



Administrative Approval Action

Case File / Name: ASR-SR-7-2019
Palisades 3 & 4

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located inside the city limits on the southwest corner of the intersection of Trinity Road and Nowell Road at 5401 Trinity Road.

REQUEST: Development of a 5.62 acre site zoned OX-7-PL CU, and OX-7-PK CU (rezoning case Z-16-18) into a 172,235 square foot office building and associated parking including a parking deck of 154,095 square feet size.

An Administrative Alternate has been approved by the Planning Director for this project, as noted below. (AAD-17-19)

Approval of an amenity area to supplement the Build To requirement along Nowell Road. (1.5.6). Also approval of a non street facing entrance for pedestrian access. (1.5.8)

A Design Adjustment has been approved by the Board of Adjustment for this project, as noted below. (A-153-19)

Partial relief from the block perimeter requirement. (8.3.2 A)

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: SPR-0072-2020: DSLC - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated November 15, 2019 by SEPI Engineering and Construction.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
7. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☒ Cross Access Agreements Required

☒ Utility Placement Easement Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. An offer of cross access agreement from the subject parcel PIN 0774963627 to the adjacent parcel PIN 0774864380 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

Stormwater

4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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Urban Forestry

5. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Comply with all conditions of Z-16-18.

Engineering

2. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

4. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

Stormwater

1. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).



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Urban Forestry

2. Final inspection of all tree conservation areas by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

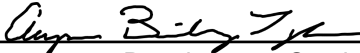
3-Year Expiration Date: February 18, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 02/19/2020
Development Services Dir/Designee

Staff Coordinator: Michael Walters

PALISADES 3

5401 TRINITY ROAD | RALEIGH, NC

ADMINISTRATIVE SITE REVIEW

ASR-SR-7-19 | TRANSACTION # 584215

6th Submittal: January 30, 2020

PROJECT TEAM

OWNER/DEVELOPER

KEYSTONE - PALISADES III, LLC
FORMERLY KNOWN AS:
KEYSTONE - TRINITY ROAD LLC
5410 Trinity Road, Suite 215
Raleigh, NC 27607

Michael Blount, President
Keystone Corporation
919.747.7912
mblount@kscdevelop.com

ARCHITECT

HAGERSMITH DESIGN, P.A.
300 S. Dawson Street
Raleigh, NC 27601

Bryan Gibson, AIA
919.821.5547
BGibson@hagersmith.com

LANDSCAPE ARCHITECT / SURVEYOR / ENGINEER

SEPI ENGINEERING &
CONSTRUCTION, INC.
1 Glenwood Avenue, Suite 600
Raleigh, NC 27603
919.789.9977

Landscape Architect:
Jeff Westmoreland, PLA
jwestmoreland@sepiinc.com

Civil Engineer:
Marty Hebrank, P.E.
mhebrank@sepiinc.com

Traffic Engineer:
Lisa Lundeen, P.E.
llundeen@sepiinc.com

Surveyor:
Henry Fitts, P.L.S.
hfitts@sepiinc.com

RIGHT OF WAY OBSTRUCTION NOTES:

- LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK. RIGHTOFWAYSERVICES@RALEIGHNC.GOV FOR APPROVAL.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

ACCESSIBILITY NOTES:

- PROVIDE A MAXIMUM OF 2% OF CROSS SLOPE AND A MAXIMUM OF 5% IN THE DIRECTION OF TRAVEL ON ALL ACCESSIBLE ROUTES, EXCEPT ON RAMPS.
- GROUND SURFACES ALONG ACCESSIBLE ROUTES TO BE STABLE, FIRM, AND SLIP RESISTANT WITH DIRECT CHANGES IN LEVEL OF 1/4" MAXIMUM AND BEVELED CHANGES IN LEVEL OF 1/2" MAXIMUM WITH A BEVELED SLOPE NO GREATER THAN 1:2.
- ACCESSIBLE ROUTES EXCEEDING 5% IN GRADE IN THE DIRECTION OF TRAVEL ARE NOTED ON THE PLANS AS "RAMPS". PROVIDE HANDRAILS AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH FFHA STANDARDS.

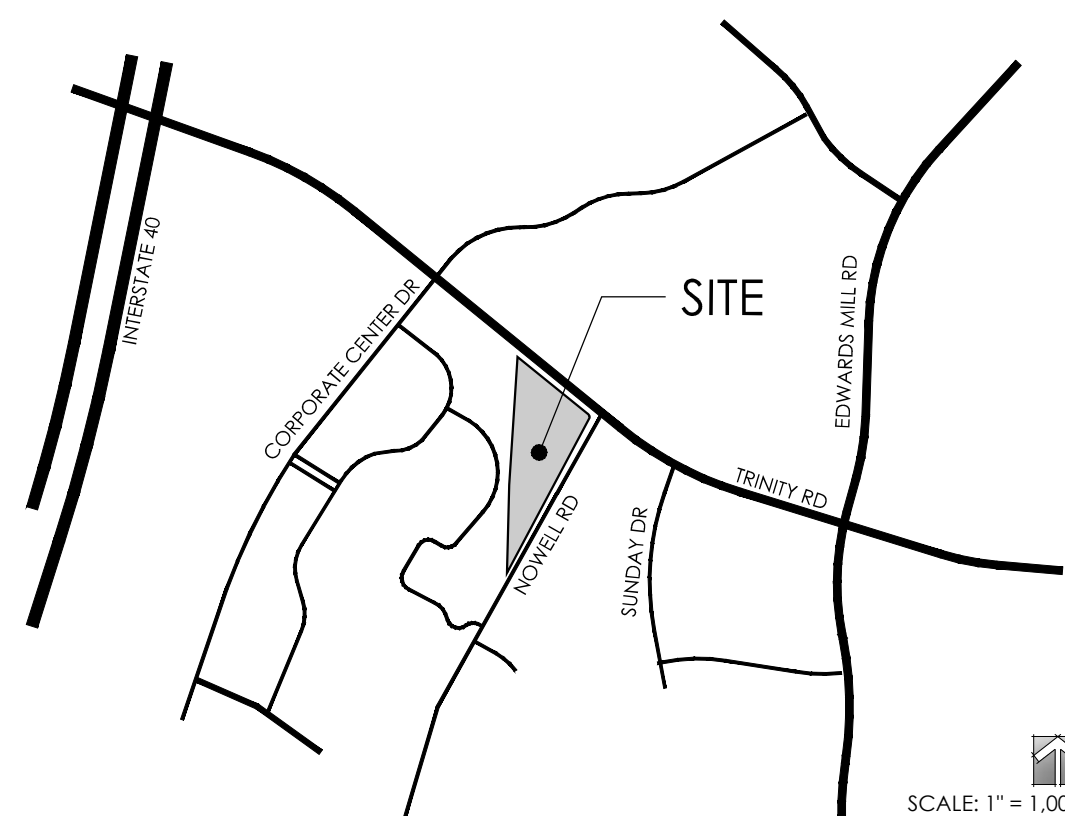
SOLID WASTE SERVICES STATEMENT:

- THIS DEVELOPMENT PROPOSES USE OF A PRIVATE VENDOR FOR SOLID WASTE SERVICE.

GENERAL NOTES:

- UNLESS EXPLICITLY SPECIFIED ON THIS SITE PLAN, THIS PROJECT SHALL COMPLY WITH THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) AND ALL OTHER APPLICABLE REGULATIONS AND GUIDELINES. IN THE EVENT OF A DISCREPANCY BETWEEN THIS APPROVED PLAN AND THE APPLICABLE REGULATIONS OR GUIDELINES, THE MORE STRINGENT SHALL APPLY.
- CONTRACTOR SHALL HAVE A CURRENT COPY OF CITY OF RALEIGH STANDARD DETAILS AND SPECIFICATIONS ON SITE.
- CONTRACTOR TO OBTAIN COPIES OF ALL PERMITS PRIOR TO CONSTRUCTION, COMPLY WITH ALL REQUIREMENTS LISTED THEREIN, AND COORDINATE AND OBTAIN ALL INSPECTIONS.
- ERECT AND MAINTAIN TREE PROTECTION FENCING AROUND ALL TREE CONSERVATION AREAS.
- ALL ACTIVITIES SHALL COMPLY AT A MINIMUM WITH ALL STATE AND FEDERAL REGULATIONS, AS WELL AS THE APPROPRIATE COUNTY HEALTH DEPARTMENT REGULATIONS, AND CITY AND COUNTY FIRE DEPARTMENT REGULATION FOR HAZARDOUS MATERIALS AND WASTES.
- ALL WORK SHALL BE STAKED BY A LICENSED NC LAND SURVEYOR.
- CONTRACTOR SHALL COORDINATE SITE PLAN AND INFRASTRUCTURE CONSTRUCTION PLANS PRIOR TO CONSTRUCTION. NOTIFY CIVIL ENGINEER OF ANY DISCREPANCIES IN ORDER TO PROVIDE A SOLUTION PRIOR TO BEGINNING CONSTRUCTION.
- PROTECTION OF EXISTING VEGETATION:
AT THE START OF GRADING INVOLVING THE LOWERING OF EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE CONSERVATION AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA.
- BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A FIELD SURVEY PREPARED BY SEPI ENGINEERING & CONSTRUCTION DATED AUGUST 3, 2018. ADDITIONAL INFORMATION OBTAINED FROM A MAP OF CORRECTION PREPARED BY JOHN A. EDWARDS & COMPANY DATED MARCH 8, 2018 AND RECORDED IN B.M. 2018 PG. 544, WAKE COUNTY REGISTRY, AND WAKE COUNTY GIS.
- TOPOGRAPHICAL INFORMATION GATHERED UNDER THE SUPERVISION OF SEPI ENGINEERING & CONSTRUCTION, INC.
- ALL DRIVEWAY AND ENCROACHMENT AGREEMENTS WILL BE ISSUED BY THE NCDOT DISTRICT OFFICE. THESE MUST BE APPROVED AND COPIES PROVIDED PRIOR TO CONCURRENT APPROVAL.
- ONCE ALL TREE CONSERVATION AREAS HAVE BEEN DETERMINED AND A TREE CONSERVATION PERMIT HAS BEEN OBTAINED, AND PRIOR TO OR CONCURRENT TO ANY SUBDIVIDING OF THE PROPERTY AND PRIOR TO ISSUANCE OF A BUILDING PERMIT, THE LANDOWNERS SHALL RECORD WITH THE LOCAL COUNTY REGISTER OF DEEDS THE FOLLOWING:
 - A PLAT WITH METES AND BOUNDS DESCRIPTIONS OF ALL TREE CONSERVATION AREAS;
 - AN EASEMENT THAT ALLOWS CURRENT AND FUTURE LOT OWNERS ACCESS TO OTHERWISE INACCESSIBLE TREE CONSERVATION AREAS TO PERFORM TREE MAINTENANCE ACTIVITIES INCLUDING REQUIRED REPLACEMENT PLANTINGS;
 - A HOMEOWNERS' ASSOCIATION DECLARATION PREPARED IN CONFORMITY WITH N.C. GEN. STAT., CHAPTER 47F FOR THE MAINTENANCE AND PROTECTION OF THE TREES WITHIN RECORDED TREE CONSERVATION AREAS.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTORS AS NEEDED DURING CONSTRUCTION.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN OR PARKED VEHICLE.
- UNLESS NOTED OTHERWISE, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE.
- WHEELCHAIR ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS, ANSI STANDARDS, AND ADAAG SPECIFICATIONS.

