



Administrative Approval Action

Case File / Name: ASR-SR-78-2018
DSLCL - Skycrest Crossing Apartments

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 1.45 acre site zoned OX-3-CU (Z-26-97) is located on the southwest corner of the intersection of N. New Hope Road and Skycrest Drive at 2241 N. New Hope Road.

REQUEST: This is a SUNSET REVISION for a previously approved site plan (prior sunset date of 2/09/24 with a letter requesting extension received on 7/26/23) incorporating revisions to the previously approved right of way and utilities. The proposal is for a 17,766 square foot two story apartment building consisting of 14 units and associated infrastructure. In accordance with UDO Section 10.2.8 F the new sunset date will be 7/26/25.

One Hardship Variance has been approved by the Board of Adjustment for this project, noted below. (BOA-0006-2019)
Complete relief from the 70% primary street and 35% side street build-to requirements set forth in Sections 3.2.4.D.D2. and 3.2.4.D.D4. of the Unified Development Ordinance and a 65 foot variance from the 300 foot driveway access spacing requirements set forth in Article 9.5 of the Raleigh Street Design Manual to permit a driveway onto North New Hope Road that is 235 feet from the Skycrest Drive intersection.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SPR-0087-2021: DSLCL - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 16, 2024 by Rivers and Associates.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. That the subject site demonstrate compliance with short term and long term bicycle parking requirements in UDO Section 7.1.2.C and UDO Section 7.1.8. In addition, the applicant must provide bike rack placement details in accordance with the Raleigh Street Design B-20.01. Demonstrate compliance with Raleigh Street Design Manual B-20.01. by providing Bike Rack Placement detail in an inset. Please review the following link for standard detail dimensions: <https://cityofraleigh0drupal.blob.core.usgovcloudapi.net/drupal-prod/COR16/B-20.01.p>



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2. That the lighting plan will provide detail of lighting pole height demonstrating compliance to Z-26-97, #3.
3. Upon submittal of the new/revised SPR, please include the revised AA, and the revised plan set (Sunset Extension and Revision) in the SPR packet.
4. Cover sheet - For clarification please add a response to each of the 12 zoning conditions (Z-26-97) explaining how this plan meets each condition.

Engineering

5. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
6. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Public Utilities

7. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

8. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
9. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
10. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:



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Engineering

1. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

The plan does not fully show the 5' Utility Placement Easement below the driveway. The 5' UPE is to be across the entirety of the frontage including the driveway.

2. A cross access agreement shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

The cross access easement is to be labeled as such on the plan.

3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

Stormwater

4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
2. A fee-in-lieu for 1' sidewalk width along both frontages shall be paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.



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Stormwater

4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

5. A public infrastructure surety for 6 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion of infrastructure.
6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 6 street trees along N. New Hope Road.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all right-of-way street trees by Urban Forestry Staff.
3. All street lights and street signs required as part of the development approval are installed.
4. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

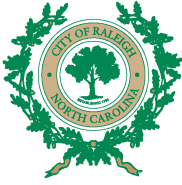
Stormwater

5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
6. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

New Expiration Date: July 26, 2025

Submit a valid building permit for the total area of the project, or a phase of the project.



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4-Year Completion Date:

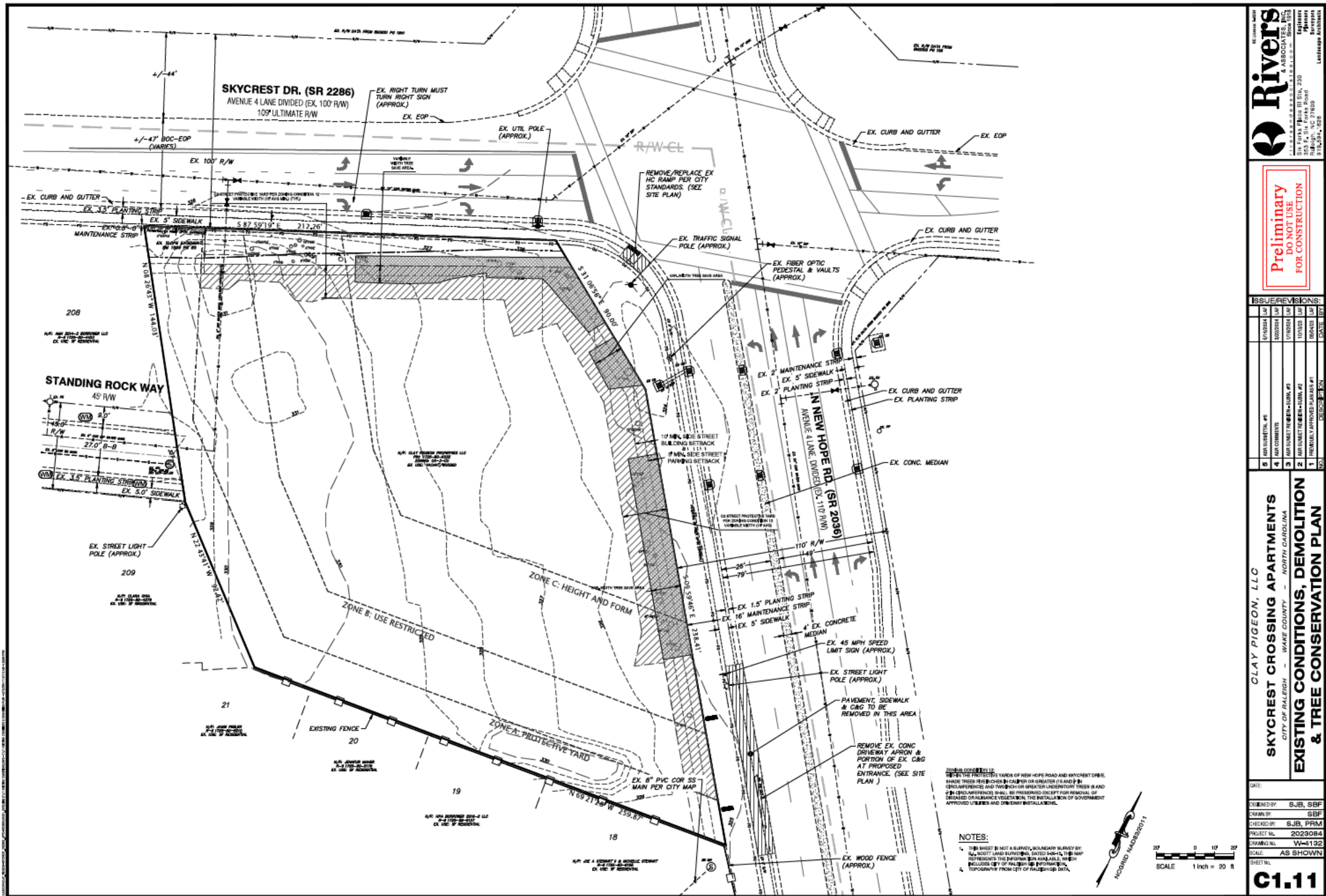
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____ Date: 07/26/2024
Development Services Dir/Designee
Staff Coordinator: Michael Walters

