



Administrative Approval Action

Case File / Name: ASR-SR-56-2016
O'Reilly Auto Parts

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Poole Road, east of S. New Hope Rd at 811 S. New Hope Road.

REQUEST: Development of a 1.77 acre tract zoned CX-3-PK. This development plan is a revision to the originally approved site plan SR-56-2016, dated 3/21/18, revising the original building gross floor area size from 14,930 sf to a proposed 7,453 sf. The number of required parking spaces and those provided are also being reduced from 50 spaces to 35. The sunset date for this plan is unchanged.

A design adjustment waiving block perimeter requirements was previously approved for this project.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: FIL-SR-56-2016-D-1: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 29, 2020 by TIM GUILLOT.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Applicant revises sheet LS1-Elevations of the revised ASR preliminary plans set, listing the "Most Restrictive Grades" for the 'Existing' & 'Proposed' grade averages shown and identify with a note, which grade calculation set is most restrictive on SPR plans set.
2. A detail illustration & drawings for the proposed retaining walls are provided with the Site Permit Plans set review.
3. The building height information is provided and revised according to the label error listed on the coversheet, of the preliminary ASR plans set (ASR-SR-56-2016), under the Zoning Code (building height) data.
4. The transparency calculation table, on sheet LS1, is revised for the data listed beside "50% amount of glass amount required between 3'-8'." The calculation # needs to be revised by taking 50% of the glass requirement listed according that listed on sheet LS1 (352.4'ft).



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5. Applicant revises the "Average Grade Table," sheet LS1 by spot grading the 'Most Restrictive' grade along each elevation from which the building height should be dimensioned & listed on each elevation.
6. Transparency & building dimension heights are listed along the 'West Elevation' building illustration, according to Sec.1.5.9, across the building facade.
7. The "building height calculation" tables shown for each elevation building plane, per sheet LS1, is revised & amended according to the "Most Restrictive Grade" with respect to building height and the applicant removes the table information data for the grade set calculations which aren't overall most restrictive.
8. Applicant dimensions on each building facade elevations, the floor-to-floor heights from finished floor grade, on each elevation illustration in addition to the overall building height from most restrictive grade.
9. Applicant adds the transparency note text in Sec.1.5.9.B.4 to the elevations sheet LS1 on SPR plans set.

Stormwater

10. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
11. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
12. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A fee-in-lieu for 1-ft of sidewalk width along the length of frontage shall be paid to the City of Raleigh (UDO 8.1.10).
2. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
3. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.

Stormwater



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4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

The following are required prior to issuance of building occupancy permit:

General

1. All street lights and street signs required as part of the development approval are installed. And vehicular landscaping planting requirements are met per Sec.7.1.7 & UDO Sec.7.1.7.G.

Stormwater

2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

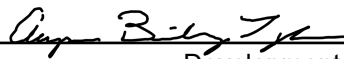
3-Year Expiration Date: March 21, 2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 07/08/2020
Development Services Dir/Designee

Staff Coordinator: Ryan Boivin

O'Reilly AUTO PARTS

New O'Reilly Auto Parts Store SOUTH NEW HOPE ROAD RALEIGH, NC #4

OWNER OR TENANT



O'REILLY AUTOMOTIVE STORES, INC.
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-592-2974 PHONE

EDGING INFORMATION:
REFER TO OWNERS WEBSITE
HTTP://WWW.O'REILLY.COM/COB.COM

NOTE: RETURN TO CURRENT PROJECTS UNIT, LOCATED AT BOTTOM OF SIDE IN PAGE, FOR NOTED GENERAL CONTRACTORS.

ALL SUB-CONTRACTOR BIDS TO BE SUBMITTED TO:
BY MAIL ADDRESS: CONTRACT UNIT

CONTACT OWNER FOR DESIGNATED REPRESENTATIVE FOR ADDITIONAL PROJECT INFORMATION.

ZONING CODE

ZONING CLASSIFICATION: CX-3-PK
PROPERTY AREA, GRCS: 70,960 S.F.
NET: 70,960 S.F.
BUILDING HEIGHT: 70,960 S.F.