VICINITY MAP



ZONING CONDITIONS (Z-16-18)

- RESIDENTIAL AND HOTEL USES SHALL NOT BE PERMITTED.
- A MAXIMUM OF 250,000 SQUARE FEET OF GROSS FLOOR AREA MAY BE DEVELOPED ON THE PROPERTY.
- THE EXTERIOR OF THE BUILDING(S) ON THE PROPERTY, EXCLUSIVE OF ROOF, DOORS, AND TRIM SHALL BE COMPRISED OF AT LEAST SIXTY PERCENT (60%) GLASS, BRICK, STONE, MASONRY AND/OR HARDPLANK OR SIMILAR CEMENTITIOUS MATERIAL. NO EIFS OR VINYL SIDING SHALL BE PERMITTED TO BE USED ON THE EXTERIOR OF ANY BUILDING ON THE PROPERTY.
SEE ARCHITECTURAL SHEETS FOR BUILDING MATERIALS AND PERCENTAGES.
- NO MEDIUM OR HIGH PROFILE GROUND SIGNS SHALL BE PERMITTED IN AREA 1 (REZONED TO OX-7-PK-CU) AS DESCRIBED ON EXHIBIT B (AS ATTACHED TO ORIGINAL ORDINANCE).

ADMINISTRATIVE ALTERNATE (AAD-17-19)

Administrative Alternates for following UDO Sections were approved 10/08/19:

- UDO Section 1.5.6 Build-to: Outdoor amenity area provided to meet build-to requirement on Nowell Road.
- UDO Section 1.5.8 Pedestrian Access: A non-street facing entrance in lieu of an access point along building facade facing Nowell Road.

BOARD OF ADJUSTMENT (A-153-19)

Design Adjustment approved 11/13/19 for UDO Section 8.3.2.A Block Perimeter. This case was granted a 4,266' design adjustment from the 2,500' maximum block perimeter requirement that results in a block perimeter of 6,766' in order to construct a general building (office/business) and a parking deck.

SHEET INDEX

- C-0.0 COVER SHEET
- C-1.0 EXISTING CONDITIONS & DEMOLITION PLAN
- C-1.1 TREE CONSERVATION PLAN
- C-2.0 SITE PLAN
- C-2.1 AREA CALCULATIONS
- C-3.0 EROSION CONTROL PLAN (NOT INCLUDED IN THIS SET)
- C-4.0 GRADING & DRAINAGE PLAN
- C-4.1 DRAINAGE TABLES
- C-4.2 STORMWATER PLAN - UNDERGROUND DETENTION
- C-5.0 UTILITY PLAN
- C-6.0 SITE DETAILS
- C-6.1 SITE DETAILS
- C-7.0 EROSION CONTROL DETAILS (NOT INCLUDED IN THIS SET)
- C-8.0 STORM DRAINAGE DETAILS
- C-9.0 WATER DETAILS (NOT INCLUDED IN THIS SET)
- C-10.0 SEWER DETAILS (NOT INCLUDED IN THIS SET)
- L-1.0 LANDSCAPE PLAN
- L-2.0 LANDSCAPE DETAILS
- LP-1.0 SITE LIGHTING PLAN
- A-201 EXTERIOR ELEVATION - OFFICE BUILDING
- A-202 EXTERIOR ELEVATION - OFFICE BUILDING
- A-203 EXTERIOR ELEVATION - OFFICE BUILDING
- A-204 EXTERIOR ELEVATION - OFFICE BUILDING
- A-205 EXTERIOR ELEVATION - OFFICE BUILDING
- A-201 EXTERIOR ELEVATION - PARKING DECK
- A-202 EXTERIOR ELEVATION - PARKING DECK

SITE DATA	
SITE ADDRESS	5401 TRINITY ROAD
PARCEL ID	0774-96-3627
EXISTING USE	VACANT
EXISTING ZONING	OX-7-PL-CU / OX-7-PK-CU (Z-16-18)
RIVER BASIN	NEUSE
FLOODPLAIN	N/A
WATERSHED OVERLAY DISTRICT	N/A
SOIL TYPE	Uf
GROSS ACREAGE	5.62 AC
PROPOSED RIGHT-OF-WAY DEDICATION	0.29 AC
NET ACREAGE	5.33 AC

PROPOSED USES	
B1: Office/Business	172,235 SF (GFA)
PD: Open Parking Deck	154,095 SF (GFA)

BUILDING HEIGHT	
B1: Office/Business	77'-4" FT
PD: Open Parking Deck	54'-4" FT

OUTDOOR AMENITY AREA	Required	Provided
Outdoor Amenity Area (min. 10%)	0.53 AC	0.53 AC
Additional Amenity Area to Meet Build-to	0.00 AC	0.09 AC
Total Amenity Area	0.53 AC	0.62 AC

BUILD-TO (UDO 3.4.5.C)	
Primary Street Build-to (0' min./100' max.)	20 FT
Right-of-Way Length (Nowell Rd)	926 LF
Existing Tree Conservation Area	200 LF
Site Access Driveways	30 LF
Build-to Frontage Length	696
Build-to Width - Building 1	176 LF
Build-to Width - Amenity Area	263 LF
Build-to Required	50%
Build-to Provided (Bldg + Amenity)	63%

PARKING REQUIREMENTS (UDO 7.1.2)			
	Calculation	Required	Provided
VEHICULAR PARKING - GENERAL OFFICE	1/400 SF	431	542
Standard Spaces - Parking Deck			475
Standard Spaces - Surface Parking			67
Accessible Spaces	2% of Req'd	10.8	11.0
SHORT-TERM BIKE PARKING	1/10,000 SF	17	10**
LONG-TERM BIKE PARKING	1/5,000 SF	34	20**
Long-Term Bike Parking located within Parking Deck. See Arch. Drawings.			
**UDO 7.1.8.A Provides exemption that limits bike parking to maximum of 30 spaces on a single lot.			

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2465



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #:	Planning Coordinator:																						
<table><tr><th>Building Type</th><th>Site Transaction History</th></tr><tr><td><input type="checkbox"/> Detached</td><td><input checked="" type="checkbox"/> General</td></tr><tr><td><input type="checkbox"/> Attached</td><td><input type="checkbox"/> Mixed use</td></tr><tr><td><input type="checkbox"/> Apartment</td><td><input type="checkbox"/> Open lot</td></tr><tr><td><input type="checkbox"/> Townhouse</td><td><input type="checkbox"/> Civic</td></tr></table>	Building Type	Site Transaction History	<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	<table><tr><td>Subdivision transaction #:</td><td></td></tr><tr><td>Sketch transaction #:</td><td>584215</td></tr><tr><td>Certificate of Appropriateness #:</td><td></td></tr><tr><td>Board of Adjustment #:</td><td></td></tr><tr><td>Zoning Case #:</td><td>Z-18-18</td></tr><tr><td>Administrative Alternate #:</td><td></td></tr></table>	Subdivision transaction #:		Sketch transaction #:	584215	Certificate of Appropriateness #:		Board of Adjustment #:		Zoning Case #:	Z-18-18	Administrative Alternate #:	
Building Type	Site Transaction History																						
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General																						
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Board of Adjustment #:																							
Zoning Case #:	Z-18-18																						
Administrative Alternate #:																							

Development name: Palisades 3
Inside City limits? ☒ Yes ☐ No
Property address(es): 5401 Trinity Road
Site P.I.N.(s): 0774-96-3627
Please describe the scope of work. Include any additions, expansions, and change of use.
Development of one office building and associated parking deck.

Current Property Owner/Developer Contact Name: Michael Blount
NOTE: please attach purchase agreement when submitting this form.
Company: Keystone - Trinity Road LLC Title: President
Address: 5410 Trinity Road, Suite 215, Raleigh, NC 27607
Phone #: 919-747-7912 Email: mblount@kscdevelop.com
Applicant Name: Jeff Westmoreland
Company: SEPI Address: 1 Glenwood Avenue, Suite 600, Raleigh, NC 27603
Phone #: 919-747-5858 Email: jwestmoreland@sepiinc.com

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REVISION 05.01.19

raleighnc.gov

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): OX-7-PK-CU / 0.76 AC OX-7-PL-CU / 4.86 AC	Existing gross floor area (not to be demolished): Existing gross floor area to be demolished:
Gross site acreage: 5.62 AC	New gross floor area: 172,235
# of parking spaces required:	Total # of gross (to remain and new): 172,235
# of parking spaces proposed:	Proposed # of buildings: 1
Overlay District (if applicable):	Proposed # of stories for each: g
Existing use (UDO 6.1.4): VACANT	
Proposed use (UDO 6.1.4): OFFICE	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.00 Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please provide: Alluvial soils: Flood str: FEMA Map Panel #: Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Proposed Impervious Surface: Acres: 0.00 Square Feet: 0.00

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: # of bedroom units: 1br: 2br: 3br: 4br or more: # of lots:	Total # of hotel units: Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate, <u>Michael Blount</u> , to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submit policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>Michael Blount</u>	Date: 06/23/2019
Printed Name: Michael Blount, President, Keystone Corporation	

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REVISION 05.01.19

raleighnc.gov

ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS
AND SPECIFICATIONS

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

SEPI

SEPI ENGINEERING & CONSTRUCTION, INC.

1 GLENWOOD AVE, SUITE 600 | RALEIGH, NC 27603
PHONE | 919.789.9977

11020 DAVID TAYLOR DR., SUITE 115 | CHARLOTTE, NC 28262
PHONE | 704.714.4880

5030 NEW CENTRE DR., SUITE B | WILMINGTON, NC 28403
PHONE | 910.523.5715

3644 PUNGO CREEK RD. | PINETOWN, NC 27863
PHONE | 252.964.6900

sepiinc.com



3 WORKING DAYS
BEFORE YOU DIG
FOR THE LOCATION OF
UNDERGROUND FACILITIES

Know what's Below.
Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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SEPI ENGINEERING & CONSTRUCTION, INC.