SUBMITTAL #5 - 05-16-2024

Do Not Use for Construction - PRELIMINARY



Rivers
LANDSCAPE ARCHITECTS

Preliminary
DO NOT USE
FOR CONSTRUCTION

ISSUE/REVISIONS	
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100	ISSUE/REVISIONS

CLAY PIGEON, LLC

SKYCREST CROSSING APARTMENTS

EXISTING CONDITIONS, DEMOLITION & TREE CONSERVATION PLAN

DATE:

CREATED BY: SJB, SBF

DRAWN BY: SBF

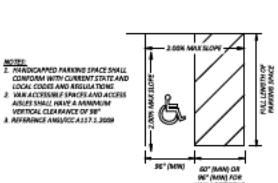
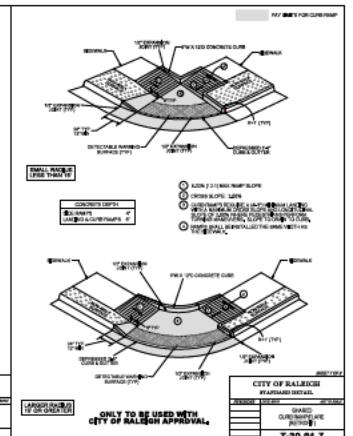
CHECKED BY: SJB, PRM