PARKING SUMMARY: 1 SF PER 300 GFA
PARKING FORMULA: 9' x 16'
SPACE SIZE: 24' x 26'
SPACES REQUIRED: 59
H.C. SPACES PROVIDED: 2
BICYCLE PARKING REQUIRED: 4
BICYCLE PARKING PROVIDED: 6

SHEET INDEX

SHEET NUMBER	SHEET NAME
CT1	COMMERCIAL PLAN REVIEW COVER SHEET
SV1	SITE SURVEY (FOR REFERENCE ONLY)
D1.1	SITE DEMOLITION PLAN
C1.1	SITE GRADING PLAN
C1.2	SITE STORMWATER PLAN
C1.3	SITE GRADING DETAILS
C1.4	SITE DISTANCE EXHIBITS
C1.5	SEDIMENT AND EROSION CONTROL PLAN - PHASE 1
C1.6	SEDIMENT AND EROSION CONTROL PLAN - PHASE 2
C1.7	NPDES STABILIZATION PLAN
C1.8	SEDIMENT AND EROSION CONTROL DETAILS
C2.1	SITE DEVELOPMENT PLAN
C2.2	SITE DEVELOPMENT DETAILS
C2.3	SITE DEVELOPMENT DETAILS
C3.1	CITY STANDARD DETAILS
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE DETAILS
L2.1	LANDSCAPE IRRIGATION PLAN
IS.3	FOUNDATION DETAILS
AT.1	FLOOR PLAN
LS1	LINE OF SIGHT DETAIL
US1	UTILITIES SITE PLAN
US2	UTILITIES SITE DETAILS
US3	UTILITIES SITE DETAILS
SE1	SITE ELECTRICAL PLAN
SP1	SITE LIGHTING PHOTO-METRICS
SP2	SITE LIGHTING DETAILS

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Edwards Plaza, Suite 400 • Raleigh, NC 27601 • (919) 999-3400



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 13.2.8. Please check the appropriate building type and include the plan checklist document when submitting.

Office Use Only: Transaction #:		Planning Coordinator:	
Building Type:		Site Transaction History:	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision transaction #:	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: 48800	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Civic	Certificate of Appropriateness #:	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #:	
		Administrative Alteration #:	

GENERAL INFORMATION

Development name: New O'Reilly Auto Parts Store

Is this a City project? ☒ Yes ☐ No

Property address: 811 S. New Hope Road

Site P.U.N. (U): 1720007229

Please describe the scope of work, include any additions, expansions, and change of use. Construction of a new 7,453 sq. ft. building for the retail sale of auto parts and accessories along with parking, landscape, storm water facilities and other site improvements.

Current Property Owner/Developer Contact Name:
NOTE: please attach purchase agreement when submitting this form.

Company: O'Reilly Automotive Stores, Inc. Title:

Address: 233 S. Patterson Springfield, NC 28802

Phone #: (417) 882-0974 Email: jginner101@oreillyauto.com

Applicant Name: Tim Gullik

Company: Craig A. Schneider - Architect Address: 1730 E. Sunshine, Ste 417 Springfield, MO 65804

Phone #: (417) 882-0358 Email: eas@schneiderinc.com

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-3-PK	Existing gross floor area (not to be demolished): 0 sq. ft.
Gross site acreage: 1.767	Existing gross floor area to be demolished: 0 sq. ft.
# of parking spaces required: 25	New gross floor area: 7,453 sq. ft.
# of parking spaces proposed: 35	Total of gross floor area to be demolished: 0 sq. ft.
Overly District (if applicable):	Proposed # of buildings: 1
Existing use (UDO 5.1.4): Vacant	Proposed # of stories for each: 1
Proposed use (UDO 5.1.4): Retail Sales	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.00 Square Feet: 1,307	Proposed Impervious Surface: Acres: 0.11 Square Feet: 31,047
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Flood elevation: FEMA Map Panel #:	
Use any Flood Zone: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 100	# of hotel units: 0
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan (if the property owner), I/we do hereby agree and bind ourselves, our heirs, executors, administrators, successors, and assigns (jointly and severally) to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby declare that I am the owner of the property and I am submitting this application to receive a final response to administrative comments, to resubmit plans on my behalf, and to provide me in any public meeting regarding this application.	
I have read, acknowledged, and affirm that this project is conforming to all application requirements applicable with the proposed development site. I acknowledge that this application is subject to the final decision of a final decision, which shall expire after 180 days of inactivity.	
Signature: _____	DATE: 5/1/20
Printed Name: _____	