PALISADES 3
5401 Trinity Road
Raleigh, NC

PREPARED FOR:
Keystone - Trinity Road LLC
5410 Trinity Road, Suite 215
Raleigh, NC 27607

PROJECT:	SE18.060	DATE	
ISSUE:	ASR 1st Submittal	01.23.2019	
	To Client for Preliminary Pricing	06.19.2019	
	Mass Grading 1st Submittal	08.20.2019	
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	ASR 6th Submittal	01.30.2020	
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	Mass Grading Revisions	12.16.2019	
	ASR 4th Comment Responses	12.27.2019	
	ASR 5th Comment Responses	01.30.2020	

PROJ. MGR: J. WESTMORELAND
DRAWN BY: M. ARMFIELD
CHECKED BY: M. HEBRANK

COVER

C-0.0



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DRAWN BY: M. ARMYFIELD

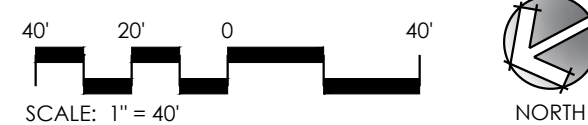
CHECKED BY: M. HEBRANK

EXISTING CONDITIONS
& DEMOLITION PLAN

C-1.0

ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS
AND SPECIFICATIONS

PRELIMINARY - DO NOT USE FOR CONSTRUCTION



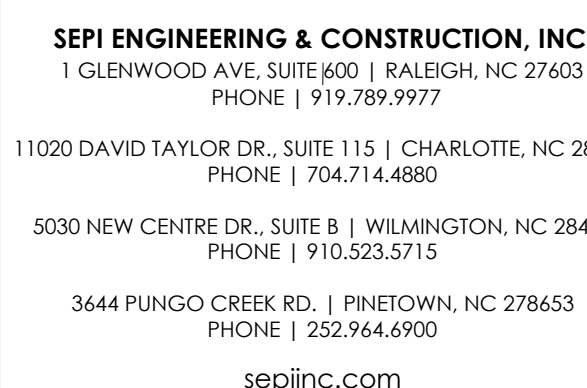
EXISTING CONDITIONS NOTES:

- BOUNDARY & TOPOGRAPHIC INFORMATION: EXCEPT AS NOTED, TAKEN FROM A FIELD SURVEY PREPARED BY SEPI ENGINEERING & CONSTRUCTION DATED AUGUST 3, 2018. ADDITIONAL INFORMATION OBTAINED FROM A MAP OF CORRECTION PREPARED BY JOHN A. EDWARDS & COMPANY DATED MARCH 8, 2018 AND RECORDED IN 8.M. 2018 PG. 544, WAKE COUNTY REGISTRY.
- EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
- EXISTING SOIL TYPES, IF SHOWN, TAKEN FROM WAKE COUNTY GIS, WHICH ARE APPROXIMATE ONLY.
- EROSION CONTROL MEASURES AND TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- CONTRACTOR TO ENSURE THAT NEW LANDSCAPE AREAS TIE IN SMOOTHLY WITH THE EXISTING UNDISTURBED PORTION.
- HORIZONTAL AND VERTICAL CONTROL WAS ESTABLISHED BY RTK GPS AND OPUS OBSERVATIONS.
- COORDINATES SHOWN ARE GRID COORDINATES.
- ALL BEARINGS ARE GRID BEARINGS UNLESS OTHERWISE NOTED.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.

DEMOLITION NOTES:

- WORK ON THIS PROJECT SHALL CONFORM TO THE LATEST EDITIONS OF THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS, THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROAD AND BRIDGE SPECIFICATIONS, THE NCDOT ROAD AND BRIDGE STANDARDS, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
- ANY DISCREPANCIES FOUND BETWEEN THESE DRAWINGS AND SPECIFICATIONS AND SITE CONDITIONS, OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS, SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER. IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE AFTER DISCOVERY WITHOUT ATTEMPTING TO CONTACT THE DESIGN ENGINEER, WILL BE DONE AT THE CONTRACTOR'S RISK.
- MAINTENANCE OF TRAFFIC AND TRAFFIC CONTROL IS THE SOLE RESPONSIBILITY OF THE SITE CONTRACTOR. THESE PLANS ARE TO SERVE ONLY AS A GENERAL GUIDE AND IN NO WAY LIMITS THE SITE CONTRACTOR FROM MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH NCDOT STANDARDS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, OR AS DIRECTED BY THE LOCAL MUNICIPALITY.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY NCDOT STREET OR HIGHWAY RIGHT-OF-WAY, OBTAIN ALL PERMITS AND ENCROACHMENTS. CROSS CHECK SPECIAL PROVISIONS WITH PLANS. MAINTAIN A COPY OF ALL PERMITS ON SITE. CONTACT LOCAL DISTRICT ENGINEER (919) 753-9213 24 HOURS BEFORE PLACING ANY CURB AND GUTTER WITHIN NCDOT RIGHT-OF-WAY.
- CONTRACTOR TO ACQUIRE PROPER DEMOLITION PERMITS PRIOR TO REMOVAL OF EXISTING STRUCTURES/UTILITIES.
- SITE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL AND TO INITIATE CLEANUP OF LITTER AND REFUSE GENERATED BY HIMSELF AND SUBCONTRACTORS. THE CLEANUP OF LITTER AND REFUSE SHALL BE DONE ON A REGULAR BASIS, AND SHALL INCLUDE INITIATING ACTION AND ASSUMING ANY COST IN REMEDYING THE SITUATION. ALL REFUSE AND DEBRIS SHALL BE DISPOSED OF LAWFULLY AT AN OFF-SITE LOCATION.


L:\2020\222 PAX\2018\SE18.060.DWG - 5401 Trinity Road\DWG\Drawings\Demolition\Construction\Palisades3\SE18.060.C1.DEM.COND.DWG



NOTICE:
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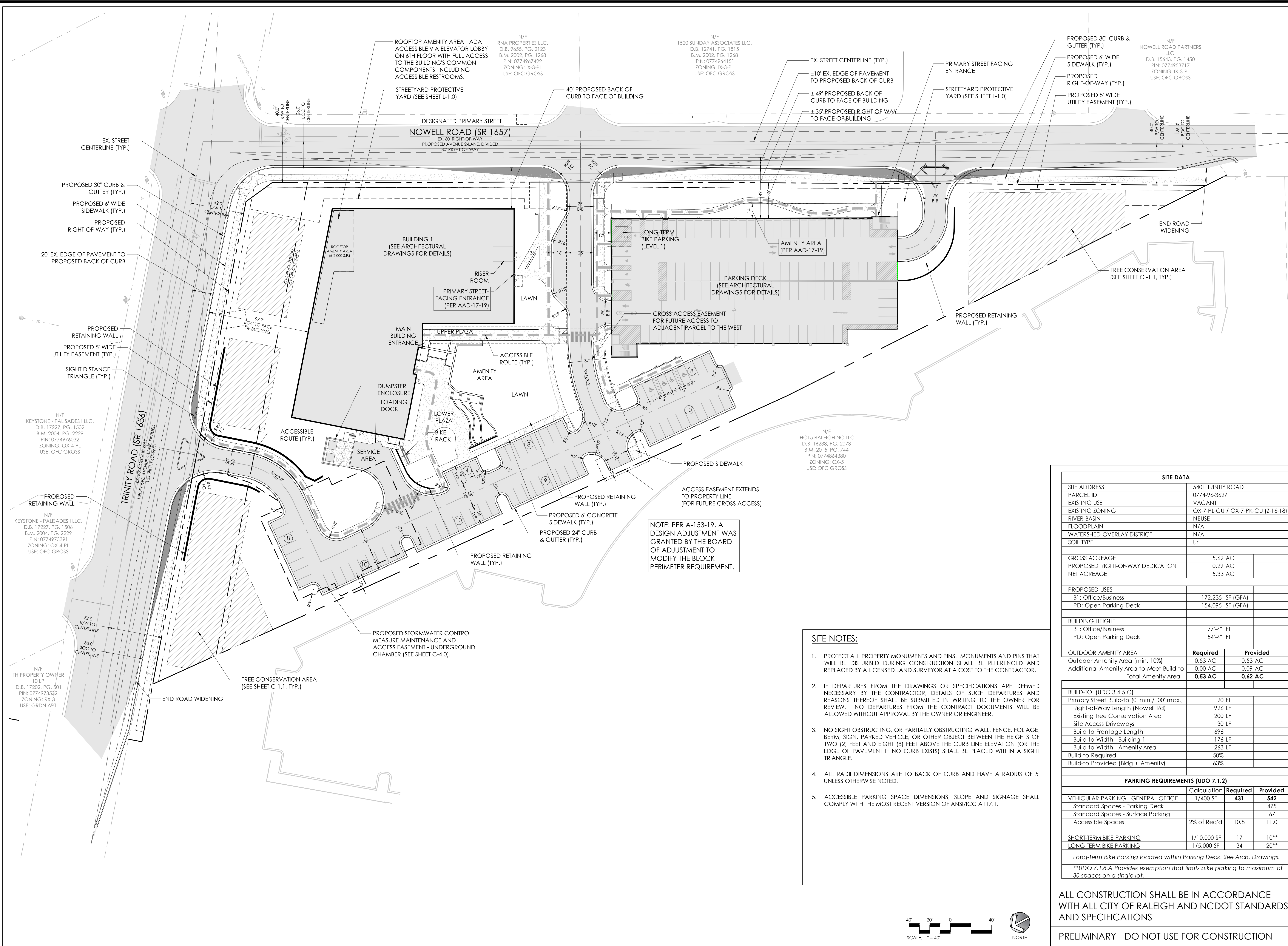
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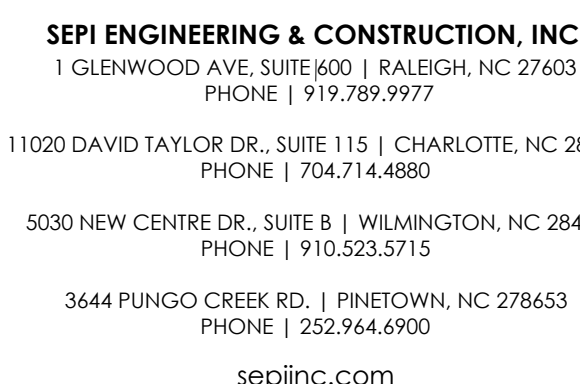
DRAWN BY:	M. ARMFIELD
CHECKED BY:	M. HEBRANK

C-2.0



PRELIMINARY - DO NOT USE FOR CONSTRUCTION





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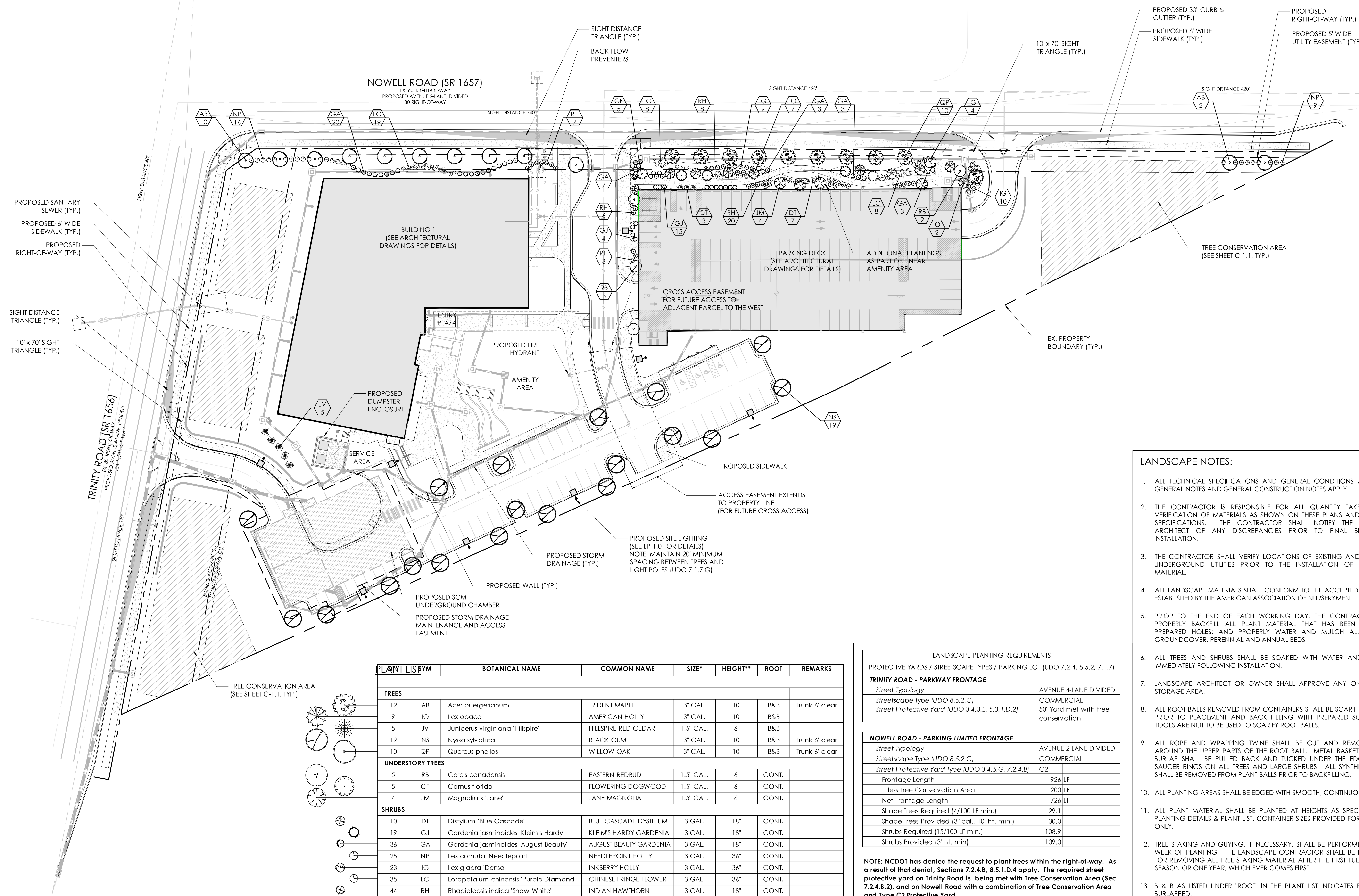
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PROJ. MGR:	J. WESTMORELAND
DRAWN BY:	M. ARMFIELD
CHECKED BY:	M. HEBRANK