PROJECT NO.: 2023084

DRAWING NO.: W-1132

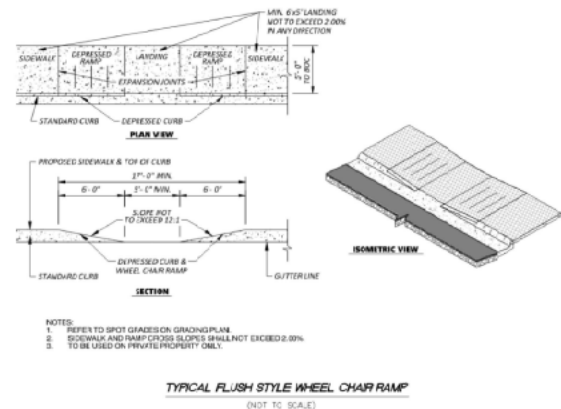
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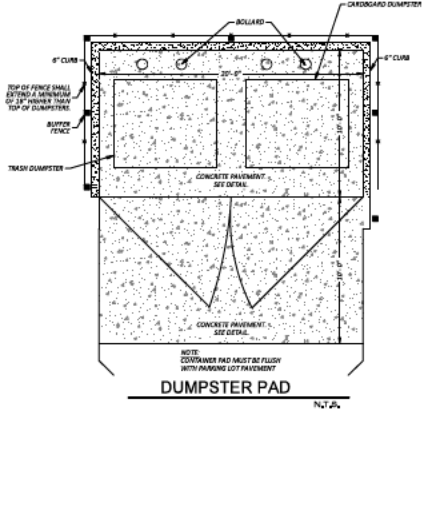
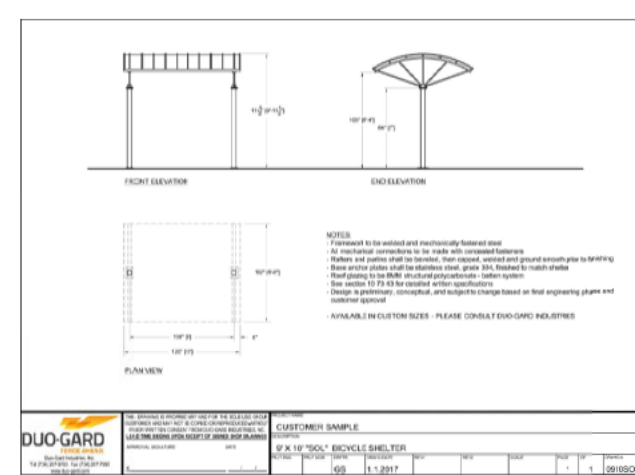
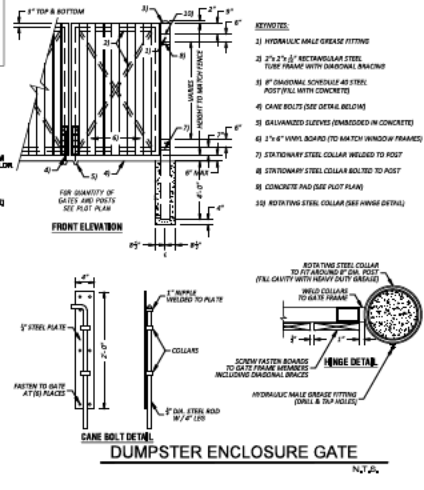
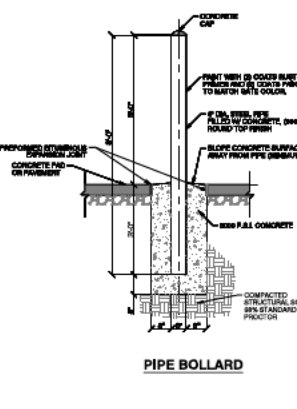
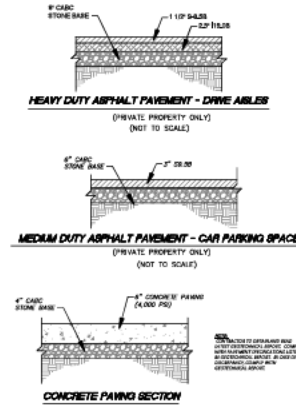
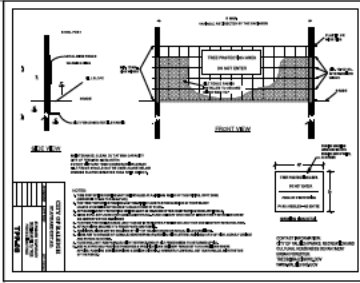
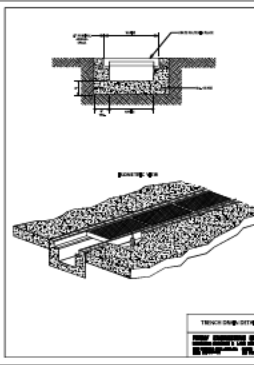
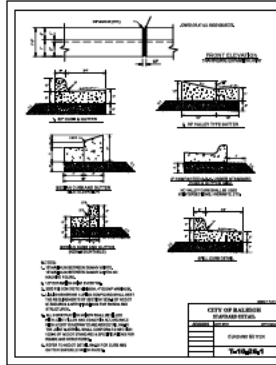
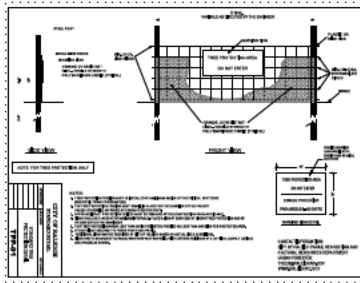
SHEET NO.: C1.11



HANDICAP PARKING

Diagram illustrating a Type IIIA stormwater management system. The system is shown in cross-section, featuring a road with a 10% slope, a 10% slope, and a 10% slope. The system includes a 10% slope, a 10% slope, and a 10% slope. The diagram is labeled "TYPE IIIA" and includes a legend for "STORMWATER MANAGEMENT SYSTEM" and "TYPE IIIA".