Release for ASR mission request:
The previously proposed site building is no longer needed. O'Reilly decided to reduce to an approximate 30%. This reduction allowed us to provide all landscape and parking requirements per the City of Raleigh Ordinance.

SITE WILL HAVE A PRIVATE SOLID WASTE CONTRACTOR. CITY OF RALEIGH WILL NOT PROVIDE SERVICE FOR THIS LOCATION.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

CASE FILE:
ASR-SR-56-2016 REVISION
TRANSACTION #481703

CRAIG A. SCHNEIDER, AIA
ARCHITECT

PROJECT:
NEW O'REILLY AUTO PARTS STORE
SOUTH NEW HOPE ROAD
RALEIGH, NC #4
COVER SHEET

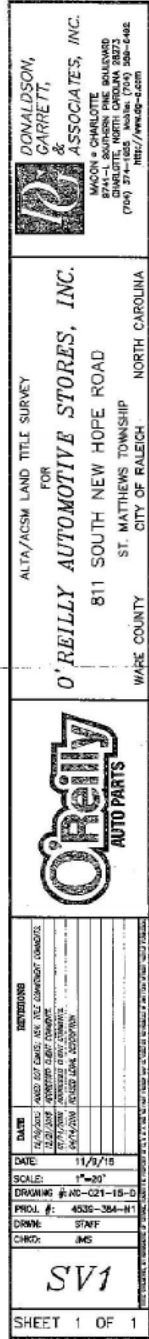
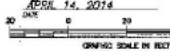
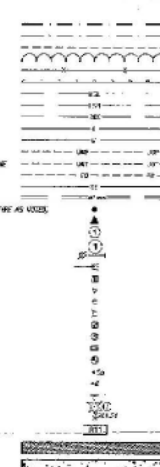
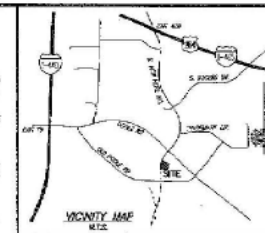
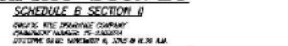
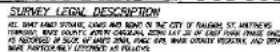
O'Reilly AUTO PARTS
CORPORATE OFFICES
SPRINGFIELD, MISSOURI 65802
(417) 882-2974 TELEPHONE