PRELIMINARY
LANDSCAPE PLAN
L-1.0



PLANT	SYMB	BOTANICAL NAME	COMMON NAME	SIZE*	HEIGHT**	ROOT	REMARKS
TREES							
12	AB	Acer buergerianum	TRIDENT MAPLE	3" CAL.	10'	B&B	Trunk 6' clear
9	IO	Ilex opaca	AMERICAN HOLLY	3" CAL.	10'	B&B	
5	JV	Juniperus virginiana 'Hillspire'	HILLSPIRE RED CEDAR	1.5" CAL.	6'	B&B	
19	NS	Nyssa sylvatica	BLACK GUM	3" CAL.	10'	B&B	Trunk 6' clear
10	QP	Quercus phellos	WILLOW OAK	3" CAL.	10'	B&B	Trunk 6' clear
UNDERSTORY TREES							
5	RB	Cercis canadensis	EASTERN REDBUD	1.5" CAL.	6'	CONT.	
5	CF	Cornus florida	FLOWERING DOGWOOD	1.5" CAL.	6'	CONT.	
4	JM	Magnolia x 'Jane'	JANE MAGNOLIA	1.5" CAL.	6'	CONT.	
SHRUBS							
10	DT	Distylium 'Blue Cascade'	BLUE CASCADE DYSTILIUM	3 GAL.	18"	CONT.	
19	GJ	Gardenia jasminoides 'Kleim's Hardy'	KLEIM'S HARDY GARDENIA	3 GAL.	18"	CONT.	
36	GA	Gardenia jasminoides 'August Beauty'	AUGUST BEAUTY GARDENIA	3 GAL.	18"	CONT.	
25	NP	Ilex cornuta 'Needlepoint'	NEEDLEPOINT HOLLY	3 GAL.	36"	CONT.	
23	IG	Ilex glabra 'Densa'	INKBERRY HOLLY	3 GAL.	36"	CONT.	
35	LC	Loropetalum chinensis 'Purple Diamond'	CHINESE FRINGE FLOWER	3 GAL.	36"	CONT.	
44	RH	Rhapilepis indica 'Snow White'	INDIAN HAWTHORN	3 GAL.	18"	CONT.	

NOTES:

- ** PLANT HEIGHTS LISTED ARE THE MINIMUM HEIGHTS AT INSTALLATION.
- ** PLANT SIZES ARE THE MINIMUM CALIPER AT INSTALLATION FOR TREES. CONTAINER SIZE SHOWN FOR OTHER PLANTS IS TO BE USED AS A GUIDE ONLY; PLANT HEIGHTS LISTED SHALL GOVERN.

LANDSCAPE PLANTING REQUIREMENTS	
PROTECTIVE YARDS / STREETScape TYPES / PARKING LOT (UDO 7.2.4, 8.5.2, 7.1.7)	
TRINITY ROAD - PARKWAY FRONTAGE	
Street Typology	AVENUE 4-LANE DIVIDED
Streetscape Type [UDO 8.5.2.C]	COMMERCIAL
Street Protective Yard [UDO 3.4.3.E, 5.3.1.D.2]	50' Yard met with tree conservation

NOWELL ROAD - PARKING LIMITED FRONTAGE		
<i>Street Typology</i>		AVENUE 2-LANE DIVIDED
<i>Streetscape Type</i> [UDO 8.5.2.C]		COMMERCIAL
<i>Street Protective Yard Type</i> [UDO 3.4.5.G, 7.2.4.B]	C2	
Frontage Length	926	LF
less Tree Conservation Area	200	LF
Net Frontage Length	726	LF
Shade Trees Required [4/100 LF min.]	29.1	
Shade Trees Provided [3' col., 10' ht. min.]	30.0	
Shrubs Required [15/100 LF min.]	108.9	
Shrubs Provided [3' ht. min]	109.0	

NOTE: NCDOT has denied the request to plant trees within the right-of-way. As a result of that denial, Sections 7.2.4.B, 8.5.1.D.4 apply. The required street protective yard on Trinity Road is being met with Tree Conservation Area (Sec 7.2.4.B.2), and on Nowell Road with a combination of Tree Conservation Area and Type C2 Protective Yard.

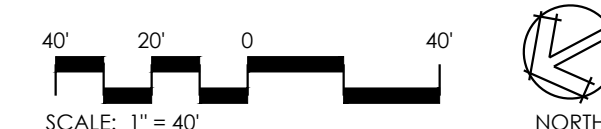
VEHICLE PARKING LOT LANDSCAPING (UDO 7.1.7)	
Total Surface Area	37,541 SF
Shade Trees Required [1/2,000 SF min.]	18.8 EA
Shade Trees Provided (3" cal., 10' ht.)	19.0 EA

LANDSCAPE NOTES:

1. ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY. ALL GENERAL NOTES AND GENERAL CONSTRUCTION NOTES APPLY.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITY TAKE-OFFS AND VERIFICATION OF MATERIALS AS SHOWN ON THESE PLANS AND IN WRITTEN SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING OR INSTALLATION.
3. THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING AND PROPOSED UNDERGROUND UTILITIES PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
4. ALL LANDSCAPE MATERIALS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
5. PRIOR TO THE END OF EACH WORKING DAY, THE CONTRACTOR SHALL PROPERLY BACKFILL ALL PLANT MATERIAL THAT HAS BEEN PLACED IN PREPARED HOLES; AND PROPERLY WATER AND MULCH ALL PREPARED GROUNDCOVER, PERENNIAL AND ANNUAL BEDS
6. ALL TREES AND SHRUBS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
7. LANDSCAPE ARCHITECT OR OWNER SHALL APPROVE ANY ON-SITE PLANT STORAGE AREA.
8. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED BY HAND PRIOR TO PLACEMENT AND BACK FILLING WITH PREPARED SOILS. HAND TOOLS ARE NOT TO BE USED TO SCARIFY ROOT BALLS.
9. ALL ROPE AND WRAPPING TWINE SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PARTS OF THE ROOT BALL. METAL BASKET WIRES AND BURLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURLAP SHALL BE REMOVED FROM PLANT BALLS PRIOR TO BACKFILLING.
10. ALL PLANTING AREAS SHALL BE EDGED WITH SMOOTH, CONTINUOUS CURVES.
11. ALL PLANT MATERIAL SHALL BE PLANTED AT HEIGHTS AS SPECIFIED IN THE PLANTING DETAILS & PLANT LIST. CONTAINER SIZES PROVIDED FOR REFERENCE ONLY.
12. TREE STAKING AND GUYING, IF NECESSARY, SHALL BE PERFORMED WITHIN A WEEK OF PLANTING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TREE STAKING MATERIAL AFTER THE FIRST FULL GROWING SEASON OR ONE YEAR, WHICHEVER COMES FIRST.
13. B & B AS LISTED UNDER "ROOT" IN THE PLANT LIST INDICATES BALLED AND BURLAPPED.
14. ALL PLANT BEDS AND RAISED SAUCER RINGS SHALL BE GRADED TO PROVIDE ADEQUATE DRAINAGE AND SHALL BE MULCHED AS SPECIFIED.
15. ALL MATERIALS, PLANTING AND LANDSCAPE WORK SHALL CONFORM TO THE LOCAL OR COUNTY JURISDICTIONAL AUTHORITY'S STANDARD SPECIFICATIONS AND DETAILS.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS
AND SPECIFICATIONS

PRELIMINARY - DO NOT USE FOR CONSTRUCTION



TRANSPARENCY CALCULATION	
EAST ELEVATION	
GROUND STORY SF	3,461 SF
GLASS SF	1,299 SF
TOTAL %	37.5% > 33% REQUIRED
UPPER STORY SF	9,864 SF
GLASS SF	5,508 SF
LOWER %	55.8% > 20% REQUIRED

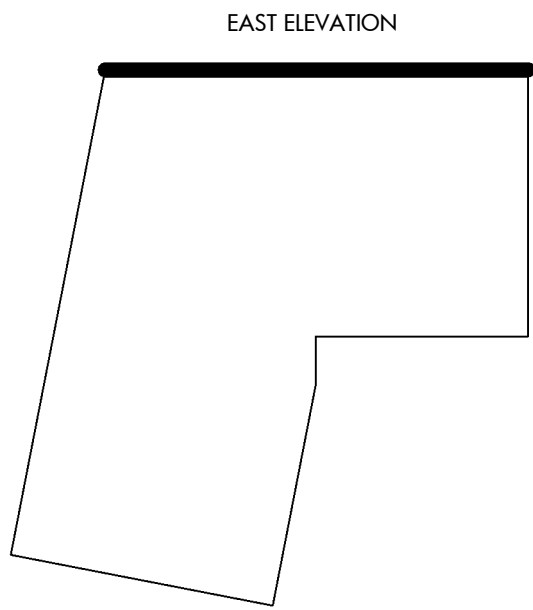
AVERAGE GRADE CALCULATION						
	PROPOSED GRADE			EXISTING GRADE		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
EAST ELEVATION	462.5	453	457.75	458.0	451.0	454.50
NORTH ELEVATION	453	446	449.5	451.0	446.0	449.5
WEST ELEVATION A	450	446	448	446.0	452.5	449.25
WEST ELEVATION B	464	463	463.5	457	463	460
SOUTH ELEVATION A	464	450	457	452.5	457	454.75
SOUTH-WEST ELEVATION B	464	462.5	463.25	463	458	460.5
AVERAGE			456.5			454.75
AVERAGE BLDG HEIGHT			81'-2"			82'-11"

82'-11" IS LESS THAN THE 90' HEIGHT RESTRICTION FOR OX-7 ZONING

GENERAL NOTE:
1.) THE PROPOSED BUILDING EXTERIOR IS COMPRISED OF +/-95% GLASS, BRICK, STONE, MASONRY AND/OR HARDPLANK OR SIMILAR CEMENTITIOUS MATERIAL, AND NO EIFS OR VINYL SIDING IS SPECIFIED. 95% IS MORE THAN THE REQUIRED 60%

