, LLC
7427 Matthews Hill Rd.
Mint Hill, NC 28227
980-727-2015
staleyr@myvh.net

CIVIL ENGINEER:

WLD

WAKE LAND DESIGN, PLLC

NC LICENSE P-1839
PHONE: 919-889-2614
EMAIL: JASON@WAKELANDDESIGN.COM
P.O. BOX 418
CLAYTON, NC 27528

CROSS ACCESS APPLICABILITY
IN ACCORDANCE WITH UDO SEC. 8.3.5.D.5.a, THE
ADJACENT PROPERTIES ARE OCCUPIED BY
DETACHED BUILDING TYPES, AND THEREFORE
CROSS ACCESS IS NOT REQUIRED.

A-168-19 DESIGN ADJUSTMENT
THE PROJECT WAS GRANTED A DESIGN
ADJUSTMENT FOR THE SHOWN STREETSCAPE
AND STREET TREE LOCATION AS WELL AS
ELIMINATION OF THE 5' UTILITY PLACEMENT
EASEMENT.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CITY OF RALEIGH
AND NCDOT STANDARDS AND
SPECIFICATIONS.

SOLID WASTE INSPECTIONS STATEMENT
ROLL OFF TRASH AND RECYCLING
CONTAINERS SHALL BE STORED WITHIN THE
GARAGES OF EACH UNIT AND COLLECTED
BY A PRIVATE COLLECTION SERVICE.

Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY
☐ Detached ☐ Attached ☒ Apartment ☐ Townhouse	☐ General ☐ Mixed Use ☐ Open Lot	Transaction Number Assigned Project Coordinator Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION	
Development Name	908 New Bern Avenue
Zoning District	OX-3-GR
Overlay District (if applicable)	NCOD-New Bern-Edenton Overlay
Inside City Limits?	☒ Yes ☐ No
Proposed Use	Multi-Unit Living
Property Address(es)	908 New Bern Ave
Major Street Locator:	
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:	
P.I.N.	1713182838
P.I.N.	
P.I.N.	
P.I.N.	
What is your project type?	☐ Apartment ☐ Mixed Residential ☐ Duplex ☐ Other: If other, please describe:
	☐ Non-Residential Condo ☐ Telecommunication Tower ☐ Elderly Facilities ☐ School ☐ Religious Institutions ☐ Hospitals ☐ Shopping Center ☒ Residential Condo ☐ Hotels/Motels ☐ Banks ☐ Retail ☐ Office ☐ Industrial Building ☐ Cottage Court

WORK SCOPE
Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
Demolition of existing duplex, proposed apartment building type with 18 total 2 bedroom condos.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10- Alternate Administrative AE
A Design Adjustment has been submitted for ROW dedication and sidewalk width.

CLIENT/DEVELOPER/OWNER
Company Five Horizons Development Name(s) Corey Mason
Address 2321 Blue Ridge Road, Suite 202
Phone 919.398.3927 Email corey@thefivehorizons.com Fax

CONSULTANT (Contact Person for Plans)
Company Wake Land Design, PLLC Name(s) Jason Meadows, P.E.
Address P.O. Box 418 Clayton, NC 27528
Phone 919-889-2614 Email jason@wakelanddesign.com Fax

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REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) OX-3-GR	Proposed building use(s) Multi-Unit Living
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 2,226 SF
Overlay District NCOD (New Bern - Edenton)	Proposed Building(s) sq. ft. gross 26,618 SF
Total Site Acres Inside City Limits ☒ Yes ☐ No 0.42 ac.	Total sq. ft. gross (existing & proposed) 26,618 SF
Off street parking: Required 2 Provided 18	Proposed height of building(s) 35' Max.
COA (Certificate of Appropriateness) case #	# of stories 3
BOA (Board of Adjustment) case # A-	Ceiling height of 1 st floor 9'
CUD (Conditional Use District) case # Z-	

Stormwater Information	
Existing Impervious Surface 0.21 acres acres/square feet	Flood Hazard Area ☐ Yes ☒ No
Proposed Impervious Surface 0.365 acres acres/square feet	If Yes, please provide:
Neuse River Buffer ☐ Yes ☒ No	Alluvial Soils FEMA Map Panel #
Wetlands ☐ Yes ☒ No	Flood Study