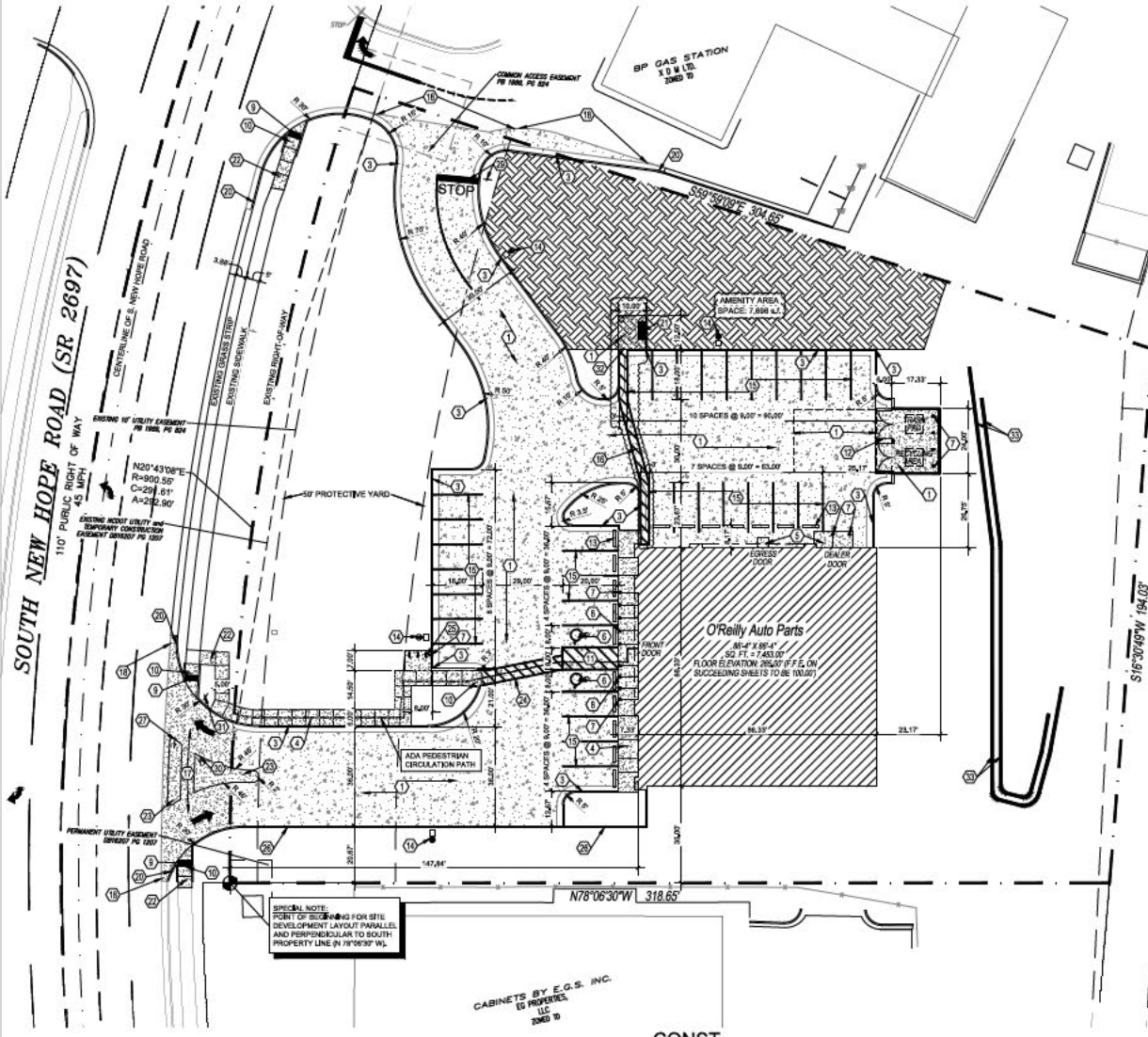
COPIES # 485
DATE: 5-2-20
REVISION: 6-18-17
DWG #: 1-26-17
2-2-18
6-15-19
2-2-20
5-20-20

CT1.1

Raleigh
Jermont Purifoy

Digitally signed by
Jermont Purifoy
Reason: I am approving this document
Date: 2020.07.02
14:08:26-04'00'





1 SITE DEVELOPMENT PLAN

CS.1 SCALE: 1" = 20'-0"

STORAGE HAS BEEN OBTAINED FROM THIS PLAN. STORAGE SHALL BE REMOVED AND PERMITTED SEPARATELY.

SPECIAL NOTE: POINT OF BEGINNING FOR SITE DEVELOPMENT LAYOUT PARALLEL AND PERPENDICULAR TO SOUTH PROPERTY LINE (N 78°09'37" W).



CONST.

CAUTION: INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF.