FINISH LEGEND

MATERIAL	MANUFACTURER	MODEL	COLOR	NOTES
ACM PANEL	TFC CANOPIES INC.	2000 SERIES	CLEAR ANODIZED	
CONCEALED FAST METAL PANEL	ATAS	OPALINE OPF	DARK GREY	
ALUMINUM CURTAIN WALL	TUBELIGHT	400 IG	CLEAR ANODIZED	SEE ELEV'S FOR LOCATION OF MULLION EXTENSIONS & BUTT GLAZED JOINTS
VISION GLASS	GUARDIAN GLASS	SNX 62/27	CRYSTAL BLUE/CLEAR	
SPANDREL GLASS	GUARDIAN GLASS	SNX 62/27	TBD	
BRICK	TBD	TBD	TBD	TBD
PRECAST	METROMONT		BUFF	
1" INSULATED ACM PANEL	MAPES	MODEL R	CLEAR ANODIZED	GLAZED INTO CURTAIN SYSTEM

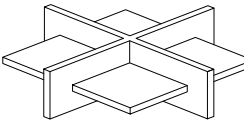


ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN

PO BOX1308
300 SOUTH DAWSON STREET
RALEIGH, NORTH CAROLINA 27602
919.821.5547
www.hagersmith.com

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ASSOCIATES /



**LAURENE, RICKHER
& SORRELL, P.C.**
Consulting Structural Engineers

8701 RED OAK BLVD. SUITE 500
CHARLOTTE, NORTH CAROLINA 28217
PHONE: 704-522-0495 FAX: 704-522-0499
EMAIL: mail@rsqc.net WEB: www.rsqc.net

RECORD DRAWINGS

RECORD DOCUMENTS ARE BASED ON ORIGINAL CONSTRUCTION DOCUMENTS, OBSERVATIONS MADE DURING CONSTRUCTION SITE VISITS, AND INFORMATION PROVIDED BY THE GENERAL CONTRACTOR. HAGERSMITH DESIGN, P.A. IS NOT RESPONSIBLE FOR ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS OR CONDITIONS THAT MAY HAVE BEEN HIDDEN DURING PERIODIC SITE VISITS DUE TO CONSTRUCTION CONTINUANCE BETWEEN VISITS. HAGERSMITH DESIGN, P.A. SHALL NOT BE HELD RESPONSIBLE FOR DAMAGES RESULTING FROM THE USAGE OF THESE DRAWINGS. SEALS ARE PROVIDED ONLY TO DOCUMENT THE CHANGE IN THESE DRAWINGS FROM THE ORIGINAL DRAWINGS.

PROJECT 435-412-000

**PALISADES 3 SHELL
OFFICE BUILDING**
ASR SET

CLIENT



DRAWING TITLE

EAST ELEVATION

REVISIONS

NUMBER	DESCRIPTION	DATE

DRAWN BY

BDG

CHECKED BY

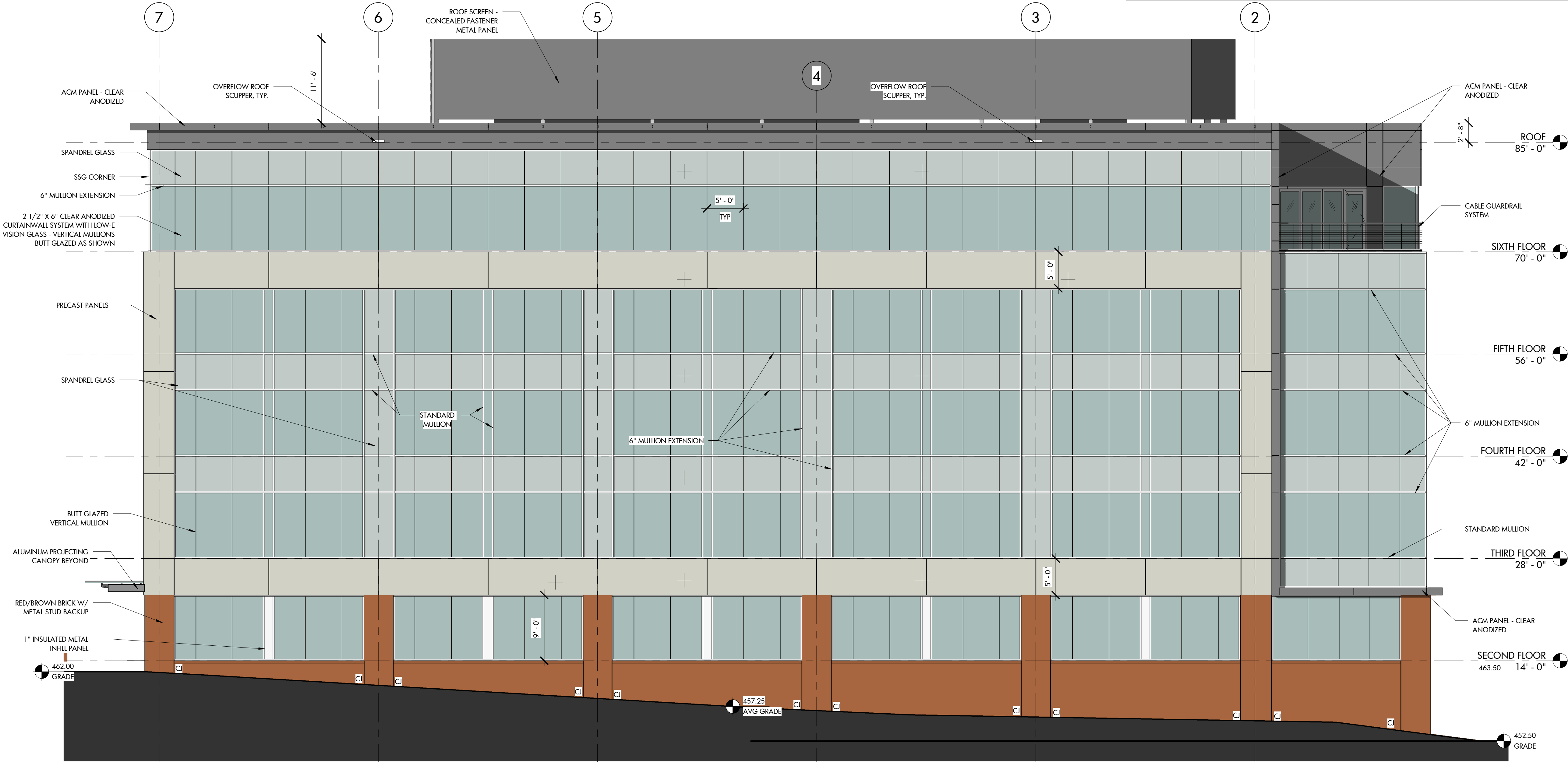
BDG

DATE ISSUED

11-15-19

OF

A-201



A1 EAST ELEVATION
A-201 1/8" = 1'-0"

FINISH LEGEND

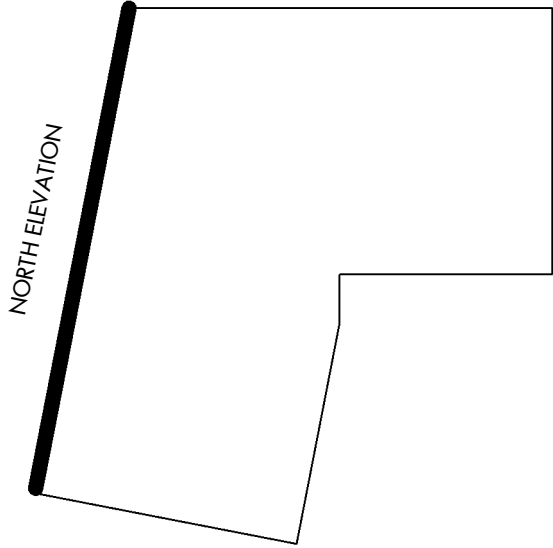
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PRECAST	METROMONT		BUFF	
1" INSULATED ACM PANEL	MAPES	MODEL R	CLEAR ANODIZED	GLAZED INTO CURTAIN SYSTEM

TRANSPARENCY CALCULATION	
EAST ELEVATION	
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GLASS SF	1,299 SF
TOTAL %	37.5% > 33% REQUIRED
UPPER STORY SF	9,864 SF
GLASS SF	5,508 SF
LOWER %	55.8% > 20% REQUIRED

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WEST ELEVATION A	450	446	448	446.0	452.5	449.25
WEST ELEVATION B	464	463	463.5	457	463	460
SOUTH ELEVATION A	464	450	457	452.5	457	454.75
SOUTH-WEST ELEVATION B	464	462.5	463.25	463	458	460.5
AVERAGE			456.5			454.75
AVERAGE BLDG HEIGHT			81'-2"			82'-11"

82'-11" IS LESS THAN THE 90' HEIGHT RESTRICTION FOR OX-7 ZONING

GENERAL NOTE:
1.) THE PROPOSED BUILDING EXTERIOR IS COMPRISED OF +/- 95% GLASS, BRICK, STONE, MASONRY AND/OR HARDPLANK OR SIMILAR CEMENTITIOUS MATERIAL, AND NO EIFS OR VINYL SIDING IS SPECIFIED. 95% IS MORE THAN THE REQUIRED 60%.

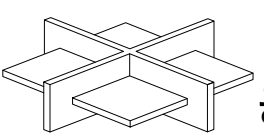


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PROJECT 435-412-000

**PALISADES 3 SHELL
OFFICE BUILDING**
ASR SET

CLIENT



DRAWING TITLE

NORTH ELEVATION

REVISIONS

NUMBER	DESCRIPTION	DATE

DRAWN BY

BDG

CHECKED BY

BDG

DATE ISSUED

11-15-19

A-202

OF

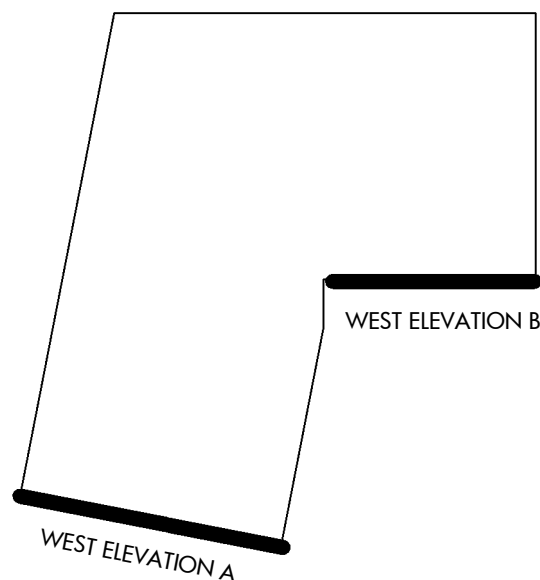
	MATERIAL	MANUFACTURER	MODEL	COLOR	NOTES
	ACM PANEL	TFC CANOPIES INC.	2000 SERIES	CLEAR ANODIZED	
	CONCEALED FAST METAL PANEL	ATAS	OPALINE OFF	DARK GREY	
	ALUMINUM CURTAIN WALL	TUBELIGHT	400 KG	CLEAR ANODIZED	SEE ELEV'S FOR LOCATION OF MULLION EXTENSIONS & BUTT GLAZED JOINTS
	VISION GLASS	GUARDIAN GLASS	SNX 62/27	CRYSTAL BLUE/CLEAR	
	SPANDREL GLASS	GUARDIAN GLASS	SNX 62/27	TBD	
	BRICK	TBD	TBD	TBD	TBD
	PRECAST	METROMONT		BUFF	
	1" INSULATED ACM PANEL	MAPES	MODEL R	CLEAR ANODIZED	GLAZED INTO CURTAIN SYSTEM