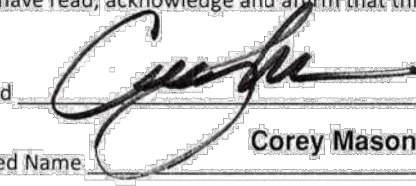
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units 18	5. Bedroom Units: 1br 2br 18 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units N/A	6. Infill Development 2.2.7 N/A
3. Total Number of Hotel Units N/A	7. Open Space (only) or Amenity 3,505 SF
4. Overall Total # Of Dwelling Units (1-6 Above) 18	8. Is your project a cottage court? ☐ Yes ☒ No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Jason G. Meadows, P.E. to serve as my agent regarding this application; to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed  Date 7/6/18

Printed Name Corey Mason, Manager

Signed _____ Date _____

Printed Name _____

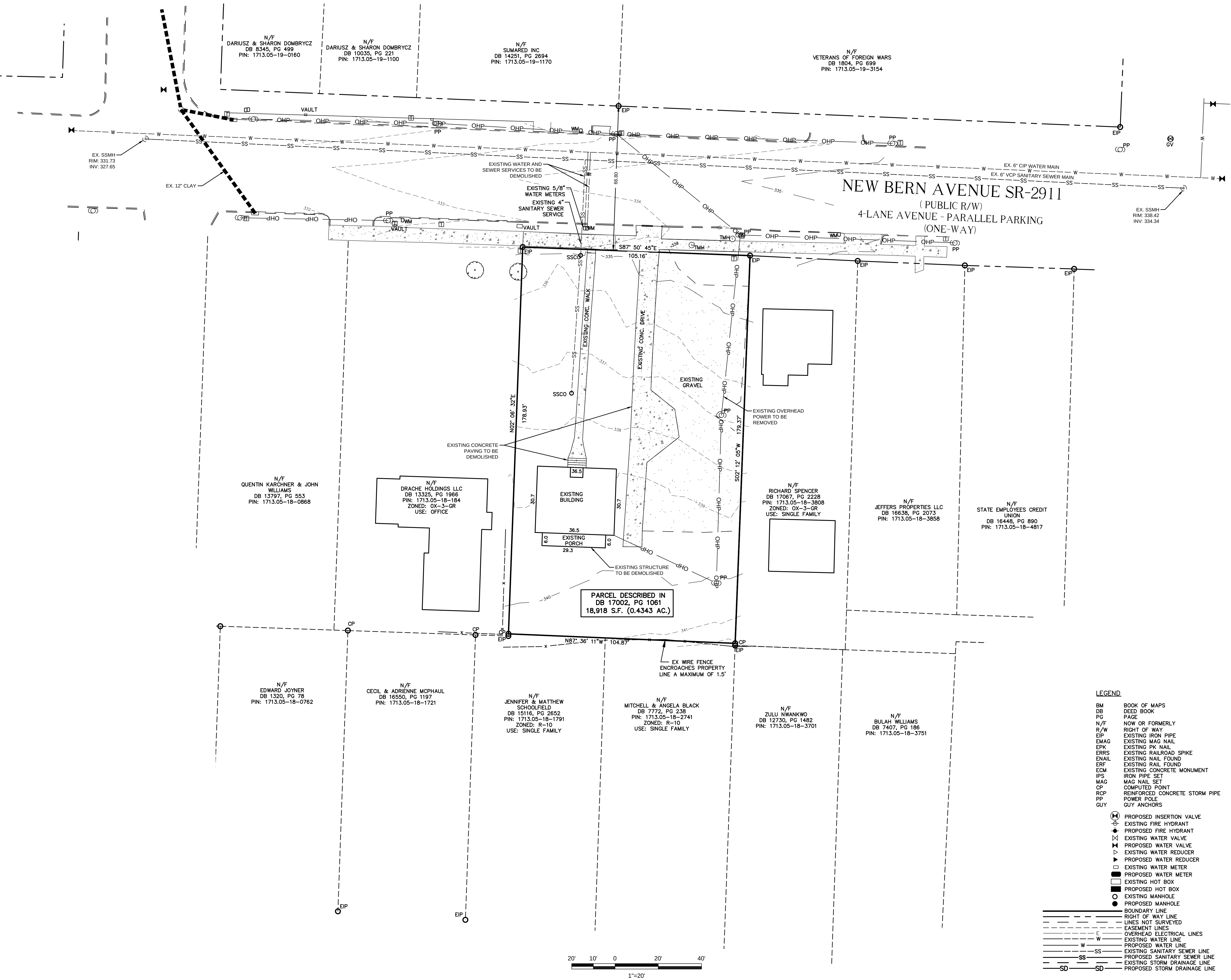
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REVISION 05.13.16