GENERAL NOTES

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON-SITE CONCRETE TO BE 4,000 PSI.
- SEE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB, GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE BEAN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

KEY NOTES

- CONCRETE PAVING (STANDARD DUTY) AT PARKING AREAS, (HEAVY DUTY) AT DRIVE AREAS, DRIVE APRONS, FIRE LANES, AND REFUSE AREA. REFER TO DETAIL 10022.
- NOT USED.
- CONCRETE CURB. REFER TO DETAIL 10022.
- CONCRETE SIDEWALK. REFER TO DETAIL 10022. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF CONTROL AND EXPANSION JOINTS ADJACENT TO BUILDING PERIMETER.
- CONCRETE DOOR LANDING. REFER TO DETAIL 10022 AND STRUCTURAL DRAWINGS. LANDING MAY BE POURED MONOLITHIC WITH PAVING IF CONCRETE PAVING IS PROVIDED.
- ACCESSIBLE PARKING SYMBOL. PAVEMENT STRIPING. REFER TO DETAIL 10022.
- STEEL BOLLARD. REFER TO DETAIL 10022. PROVIDE (4) AT REFUSE CONTAINER AREA, (2) AT SECTIONS, OVERHEAD FREIGHT DOOR, AND (1) FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF BOLLARDS ADJACENT TO BUILDING PERIMETER.
- ACCESSIBLE PARKING SIGN. REFER TO DETAIL 10022.
- DETECTABLE WARNING SURFACE. REFER TO DETAIL 10022.
- ACCESSIBLE CONCRETE CURB RAMP TO BE INSTALLED PER CITY AND / OR STATE DESIGN STANDARDS. IF NO STANDARDS PROVIDE CONCRETE CONSTRUCTION PER DETAIL 10022.
- ACCESSIBLE PARKING SPACE WITH ACCESSIBLE ADA COMPLIANT TO BE 2% MAXIMUM IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- REFUSE ENCLOSURE. REFER TO 10022.
- CONCRETE BUMPER BLOCK (8" W X 8" H X 6'0" LONG) ANCHORED TO PAVING WITH (2) 1/4" LONG 6 BAR.
- PARKING LOT LIGHTING. REFER TO SITE UTILITY PLAN FOR TYPE AND CONSTRUCTION.
- 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- 3" WIDE MINIMUM DESIGNATED ACCESSIBLE ROUTE. SLOPE 3% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE. PROVIDE PAVEMENT STRIPING AS INDICATED.
- CONCRETE DRIVE APRON TO BE INSTALLED PER CITY AND / OR STATE DESIGN STANDARDS. IF NO STANDARDS PROVIDE CONCRETE CONSTRUCTION PER DETAIL 10022.
- LIMITS OF NEW PAVING MATCH EXISTING PAVEMENT TRANSITION ELEVATIONS. AT TRANSITIONS OF NEW CONCRETE TO EXISTING CONCRETE PAVEMENT, EXIST DOWEL IF MINIMUM 8" BY 8" STRIPING WITH 8" X 1/4" SMOOTH DOWELS MATCHING NEW PAVEMENT REINFORCEMENT SPACING. PROVIDE SEALANT AT JOINTS.
- ROLL DOWN CURB END TRANSITION SLOPING 1:2.
- CONCRETE CURB IN RIGHT-OF-WAY TO MATCH EXISTING PER CITY AND / OR STATE DESIGN STANDARDS.
- PROVIDE AND INSTALL BRUSHBACK BENCH FLAT BAR SEAT PAN, 6'0" IN LENGTH, SURFACE MOUNT, TOP: POWDER COATED COLOR TO MATCH EVERGREEN, PRODUCT CODE: 8888-FB-6-SM-V.
- CONCRETE SIDEWALK IN RIGHT-OF-WAY TO BE INSTALLED PER CITY AND / OR STATE DESIGN STANDARDS. IF NO STANDARDS PROVIDE CONCRETE CONSTRUCTION PER DETAIL 10022.
- IF RAISED CONCRETE ISLAND. REFER TO OWN PLANS FOR ADDITIONAL INFORMATION.
- 6'0" WIDE STRIPED SIDEWALK PATH. PROVIDE 4" STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- BIKEWAY PARKING. EQUAL TO COLUMBIA CASCADE 2175-3-G, POWDER COATED COLOR TO BE EVERGREEN. REFER TO 110022.
- CONCRETE RETAINING WALL AND GUARDRAIL. CONCRETE RETAINING WALL ADJACENT TO BUILDING. REFER TO STRUCTURAL AND ELEVATIONS FOR MORE INFORMATION. PARKING LOT SIDE OF WALL TO BE POURED WITH FORM LINER EQUAL TO HERRICK FURNITURES PATTERN 18871 (SPRITZED GROUT WITH BUNGE BOND GUARDRAIL TO BE 1 1/2" DIA. STD. STEEL PIPE. PROVIDE POST AT 9'0" O.C. MAX).
- POLE MOUNTED "DO NOT ENTER" SIGN. INSTALL PER CITY/STATE REQUIREMENTS.
- NOT USED.
- STANDARD STOP BAR AND POLE MOUNTED "STOP" SIGN. INSTALL PER CITY/STATE REQUIREMENTS.
- POLE MOUNTED "NO LEFT TURN" SIGN. INSTALL PER CITY/STATE REQUIREMENTS.
- POLE MOUNTED "STOP" SIGN. INSTALL PER CITY/STATE REQUIREMENTS.
- AMENITY AREA ACCESS. ROLL DOWN CURB AT 1:1 AND PROVIDE A 36" CURB OPENING.
- SEQUENTIAL RETAINING WALL. REFER TO SITE GRADING PLAN.