TRANSPARENCY CALCULATION	
EAST ELEVATION	
GROUND STORY SF	3,461 SF
GLASS SF	1,299 SF
TOTAL %	37.5% > 33% REQUIRED
UPPER STORY SF	9,864 SF
GLASS SF	5,508 SF
LOWER %	55.8% > 20% REQUIRED

AVERAGE GRADE CALCULATION						
	PROPOSED GRADE			EXISTING GRADE		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
EAST ELEVATION	462.5	453	457.75	458.0	451.0	454.50
NORTH ELEVATION	453	446	449.5	451.0	446.0	449.5
WEST ELEVATION A	450	446	448	446.0	452.5	449.25
WEST ELEVATION B	464	463	463.5	457	463	460
SOUTH ELEVATION A	464	450	457	452.5	457	454.75
SOUTH-WEST ELEVATION B	464	462.5	463.25	463	458	460.5
AVERAGE			456.5			454.75
AVERAGE BLDG HEIGHT			81'-2"			82'-11"

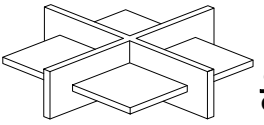
**82'-11" IS LESS THAN THE 90' HEIGHT
RESTRICTION FOR OX-7 ZONING**

GENERAL NOTE:
1.) THE PROPOSED BUILDING EXTERIOR IS COMPRISED OF +/-95% GLASS, BRICK, STONE, MASONRY AND/OR HARDPLANK OR SIMILAR CEMENTITIOUS MATERIAL, AND NO EIFS OR VINYL SIDING IS SPECIFIED. 95% IS MORE THAN THE REQUIRED 60%



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PROJECT 435-412-000

**PALISADES 3 SHELL
OFFICE BUILDING**

ASR SET

CUEN

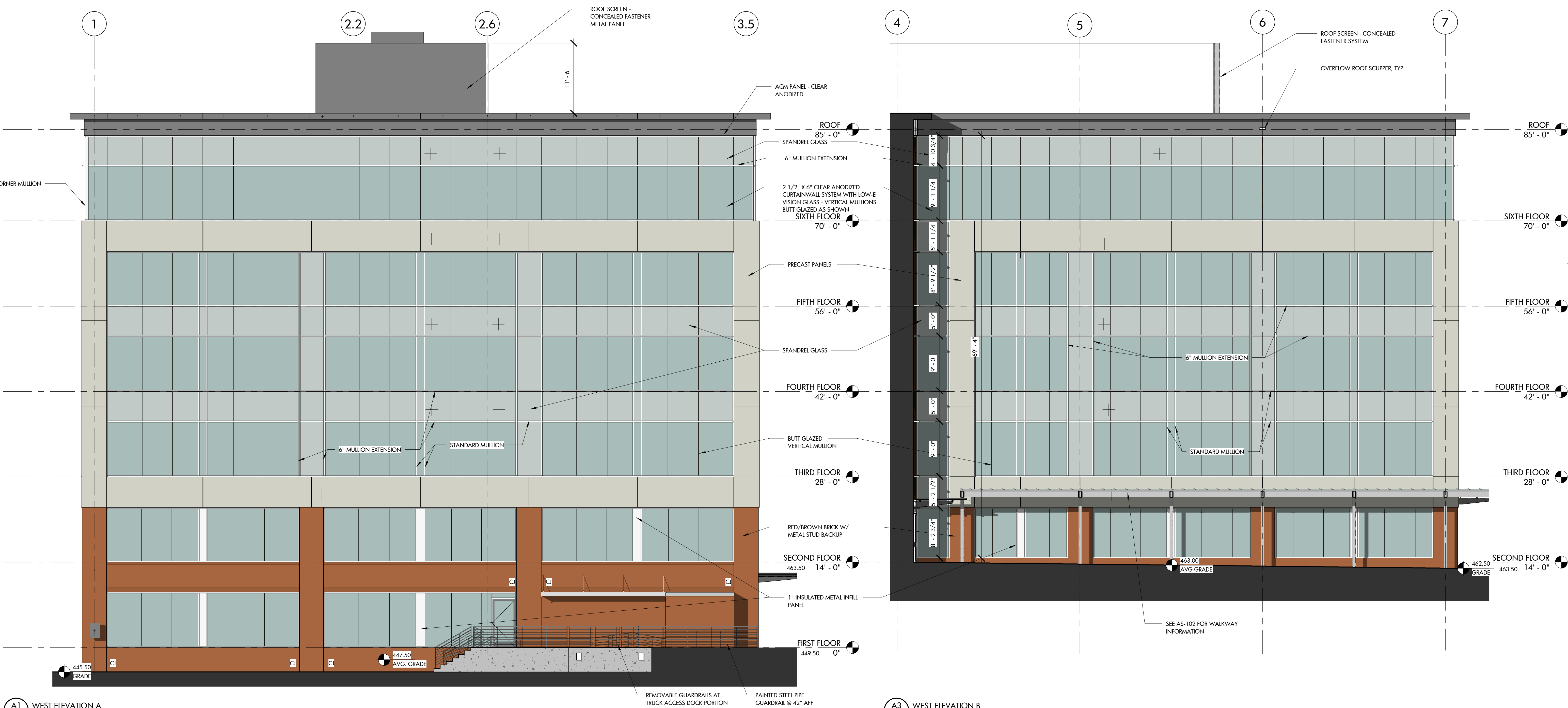


WEST ELEVATIONS

[illegible]

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DATE ISSUED 11-15-19

A-203
__ OF __

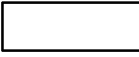
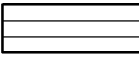

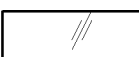

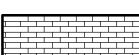

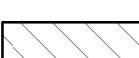


A1 WEST ELEVATION A
A-203 $1/8" = 1'-0"$

A3 WEST ELEVATION B
A-203 $1/8" = 1'-0"$

A-203

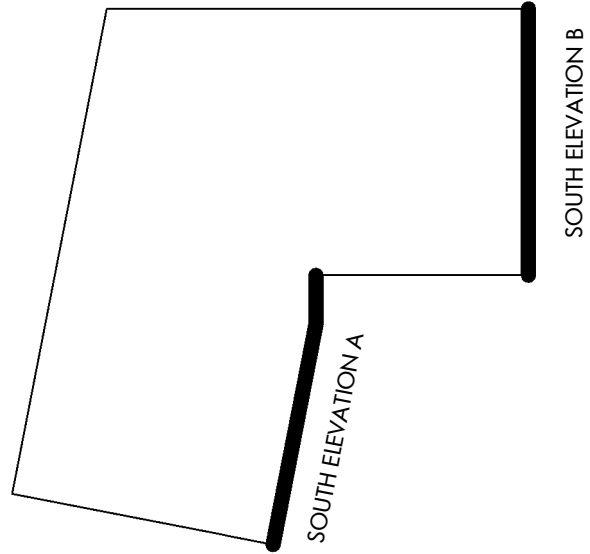
OF

FINISH LEGEND				
MATERIAL	MANUFACTURER	MODEL	COLOR	NOTES
	ACM PANEL	TFC CANOPES INC.	2000 SERIES	CLEAR ANODIZED
	CONCEALED FAST METAL PANEL	ATAS	OPALINE OFF	DARK GREY
	ALUMINUM CURTAIN WALL	TUBELIGHT	400 IG	CLEAR ANODIZED SEE ELEV'S FOR LOCATION OF MULLION EXTENSIONS & BUTT GLAZED JOINTS
	VISION GLASS	GUARDIAN GLASS	SNX 62/27	CRYSTAL BLUE/CLEAR
	SPANDREL GLASS	GUARDIAN GLASS	SNX 62/27	TBD
	BRICK	TBD	TBD	TBD
	PRECAST	METROMONT		BUFF
	1" INSULATED ACM PANEL	MAPES	MODEL R	CLEAR ANODIZED GLAZED INTO CURTAIN SYSTEM

TRANSPARENCY CALCULATION	
EAST ELEVATION	
GROUND STORY SF	3,461 SF
GLASS SF	1,299 SF
TOTAL %	37.5% > 33% REQUIRED
UPPER STORY SF	9,864 SF
GLASS SF	5,508 SF
LOWER %	55.8% > 20% REQUIRED

AVERAGE GRADE CALCULATION						
	PROPOSED GRADE			EXISTING GRADE		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
EAST ELEVATION	462.5	453	457.75	458.0	451.0	454.50
NORTH ELEVATION	453	446	449.5	451.0	446.0	449.5
WEST ELEVATION A	450	446	448	446.0	452.5	449.25
WEST ELEVATION B	464	463	463.5	457	463	460
SOUTH ELEVATION A	464	450	457	452.5	457	454.75
SOUTH-WEST ELEVATION B	464	462.5	463.25	463	458	460.5
AVERAGE			456.5			454.75
AVERAGE BLDG HEIGHT			81'-2"			82'-11"

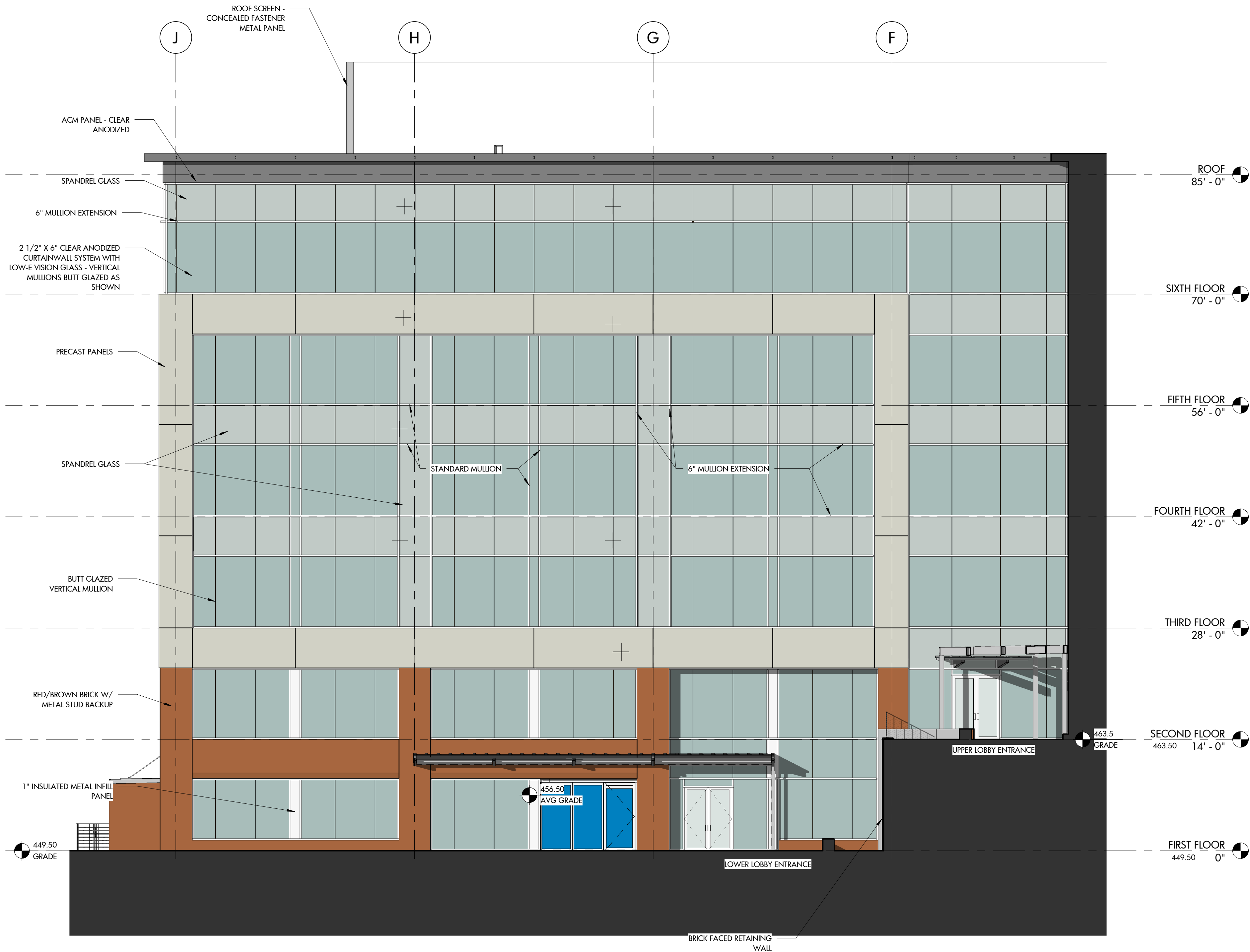
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A1 SOUTH ELEVATION A
A-204 1/8" = 1'-0"