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CE-4	GRADING PLAN
CE-5	LANDSCAPING PLAN
A-1	BUILDING 1 ELEVATIONS
A-2	BUILDING 2 ELEVATIONS



LEGEND	
BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EIP	EXISTING IRON PIPE
EMAG	EXISTING MAG NAIL
EPK	EXISTING PK NAIL
ERRS	EXISTING RAILROAD SPIKE
ENAIL	EXISTING NAIL FOUND
ERF	EXISTING RAIL FOUND
ECM	EXISTING CONCRETE MONUMENT
IPS	IRON PIPE SET
MAG	MAG NAIL SET
OP	COMPUTED POINT
RCP	REINFORCED CONCRETE STORM PIPE
PP	POWER POLE
GUY	GUY ANCHORS
⊕	PROPOSED INSERTION VALVE
⊕	EXISTING FIRE HYDRANT
⬮	PROPOSED FIRE HYDRANT
⊕	EXISTING WATER VALVE
⊕	PROPOSED WATER VALVE
⊕	EXISTING WATER REDUCER
⊕	PROPOSED WATER REDUCER
⊕	EXISTING WATER METER
⊕	PROPOSED WATER METER
⊕	EXISTING HOT BOX
⊕	PROPOSED HOT BOX
⊕	EXISTING MANHOLE
⊕	PROPOSED MANHOLE
---	BOUNDARY LINE
---	RIGHT OF WAY LINE
---	LINES NOT SURVEYED
---	EASEMENT LINES
---	OVERHEAD ELECTRICAL LINES
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER LINE
---	EXISTING STORM DRAINAGE LINE
---	PROPOSED STORM DRAINAGE LINE



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Seal

Subconsultants

Client
VERDE HOMES, LLC
7427 MATTHEWS HILL RD.
MINT HILL, NC 28227

Project
908 NEW BERN CONDOS

Process
ADMINISTRATIVE SITE REVIEW

Revisions		
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	7/16/18
2	CITY OF RALEIGH COMMENTS	10/16/19
3	CITY OF RALEIGH COMMENTS	12/29/20