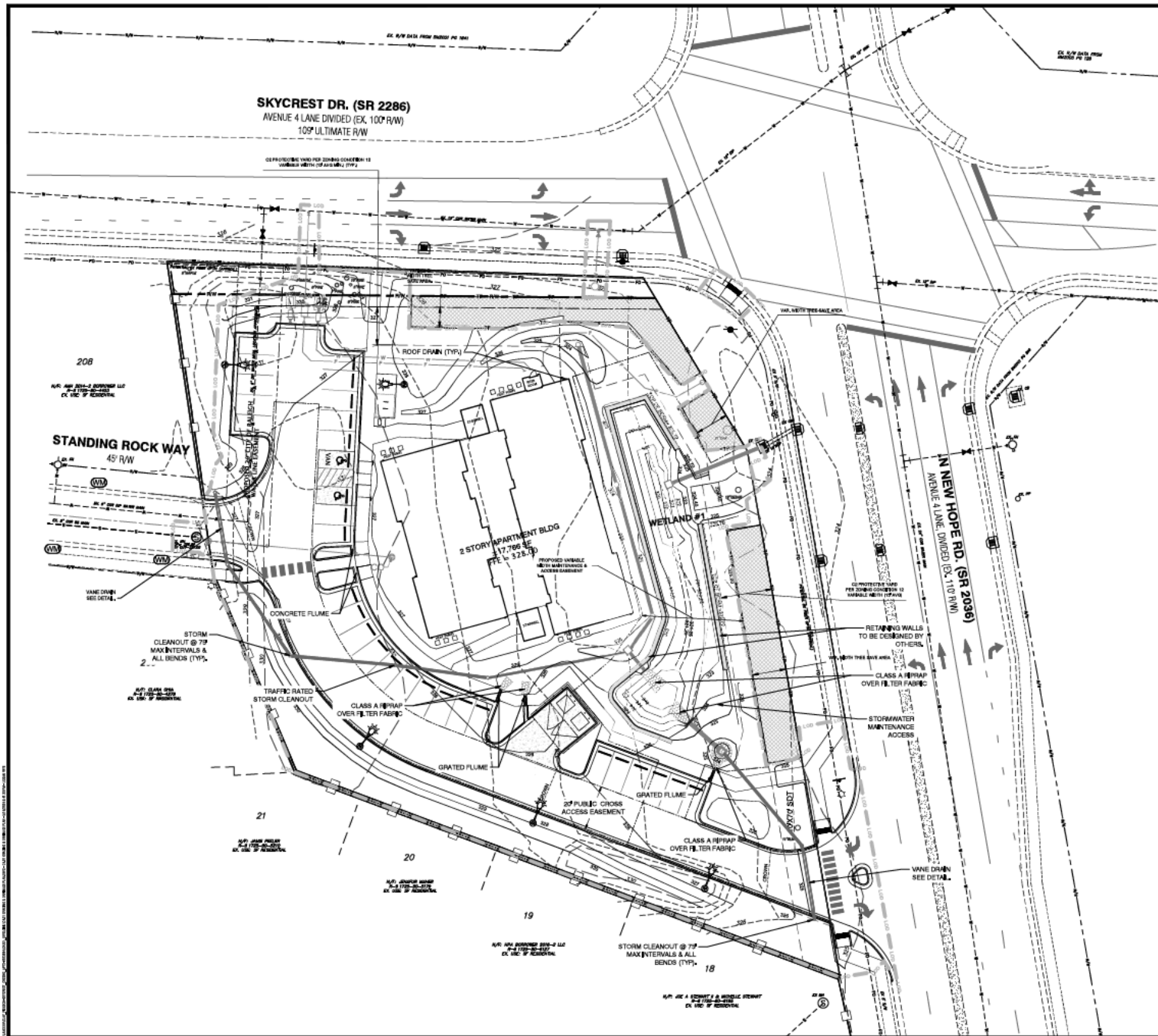
Rivers
ARCHITECTS & ENGINEERS
300 E. 1st Street, Suite 200
Greenville, SC 29601
(864) 234-1234

SKYCREST CROSSING APARTMENTS
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

SITE DETAILS

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
7	ISSUED FOR PERMIT
8	ISSUED FOR PERMIT
9	ISSUED FOR PERMIT
10	ISSUED FOR PERMIT

DATE:	2023.08.14
DESIGNED BY:	TAH
DRAWN BY:	TAH
CHECKED BY:	SJB, PRM
PROJECT NO.:	2023084
DRAWING NO.:	W-132
SCALE:	AS SHOWN
SHEET NO.:	2.52



NOTE:
ALL STORM PIPES AND STRUCTURES
TO BE DESIGNED AND SIZED AT SPR
SUBMITTAL.