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PALISADES 3 SHELL OFFICE BUILDING

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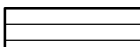

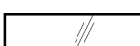


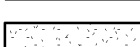

DRAWING TITLE SOUTH ELEVATIONS

REVISIONS		
NUMBER	DESCRIPTION	DATE

DRAWN BY BDG
CHECKED BY BDG
DATE ISSUED 11-15-19

A-204

OF

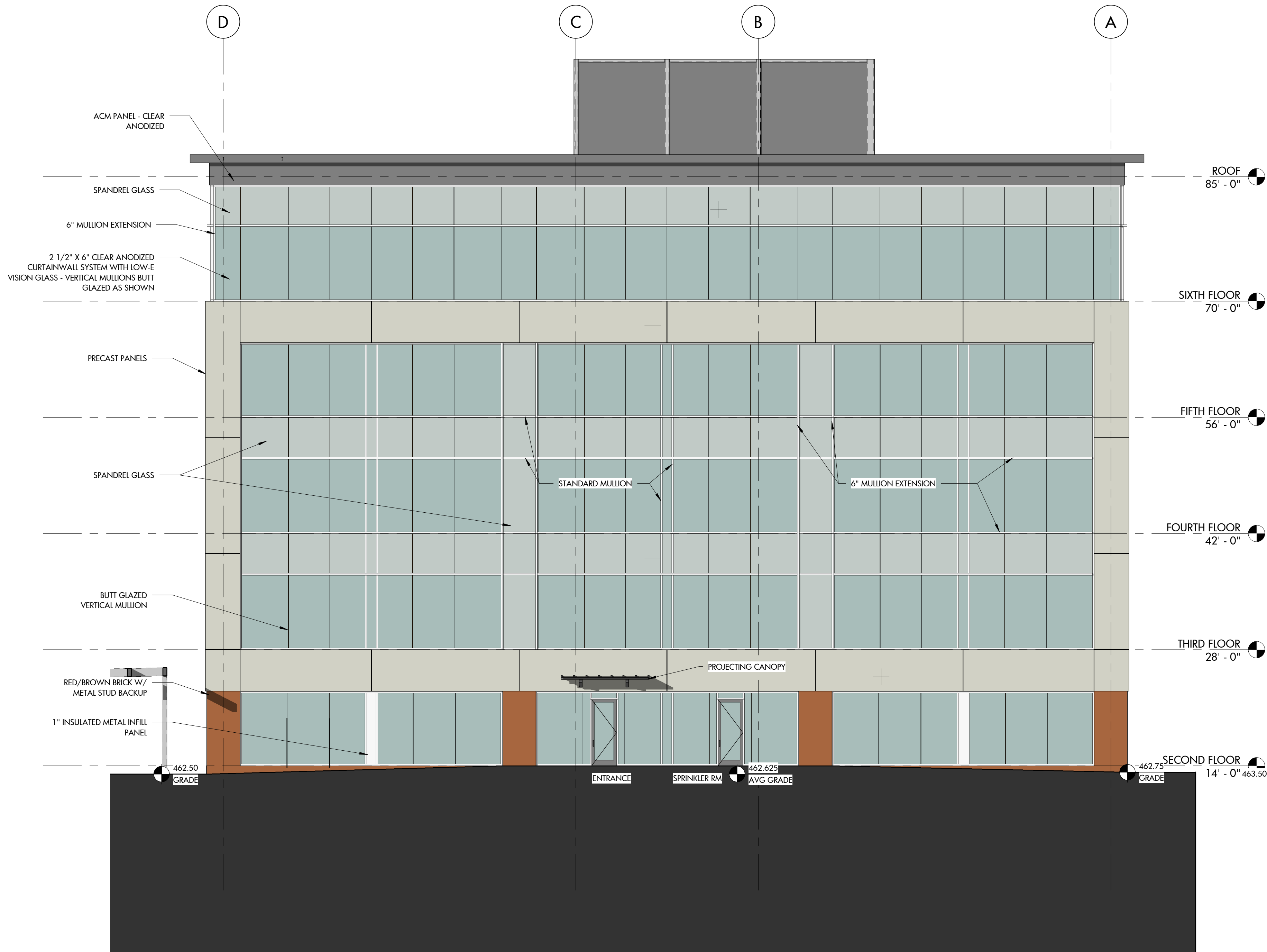
FINISH LEGEND					
MATERIAL	MANUFACTURER	MODEL	COLOR	NOTES	
	ACM PANEL	TFC CANOPIES INC.	2000 SERIES	CLEAR ANODIZED	
	CONCEALED FAST METAL PANEL	ATAS	OPALINE OFF	DARK GREY	
	ALUMINUM CURTAIN WALL	TUBELIGHT	400 IG	CLEAR ANODIZED	SEE ELEV'S FOR LOCATION OF MULLION EXTENSIONS & BUTT GLAZED JOINTS
	VISION GLASS	GUARDIAN GLASS	SNX 62/27	CRYSTAL BLUE/CLEAR	
	SPANDREL GLASS	GUARDIAN GLASS	SNX 62/27	TBD	
	BRICK	TBD	TBD	TBD	TBD
	PRECAST	METROMONT		BUFF	
	1" INSULATED ACM PANEL	MAPES	MODEL R	CLEAR ANODIZED	GLAZED INTO CURTAIN SYSTEM

TRANSPARENCY CALCULATION	
EAST ELEVATION	
GROUND STORY SF	3,461 SF
GLASS SF	1,299 SF
TOTAL %	37.5% > 33% REQUIRED
UPPER STORY SF	9,864 SF
GLASS SF	5,508 SF
LOWER %	55.8% > 20% REQUIRED

AVERAGE GRADE CALCULATION						
	PROPOSED GRADE			EXISTING GRADE		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
EAST ELEVATION	462.5	453	457.75	458.0	451.0	454.50
NORTH ELEVATION	453	446	449.5	451.0	446.0	449.5
WEST ELEVATION A	450	446	448	446.0	452.5	449.25
WEST ELEVATION B	464	463	463.5	457	463	460
SOUTH ELEVATION A	464	450	457	452.5	457	454.75
SOUTH-WEST ELEVATION B	464	462.5	463.25	463	458	460.5
AVERAGE			456.5			454.75
AVERAGE BLDG HEIGHT			81'-2"			82'-11"

82'-11" IS LESS THAN THE 90' HEIGHT
RESTRICTION FOR OX-7 ZONING

GENERAL NOTE:
1.) THE PROPOSED BUILDING EXTERIOR IS COMPRISED OF +/-95% GLASS, BRICK, STONE, MASONRY AND/OR HARDPLANK OR SIMILAR CEMENTITIOUS MATERIAL, AND NO EIFS OR VINYL SIDING IS SPECIFIED. 95% IS MORE THAN THE REQUIRED 60%



1 SOUTH ELEVATION B
A-205 1/8" = 1'-0"

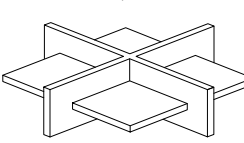


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PALISADES 3 SHELL OFFICE BUILDING

ASR SET

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DRAWING TITLE

SOUTH ELEVATIONS

REVISIONS

NUMBER	DESCRIPTION	DATE

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DATE ISSUED 11-15-19

A-205

OF

AVERAGE GRADE CALCULATION						
	PROPOSED GRADE			EXISTING GRADE		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
EAST ELEVATION	465	461	463	464	462.5	463.25
NORTH ELEVATION	462	461	461.5	468.5	462.5	465.5
WEST ELEVATION	472	462	467	474	468.5	471.25
SOUTH ELEVATION	472	465	468.5	474	464	469
AVERAGE			465			467.25
AVERAGE BLDG HEIGHT			55'-0"			52'-9"