Approvals

Drawing Title
**EXISTING CONDITIONS
& DEMOLITION PLAN**

Sheet Number
CE-1

Date Issued 10/16/19



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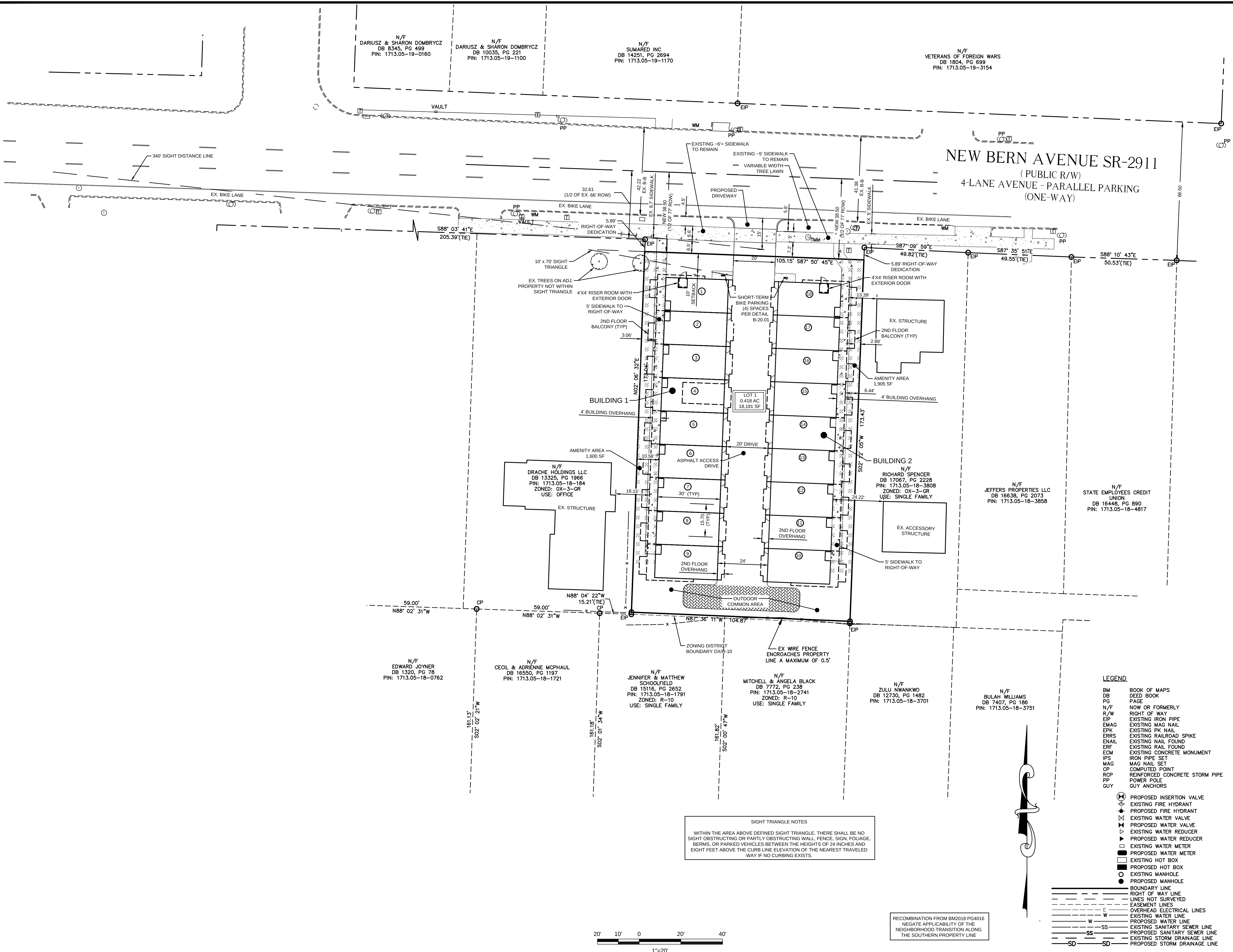
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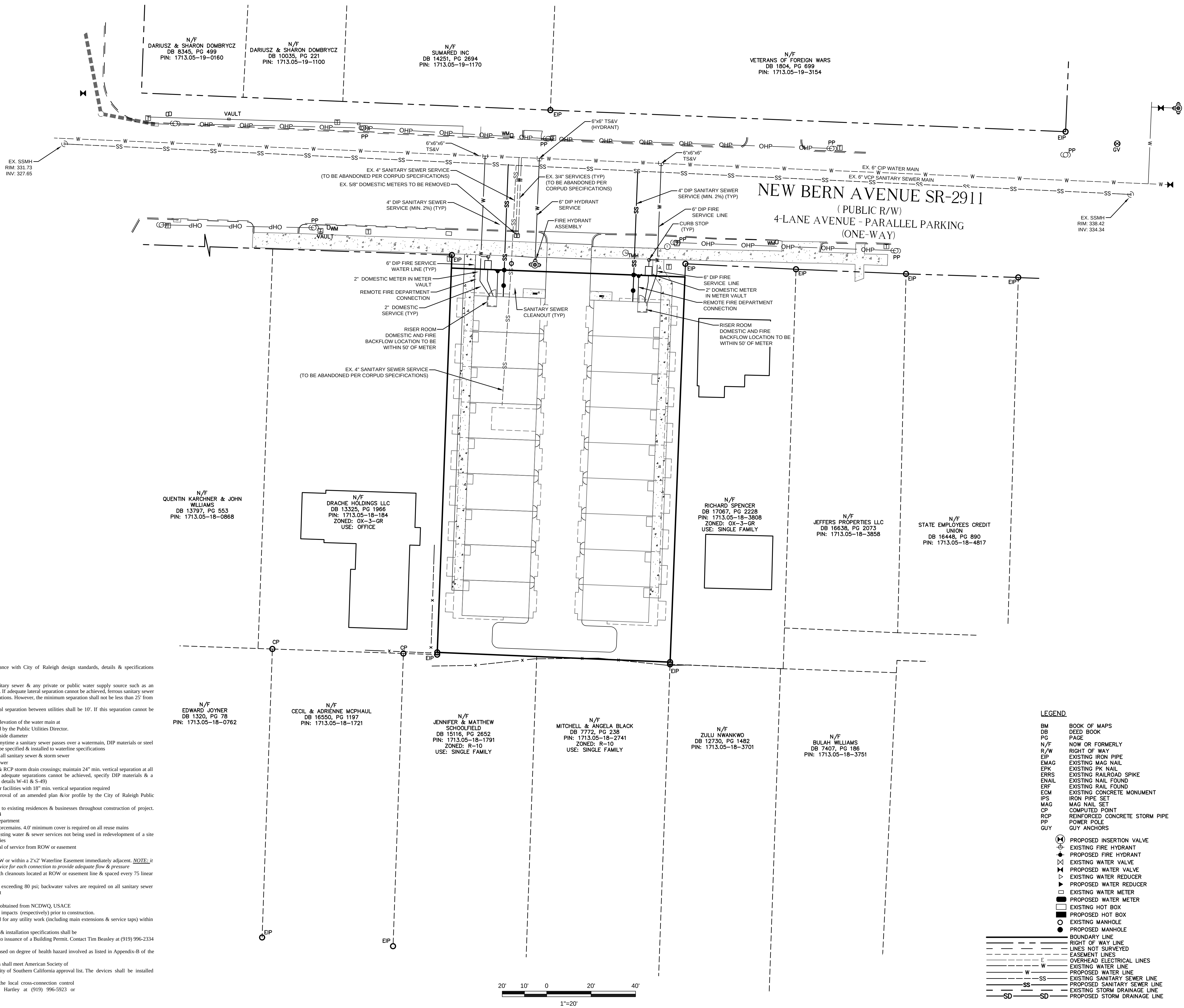
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Drawing Title
SITE PLAN