SCALE 1 inch = 20 ft

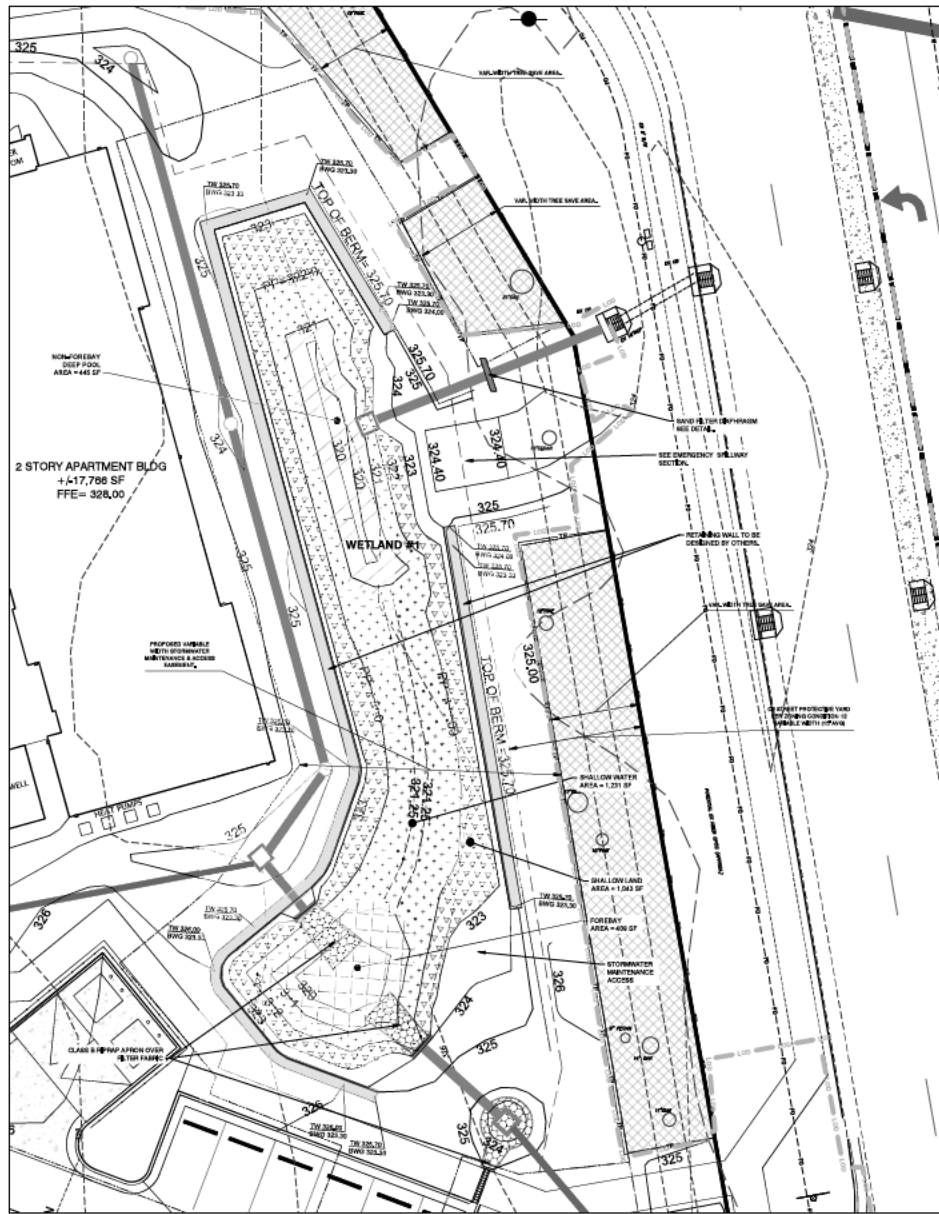


Preliminary
DO NOT USE
FOR CONSTRUCTION

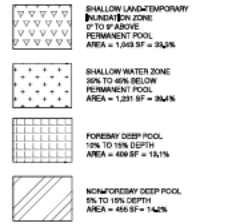
ISSUE/REVISIONS	DATE	BY
1. PRELIMINARY APPROVED PLAN #1	08/01/2020	SBF
2. PRELIMINARY APPROVED PLAN #2	08/01/2020	SBF
3. PRELIMINARY APPROVED PLAN #3	08/01/2020	SBF
4. PRELIMINARY APPROVED PLAN #4	08/01/2020	SBF
5. PRELIMINARY APPROVED PLAN #5	08/01/2020	SBF

CLAY PIGEON, LLC
SKYCREST CROSSING APARTMENTS
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA
GRADING & DRAINAGE PLAN

DATE: 08/01/2020
CREATED BY: SBF
DRAWN BY: SBF
CHECKED BY: SJB
PROJECT NO: 2020084
DRAWING NO: W-1132
SCALE: AS SHOWN
C4.01



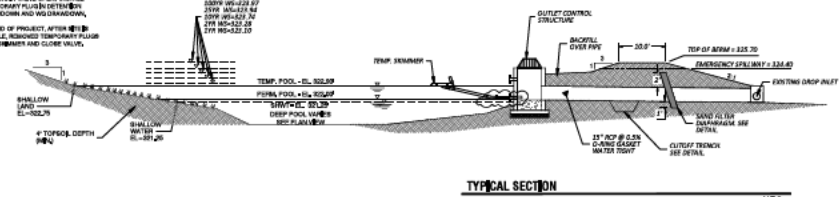
WETLANDS LEGEND



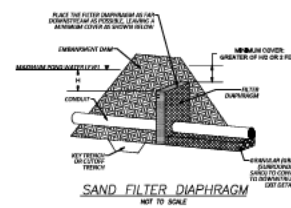
TOTAL WETLAND AREA AT TEMP. POOL ELEV. 3,128.00'

OUTLET CONTROL STRUCTURE NOTES

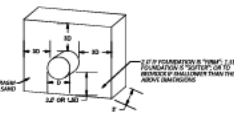
- STRUCTURE SHALL BE PRECAST CONCRETE.
- PRECASTER SHALL DESIGN AND FURNISH ALL STEEL REINFORCING, WALL THICKNESS AND FINISHES.
- MANUFACTURE SHALL CONSTRUCT AS ONE SECTION WITH NO JOINTS OR SEAMS. ALL JOINTS SHALL BE WATER TIGHT. THEY SHALL BE CONSTRUCTED FOR INTERLAYERED PLATES 12" X 12" 304 STAINLESS STEEL PLATE SHALL HAVE 1/4" GALVANIZED STEEL BOLTS 10" ON CENTER, FOR ANTI-CORROSION.
- THROUGHOUT GRADING OPERATIONS, TEMPORARY DAMPERS SHALL BE PLACED AND DRAIN VALVE TIGHT. INSTALL TEMPORARY PLUGS TO PREVENT DRAINAGE AND NO DRAINAGE.
- AT END OF PROJECT, AFTER 10% GRADE, REMOVE TEMPORARY PLUGS AND REINSTATE DRAINAGE.



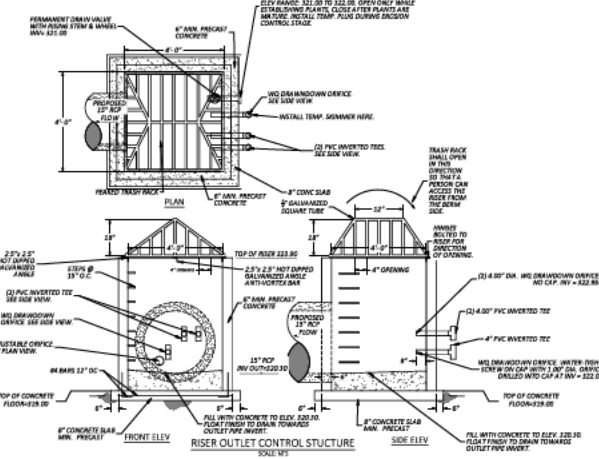
ADJUSTABLE ORIFICE



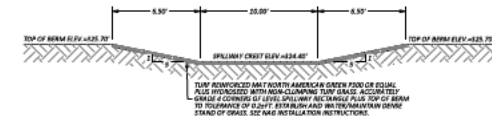
SAND FILTER DIAPHRAGM



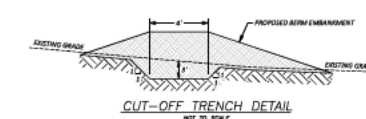
SAND FILTER DIAPHRAGM



TYPICAL SECTION



EMERGENCY SPILLWAY SECTION



CUT-OFF TRENCH DETAIL



SCALE: 1" = 10'

NOTE:
ALL STORM PIPES AND STRUCTURES
TO BE DESIGNED AND SIZED AT SPR
SUBMITTAL.