ZONING CODE

ZONING CLASSIFICATION: C-3 (PARKWAY OVERLAY)	
PROPERTY AREA: (REFER TO SURVEY)	
SPACE REQ: 22,415 SQ. FT.	
PARKING SUMMARY: 1 SP. PER 300 SQ. FT. GFA	
PARKING FORMULA: 9' x 18'	
SPACES REQUIRED: 25	
SPACES PROVIDED: 35	
H.C. SPACES PROVIDED: 2	
BIKE SPACES REQUIRED: 4	
BIKE SPACES PROVIDED: 6	

SYMBOLS LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONCRETIONS SYMBOLS	
	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AMENITY AREA
	NEW CONCRETE PAVING BLOCK
	NEW LIGHT POLE LOCATION
	NEW MASONRY WALL CONSTRUCTION

SITE DATA:

TOTAL SITE AREA:	71,980 S.F.
AMENITY AREA REQUIRED:	100' x 7,250 S.F.
AMENITY AREA PROVIDED:	(7,000 S.F.)

SWS NOTES:

- PER THE SOLID WASTE COLLECTION DESIGN MANUAL, DUMPSTER AND CARDBOARD RECYCLING CARDBOARD MUST HAVE A CAPACITY OF 8 CUBIC YARDS.
- PAVEMENT IN COLLECTION DEVICE PADS MUST BE A CONSTRUCTED OF REINFORCED PAVING MATERIAL, ABLE TO WITHSTAND 50,000 LB. LOAD, AREAS 30' IN FRONT OF THE PADS SHOULD ALSO BE REINFORCED TO A PAVEMENT STRENGTH THAT WILL WITHSTAND THE PRESSURES OF A 25 TON COLLECTION VEHICLE, IF SUB-BASE AND IF REINFORCED CONCRETE.

CRAG A. SCHNEIDER, AIA
ARCHITECT
1730 EAST HARRISON, SUITE 417
SPRINGFIELD, MASSACHUSETTS 01104
417.862.8558
FAX: 417.862.2555
e-mail: architect@cragschneider.com

PROJECT: **NEW O'REILLY AUTO PARTS STORE**
SOUTH NEW HOPE ROAD
RALEIGH, NC #4
SITE DEVELOPMENT PLAN

O'Reilly AUTO PARTS
CORPORATE OFFICES
333 SOUTH PATTERSON
DURHAM, NC 27602
(417) 862-8574 TELEPHONE

COMM #	3885
DATE:	2-4-18
REVISION	
DATE:	10-4-18
DATE:	11-4-18
DATE:	11-28-18
DATE:	3-31-17
DATE:	6-18-17
DATE:	11-28-17
DATE:	2-2-18
DATE:	2-15-18