Sheet Number
CE-2

Date Issued 10/16/19





WLD

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Drawing Title

UTILITY PLAN

Sheet Number

CE-3

Date Issued 10/16/19



consultants

908 NEW BERN
CONDOS

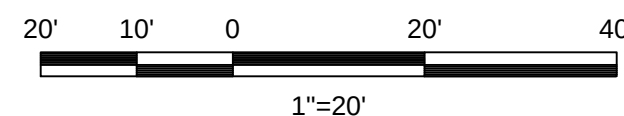
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2	CITY OF RALEIGH COMMENTS	10/16/
3	CITY OF RALEIGH COMMENTS	1/29/2/

provals

LANDSCAPING PLAN

Sheet Number
CE-5

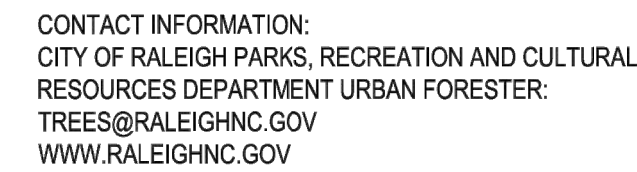
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PLANT SCHEDULE					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	ROOT	SPACING	QUANTITY
	ILLEX CORNUTA 'BURFORDI NANA' / DWARF BURFORD HOLLY 'IcB'	18" HT	3 GAL. MIN.		1.4 SHRUBS
	NYSSA SYLVATICA / BLACK GUM Ns	3" CAL/10' HT	CONT./ B&B	40' O.C.	NEW BERN AVE.. - 2 TREES

NOTE:

STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.



NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
2. ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
3. STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
4. PLANTING SEASON OCTOBER - APRIL.
5. A TREE IMPACT PERMIT IS REQUIRED.
6. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CITY OF RALEIGH
STANDARD DETAIL

REVISIONS	DATE: 8/1/18	NOT TO SCALE
	TREE PLANTING DETAIL	
	TPP-03	



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Drawing Title
**BUILDING 1
ELEVATIONS**