Preliminary
DO NOT USE
FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	01/10/2024	ISSUED FOR PERMIT
2	01/10/2024	ISSUED FOR PERMIT
3	01/10/2024	ISSUED FOR PERMIT
4	01/10/2024	ISSUED FOR PERMIT
5	01/10/2024	ISSUED FOR PERMIT
6	01/10/2024	ISSUED FOR PERMIT

CLAY PIGEON, LLC
SKYCREST CROSSING APARTMENTS
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA
WETLAND PLAN

DATE: 01/10/2024
CREATED BY: SJB, SBF
DRAWN BY: SJB, SBF
CHECKED BY: SJB, PRM
PROJECT NO: 2023084
DRAWING NO: W-1132
SCALE: AS SHOWN

C4.21

1) ALL ROOF DRAINAGE SHALL BE DIRECTED TO THE STORM DRAIN SYSTEM AND FEED INTO THE WETLAND.

CLAY PIGEON, LLC	
SKYCREST CROSSING APARTMENTS	
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA	
WETLAND PLAN	

DATE:	
DRAWN BY:	SJB, SBF
CHECKED BY:	SJB, PHM
PROJECT NO.:	2023084
DRAWING NO.:	W-4132
SCALE:	AS SHOWN
SHEET NO.	

C4.22

SKYCREST CITY OF RALEIGH	
DATE: _____	
DESIGNED BY:	SJB, SBF
DRAWN BY:	SBF
CHECKED BY:	SJB, PRM
PROJECT NO.	2023084
DRAWING NO.	W-4132
SCALE:	AS SHOWN
SHEET NO.	
C4.22	

1 - PRELIMINARY

**DAVID SIMS &
ASSOCIATES, P.C.**
CONSULTING ENGINEERS
ARBORVETUM CENTRE
100 GILES AVE, SUITE 100
WILMINGTON, NC 28403
910.791.8014
www.dsimsong.com

LIGHTING SCHEDULE

GENERAL NOTES:
1. CONNECT TO A 20/3 BREAKER IN BUILDING HOUSE PANEL. PROVIDE PHOTOCELL, CLOCK CONTROL. WIRE SIZE SHALL BE 2#6, 1/100 IN 1 1/2' C.

- ☐ C406.1.1 MORE EFFICIENT MECHANICAL EQUIPMENT
- ☒ C406.1.2 REDUCED LIGHTING POWER DENSITY
- ☐ C406.1.3 ENHANCED LIGHTING CONTROLS
- ☐ C406.1.4 ON-SITE SUPPLY OF RENEWABLE ENERGY
- ☐ C406.1.5 PROVISION OF A DEDICATED OUTDOOR AIR SYSTEM FOR CERTAIN HVAC EQUIPMENT
- ☐ C406.1.6 HIGH-EFFICIENCY SERVICE WATER HEATING

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THIS BUILDING COMPLIES WITH THE THERMAL ENVELOPE REQUIREMENTS OF THE LATEST NORTH CAROLINA STATE ENERGY CODE.

NAME: DAVID SINS JR. PE

Diagram illustrating the components and specifications of a pole base:

- ANCHOR BOLTS PROVIDED BY POLE MANUFACTURER**
- PAINT NUTS & BOLTS TO PREVENT RUSTING. LEVEL**
- W/ BOTTOM LEVELING NUTS & SHIMS THEN GO**
- NON-SWIRL NON-METALLIC GROUT. PROVIDE**
- 2" DIAMETER PASS FOR WATER TO DRAIN FROM**
- POLE THROUGH GROUT ON THE SIDE OF THE POLE**
- POLE BASE CONE - ANCHOR PER**
- MANUFACTURER'S RECOMMENDATIONS**
- ANCHOR BOLTS BY POLE MANUFACTURER**
- 3000 PSI CONE. BASE**
- REINFORCING STEEL**
 - (4) #3 VERT. / #3 TIES
 - 1" C W/ BUSHINGS
- POLE HE**

10" TO 12"
13" TO 20"
21" TO 30"
31" TO 40"
- GRIND POLE BASE, 2" MIN. #4 BASE STEEL**
- HANDLE**
- FINISHED GRACE**
- EPOXY/HEMIC CHOWEL**
- GRIND POLE #4 1/2" CLUST**

POLE HEIGHT	A	B
8' TO 12'	35"	12"
13' TO 20'	42"	16"
21' TO 30'	72"	24"
31' TO 40'	78"	30"

NOTES:

1. PAVE CONCRETE WITH SMOOTH FIBERED FORM. STRIP SIGNATURE FORM AFTER CURING.
2. HARDENING. INCLUDING ANCHOR BOLTS AND HOTS, SHALL BE LANDSCAPED AREA.
3. 3000 PSI CONCRETE SHALL HAVE A 18 DAY CURE.
4. EXPOSED AREA OF POLE BASE SHALL HAVE RUB FINISH AND BE CLEANED OF ALL CASING MATERIAL.
5. EXPOSED AREA OF POLE BASE SHALL BE FINISHED WITH A FINISH MATCHING THE TOP OF THE CONCRETE BASE SHALL BE FLUSH WITH ADJACENT AREA SO THAT POLE BASE DOEN BITE DIRECTLY ON THE SIDEWALK.
6. THE POLE SHALL BE INSTALLED IN PAVING LOT OR AREAS IMMEDIATELY ADJACENT TO PAVING LOT OR SHALL BE 24" ABOVE GRADE. HEIGHT OF POLE BASE IN LANDSCAPED AREAS SHALL BE 4" ABOVE GRADE. E.G. SHALL OUPRIN POLE BASE HEIGHTS WITH ARCHITECT PRIOR TO INSTALLING BASE.