55'-0" IS LESS THAN THE 90' HEIGHT
RESTRICTION FOR OX-7 ZONING



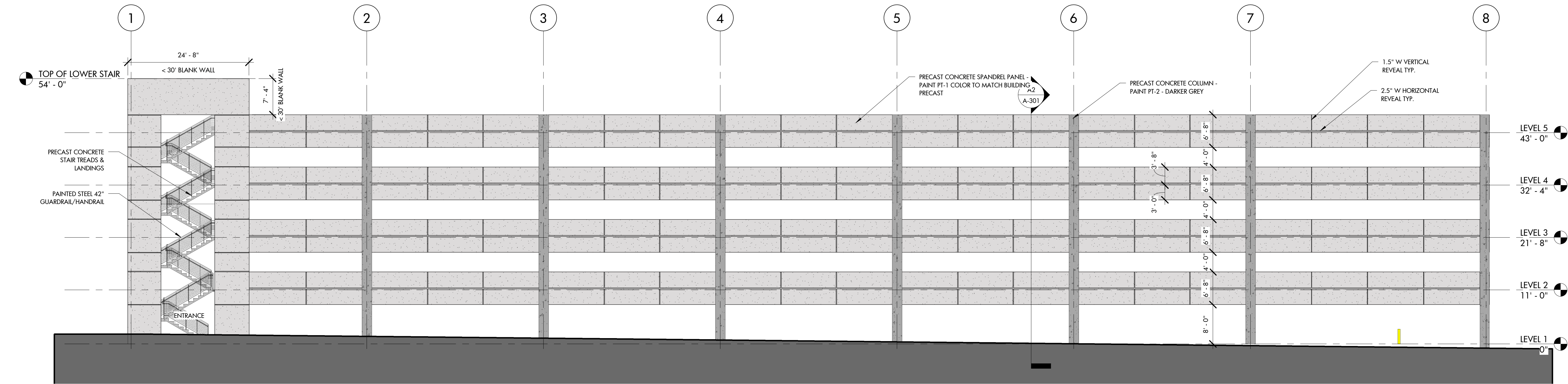
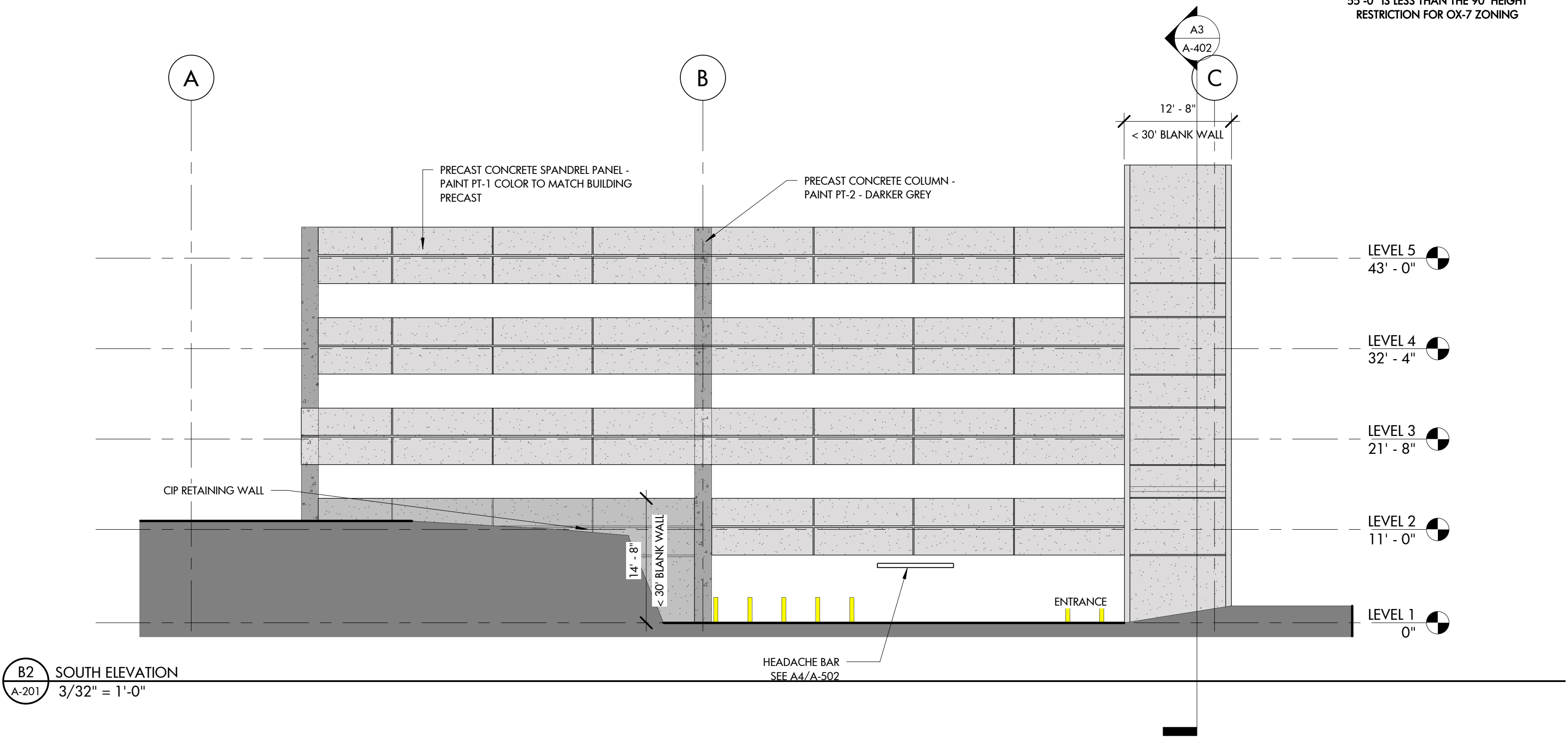
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- PT-1 COLOR TBD
PAINT WALL EXTERIOR PRECAST PANELS &
EXPOSED CONC. RETAINING WALLS. PAINT
EXTERIOR FAC, TOP, & BOTTOM OF PANELS
- PT-2 COLOR TBD
PAINT EXTERIOR FACE, TOP & BOTTOM OF
PRECAST PANEL
- 1" LOW-E GLASS
- MATCH CTI SELECTION
- 1" CLEAR ANODIZED ALUMINUM INFILL
PANEL GLAZED INTO CURTAIN WALL



PROJECT 435-412-000

PALISADES 3 PARKING DECK

ASR SET

CLIENT



DRAWING TITLE
EXTERIOR ELEVATIONS

REVISIONS

NUMBER	DESCRIPTION	DATE

DRAWN BY BDG
CHECKED BY BDG
DATE ISSUED 11/15/19

A-201

OF

AVERAGE GRADE CALCULATION						
	PROPOSED GRADE			EXISTING GRADE		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
EAST ELEVATION	465	461	463	464	462.5	463.25
NORTH ELEVATION	462	461	461.5	468.5	462.5	465.5
WEST ELEVATION	472	462	467	474	468.5	471.25
SOUTH ELEVATION	472	465	468.5	474	464	469
AVERAGE			465			467.25
AVERAGE BLDG HEIGHT			55'-0"			52'-9"

55'-0" IS LESS THAN THE 90' HEIGHT
RESTRICTION FOR OX-7 ZONING

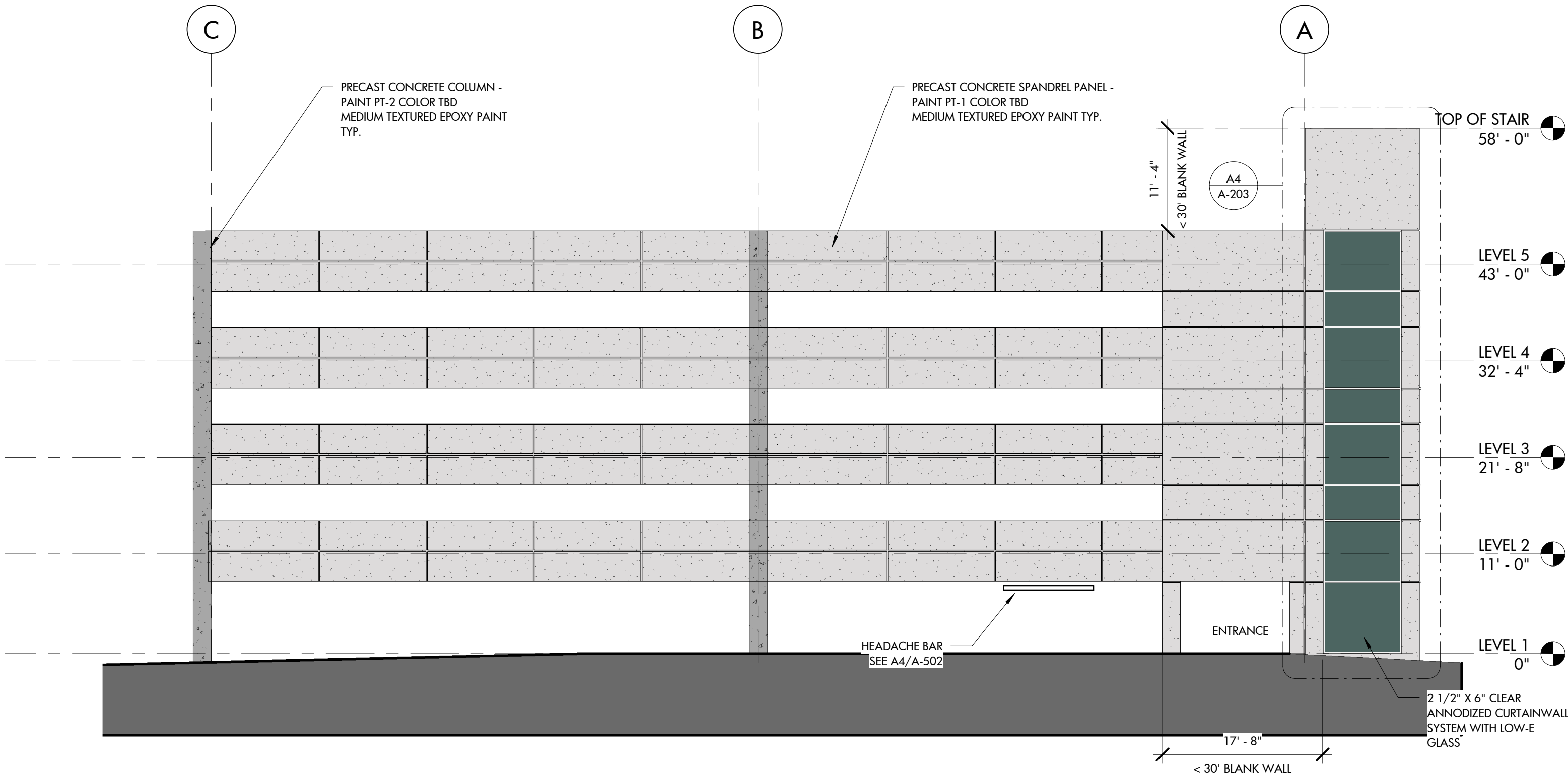


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INTERIOR DESIGN

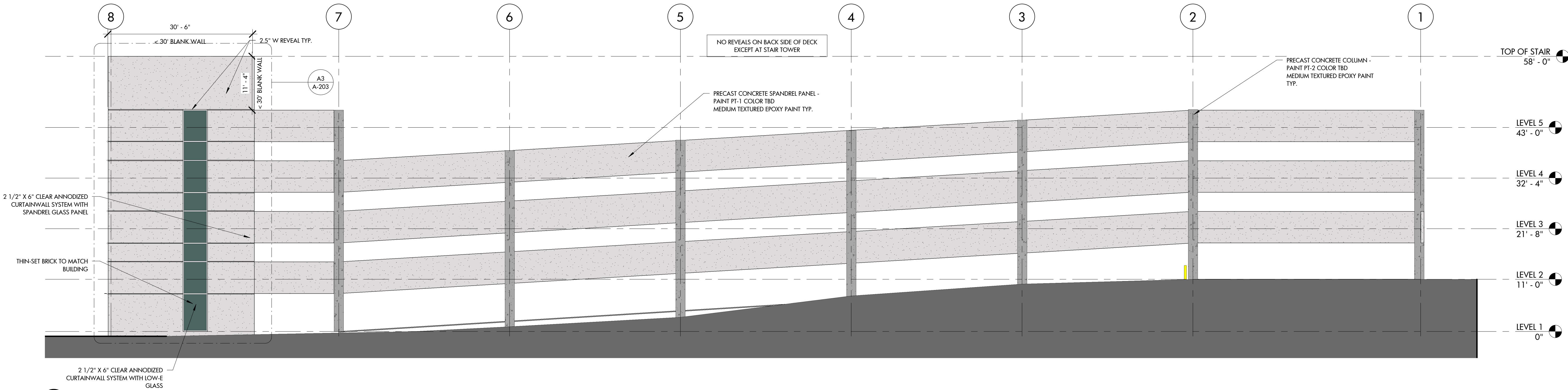
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EXPOSED CONC. RETAINING WALLS. PAINT
EXTERIOR FAC, TOP, & BOTTOM OF PANELS
- PT-2 COLOR TBD
PAINT EXTERIOR FACE, TOP & BOTTOM OF
PRECAST PANEL
- 1" LOW-E GLASS
- MATCH CTI SELECTION
- 1" CLEAR ANODIZED ALUMINUM INFILL
PANEL GLAZED INTO CURTAIN WALL



B2 NORTH ELEVATION
A-202 3/32" = 1'-0"



A1 WEST ELEVATION
A-202 3/32" = 1'-0"

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PALISADES 3 PARKING DECK

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DRAWING TITLE
EXTERIOR ELEVATIONS

REVISIONS

NUMBER	DESCRIPTION	DATE

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