Sheet Number

A-1

Date Issued 10/16/19



EAST ELEVATION



WEST ELEVATION

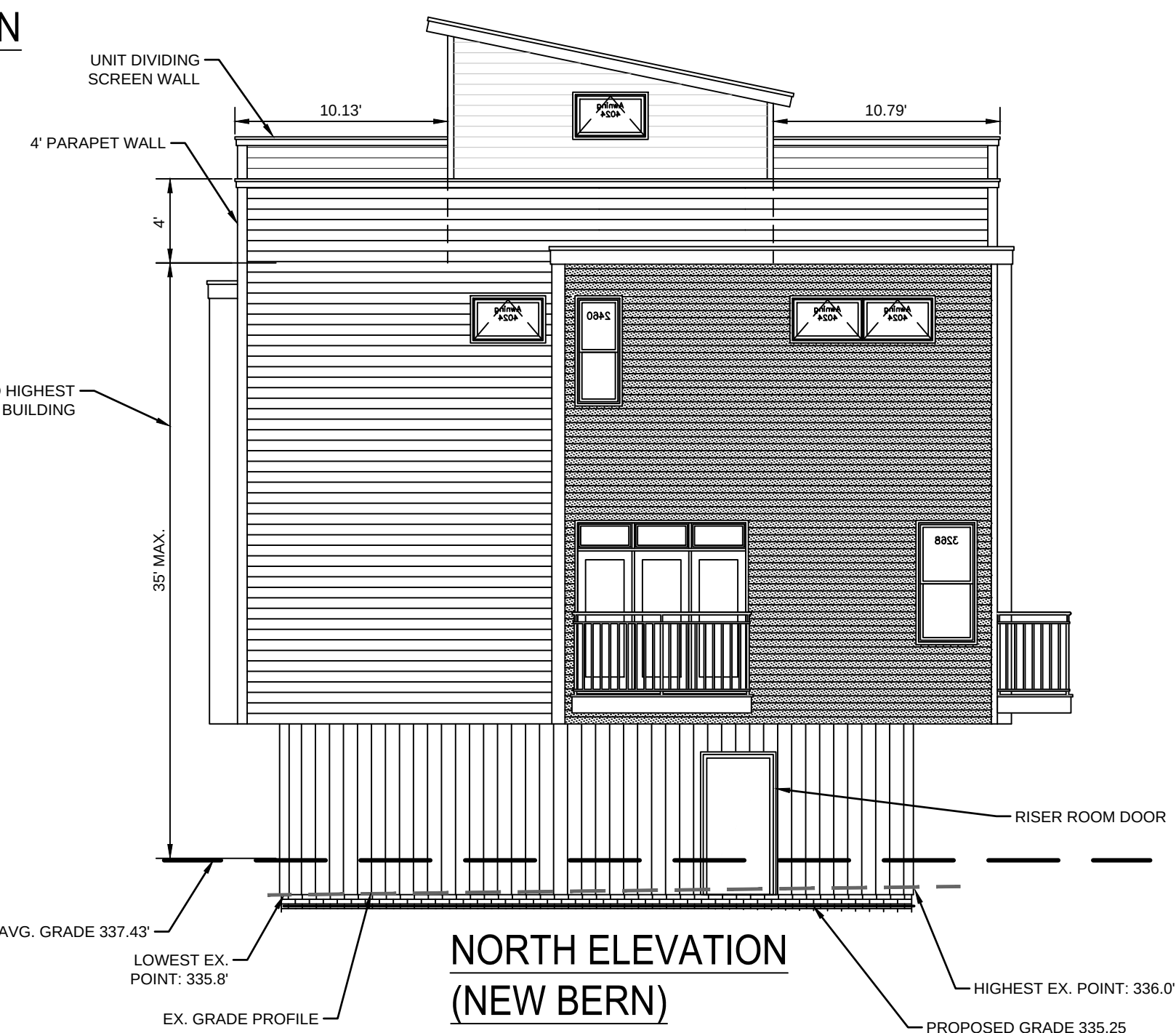
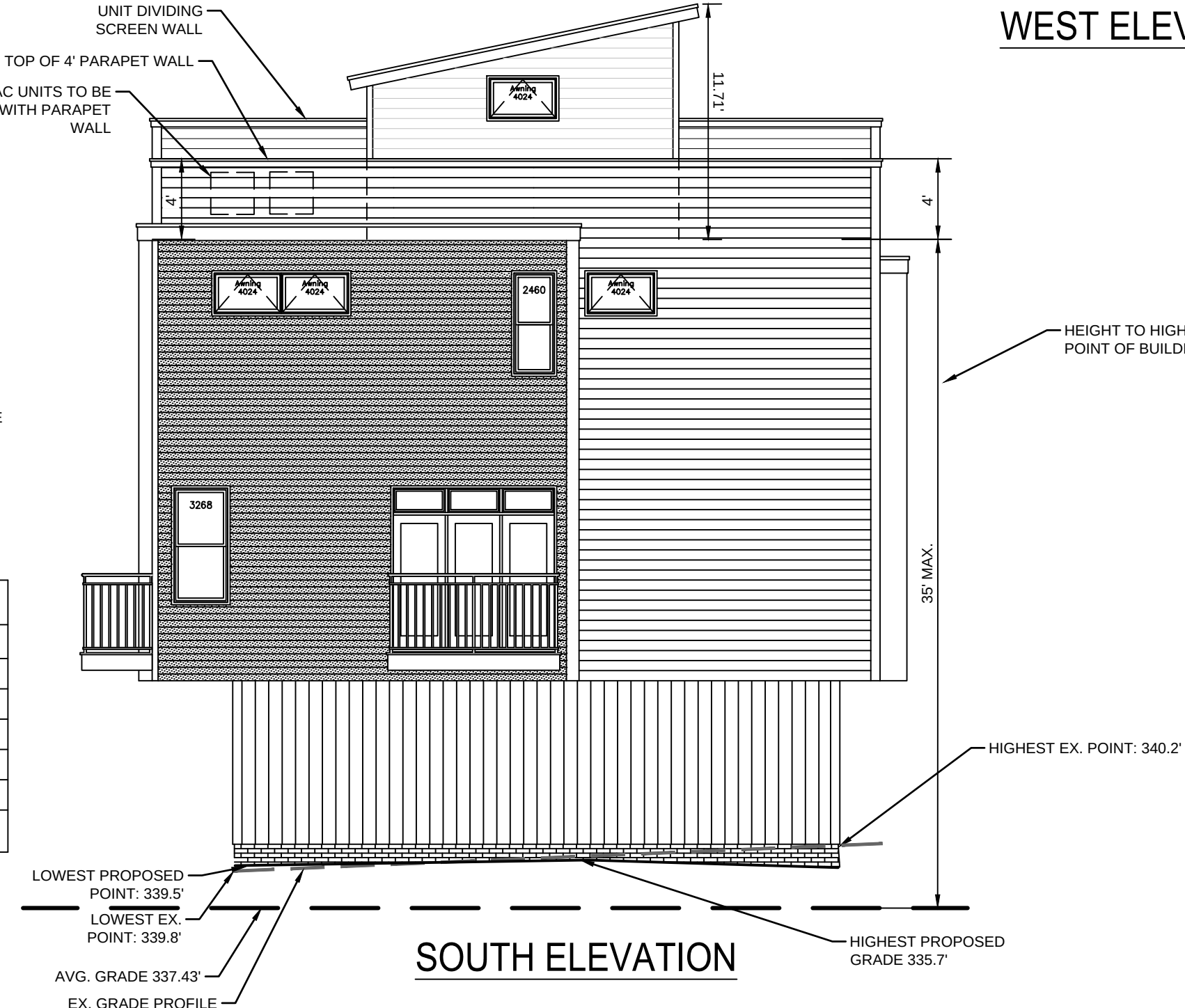
AVERAGE GRADE CALCULATION