B LIGHT POLE BASE DETAIL
SE1 SCALE: NTS

CALCULATION SUMMARY							
AREA	CALCULATE	UNITS	AVO	MAX	MIN	AVO/MIN	MAX/MIN
PARKING	ILLUMINANCE	FC	2.70	7.3	0.9	3.50	8.11
ADJACENT PROPERTY LINES	ILLUMINANCE	FC	0.11	0.5	0.0	N/A	N/A
RIGHT OF WAY	ILLUMINANCE	FC	0.09	0.5	0.0	N/A	N/A

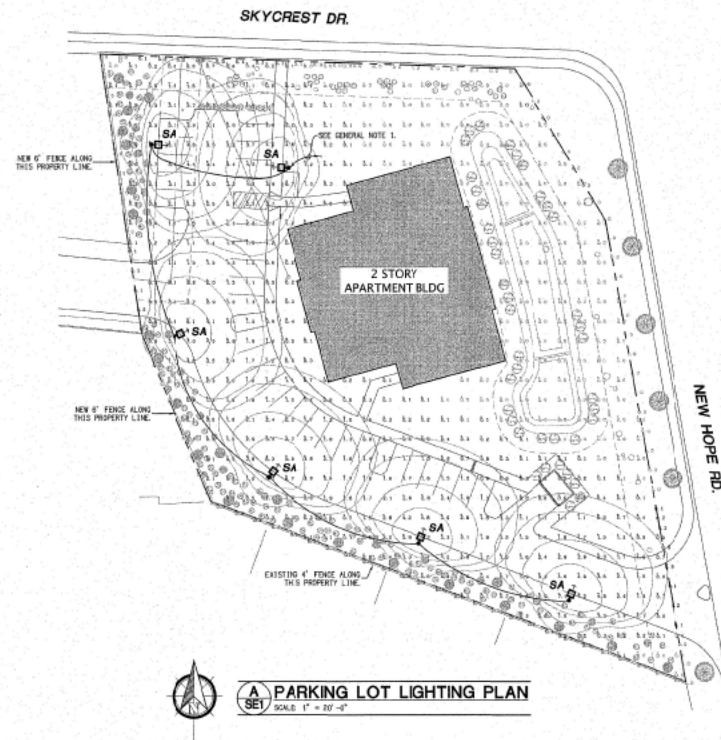
SYMBOL	DESCRIPTION	LAMP					INFO.	MODEL	MOUNTING	REMARKS	
		NO	WATT	TYPE	COLOR TEMP.	LUMENS					VOLT
SA	POLE LIGHT R/ TYPE 12 DISBURBANCE	1	100	LED	3000K	11,482	120	SIGITTY 045020	EEF-5-32L-1-8W-42 -A6-A-120-FL-8W	ARM MOUNT TO CUBE	FULL CUTOFF FIXTURE WITH FORWARD THROU VISIBILITY COLOR TEMP. SEE NOTES

1. HEIGHT OF TOP OF FIXTURE TO BE 10' 4" ABOVE SURROUNDING GRADE PER UNIFIED DEVELOPMENT ORDINANCE (UDO). VERIFY FINISH COLOR WITH OWNER.

2. PROVIDE LIGHTING, ROUND, ALUMINUM POLE. SELECTION OF POLE CROSS SECTION WILL BE SUBJECT TO WIND LOAD RATING OF SITE LOCATION, COORDINATE WITH UTILITIES.

3. FIELD SET THE LIGHT DISTRIBUTION OF PARKING AREA LIGHT FIXTURES. ARROWS ON FIXTURE SYMBOLS REPRESENT DIRECTION OF OPTIC THROW.

4. PROVIDE FUSES AT FIXTURES.



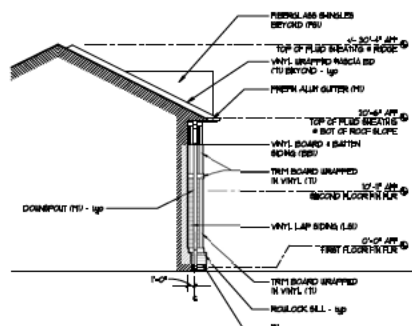
B1 MODULAR BROOK VANNER - TO BE SELECTED BY ARCHITECT
 METALS (MINI-PAK-COLORED OR APPROVED EQUAL)
 M1 PRESH ALUM GUTTER / DOWNSPUT - COLOR TO BE SELECTED BY ARCHITECT
 EXTERIOR PAINT
 F1 EXTERIOR DOORS - COLOR TO BE SELECTED BY ARCHITECT
 F1 STL STAIRS / RAILING ASSEMBLY / FURNISHMENT GUARDRAIL -
 COLOR TO BE SELECTED BY ARCHITECT
 F5 STL STAIRS AT SECOND FLOOR - INTERIOR
 COLOR TO BE SELECTED BY ARCHITECT