PER SECTION 1.5.7 OF THE UDO, BUILDING HEIGHT IS MEASURED FROM THE AVERAGE GRADE TO THE TOP OF THE HIGHEST POINT OF A PITCHED OR FLAT ROOF EXCLUDING THE PARAPET.

AVERAGE GRADE IS DETERMINED BY CALCULATING THE AVERAGE OF THE HIGHEST AND LOWEST ELEVATION ALONG PRE-DEVELOPMENT GRADE OR IMPROVED GRADE (WHICHEVER IS MOST RESTRICTIVE) ALONG EACH BUILDING ELEVATION AND AVERAGING ALL ELEVATIONS.

BUILDING 1 AVERAGE GRADE CALCULATION						
BUILDING 1	EXISTING			PROPOSED		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
NORTH PLANE	336.0	335.8	335.9	335.25	335.25	335.25
EAST PLANE	340.2	335.8	338.0	339.5	335.25	337.37
SOUTH PLANE	340.2	339.8	340.0	339.7	339.5	339.6
WEST PLANE	339.8	336.0	337.9	339.5	335.25	337.37
AVERAGE OF PLANES			337.95			337.40

NOTE:
AVERAGE EXISTING CURB ELEVATION: 333.74'
MIN. REQUIRED FINISHED FLOOR: 335.74'
PROPOSED FINISHED FLOOR: 335.75'



*BUILDING ELEVATIONS, ARCHITECTURAL FEATURES, WINDOW/DOOR LOCATIONS AND SIZES, SHOULD BE CONSIDERED PRELIMINARY AND ARE SUBJECT TO CHANGE PENDING FINAL BUILDING DESIGN AND LAYOUT. FINAL BUILDING ELEVATIONS WILL ADHERE TO ALL APPLICABLE REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE. REVISIONS TO THE APPROVED ADMINISTRATIVE SITE REVIEW SHALL BE SUBJECT TO UDO 10.2.8 AS APPLICABLE.