[illegible]

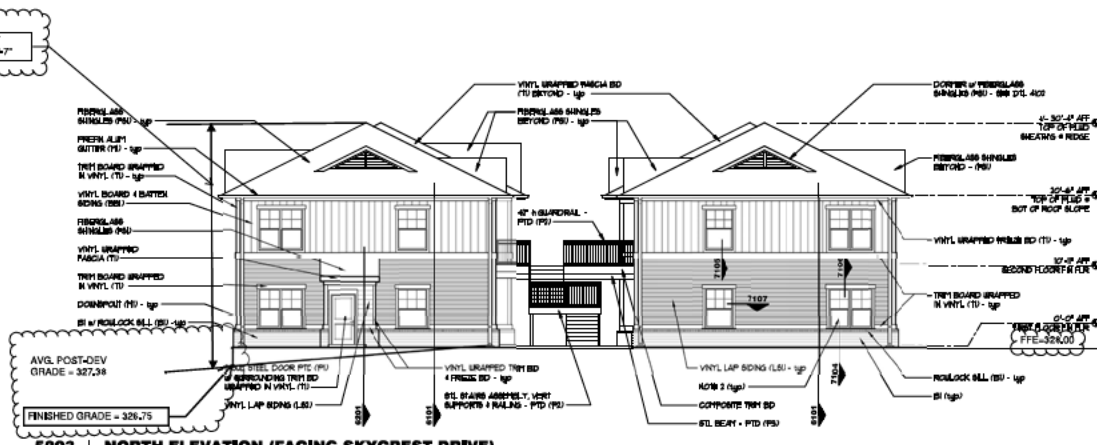
9. EXTEND ALL WINDOW HEAD TRIM BOARDS 1/2" BEYOND OUTSIDE EDGE OF WINDOW JAMB. TRIM BOARDS - sg
10. ALL TRIM BOARDS TO BE WRAPPED IN VINYL. REFER TO BULL SECTION FOR FABRIC & FINISH BOARD RULES. ALL OTHER TRIM SIZES NOT LISTED DIRECTLY ON DRAWINGS. ALL OTHER TRIM BOARDS TO BE 1/2" MIN. THICK.
 - 1" = 1" VERT TRIM AT ALL OUTSIDE BUILDING CORNERS
 - 2" = 4" AT ALL WINDOW & DOOR JAMBS, & WINDOW SILL UNLESS NOTED OTHERWISE
 - 2" = 4" AT ALL PRIME FLOOR WINDOW LEADS, & ALL DOOR LEADS
 - 2" = 6" AT ALL SECOND FLOOR WINDOW HEADS
11. SEE BLUE CROSS FOR ALL EXTERIOR LIGHT MOUNT LOCATIONS

THIS PLAN HAS BEEN EDITED
BY RIVERS & ASSOCIATES AS
CLOUDED PER CITY OF
RALEIGH ASR SUBMITTAL
REQUIREMENTS.

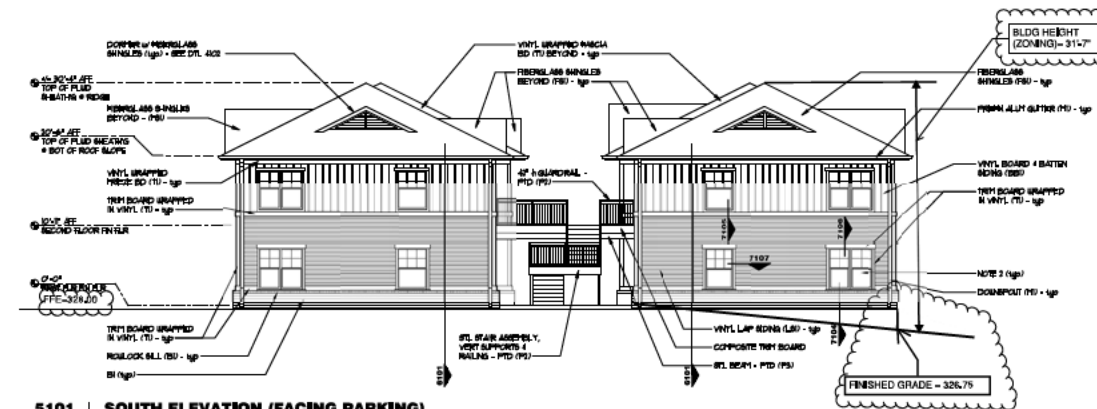
PER UDO 2.2.4F, GROUND FLOOR ELEVATION (2' MIN. ABOVE STREET CURB)		
	BUILDING 1 VEE	BUILDING 1 VEE
EXISTING BLDG FOOTPRINT AS SHOWN ON A FORDARY OF SIDE STREET	50'0"	
STREET FRONTAGE:		N NEW HOPE ROAD
STREET TOP OF CURB GRADE 1	326.00	324.50
STREET TOP OF CURB GRADE 2	325.70	324.60
AUGUST STREET ELEVATION GRADE	325.35	324.75
PROP BLDG CORNER FFE 1	326.00	326.75
PROP BLDG CORNER FFE 2	326.75	326.75
PROP AUG FFE ADJACENT TO STREET	327.38	326.75
PROP BLDG ADJACENT TO STREET	327.38	326.75


$$1/8'' = 1'-0''$$

REC01104


$$1/B'' = 1' - 0'$$

BE001104

 $1/8^{\circ} = 1.50^{\circ}$

REC0110