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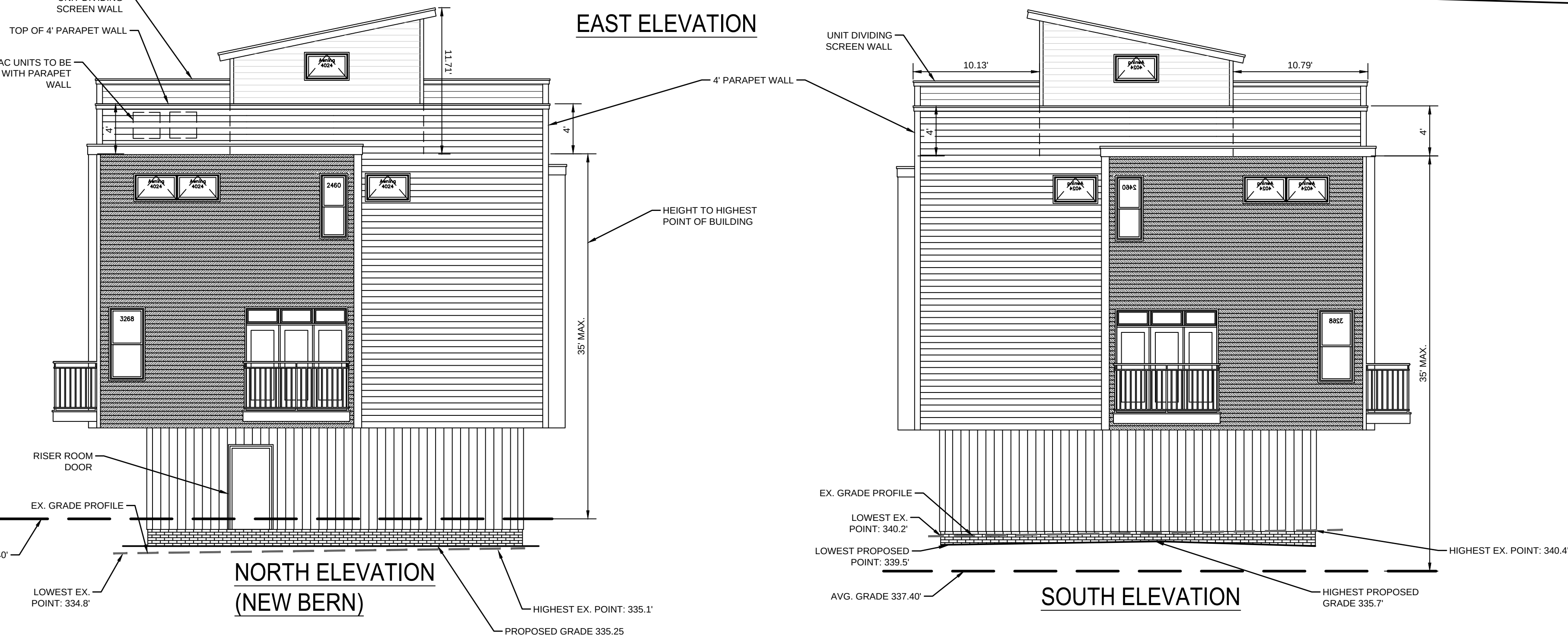
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BUILDING 2 ELEVATIONS

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A-2

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AVERAGE GRADE CALCULATION

PER SECTION 1.5.7 OF THE UDO, BUILDING HEIGHT IS MEASURED FROM THE AVERAGE GRADE TO THE TOP OF THE HIGHEST POINT OF A PITCHED OR FLAT ROOF EXCLUDING THE PARAPET.

AVERAGE GRADE IS DETERMINED BY CALCULATING THE AVERAGE OF THE HIGHEST AND LOWEST ELEVATION ALONG PRE-DEVELOPMENT GRADE OR IMPROVED GRADE (WHICHEVER IS MOST RESTRICTIVE) ALONG EACH BUILDING ELEVATION AND AVERAGING ALL ELEVATIONS.

BUILDING 2 AVERAGE GRADE CALCULATION						
BUILDING 2	EXISTING			PROPOSED		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
NORTH PLANE	335.1	334.8	334.95	335.25	335.25	335.25
EAST PLANE	340.4	334.8	340.3	339.5	335.25	337.37
SOUTH PLANE	340.4	340.2	340.3	339.7	339.5	339.6
WEST PLANE	340.2	335.1	340.3	339.5	335.25	337.37
AVERAGE OF TWO PLANES			337.62			337.40

NOTE:
AVERAGE EXISTING CURB ELEVATION: 333.74'
MIN. REQUIRED FINISHED FLOOR: 335.74'
PROPOSED FINISHED FLOOR: 335.75'