



Administrative Approval Action

Case File / Name: ASR-SR-78-2018
DSLCL - Skycrest Crossing Apartments

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 1.45 acre site zoned OX-3-CU (Z-26-97) is located on the southwest corner of the intersection of N. New Hope Road and Skycrest Drive at 2241 N. New Hope Road.

REQUEST: This is a SUNSET REVISION for a previously approved site plan (prior sunset date of 2/09/24 with a letter requesting extension received on 7/26/23) incorporating revisions to the previously approved right of way and utilities. The proposal is for a 17,766 square foot two story apartment building consisting of 14 units and associated infrastructure. In accordance with UDO Section 10.2.8 F the new sunset date will be 7/26/25.

One Hardship Variance has been approved by the Board of Adjustment for this project, noted below. (BOA-0006-2019)
Complete relief from the 70% primary street and 35% side street build-to requirements set forth in Sections 3.2.4.D.D2. and 3.2.4.D.D4. of the Unified Development Ordinance and a 65 foot variance from the 300 foot driveway access spacing requirements set forth in Article 9.5 of the Raleigh Street Design Manual to permit a driveway onto North New Hope Road that is 235 feet from the Skycrest Drive intersection.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: SPR-0087-2021: DSLCL - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 16, 2024 by Rivers and Associates.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. That the subject site demonstrate compliance with short term and long term bicycle parking requirements in UDO Section 7.1.2.C and UDO Section 7.1.8. In addition, the applicant must provide bike rack placement details in accordance with the Raleigh Street Design B-20.01. Demonstrate compliance with Raleigh Street Design Manual B-20.01. by providing Bike Rack Placement detail in an inset. Please review the following link for standard detail dimensions:<https://cityofraleigh0drupal.blob.core.usgovcloudapi.net/drupal-prod/COR16/B-20.01.p>



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2. That the lighting plan will provide detail of lighting pole height demonstrating compliance to Z-26-97, #3.
3. Upon submittal of the new/revised SPR, please include the revised AA, and the revised plan set (Sunset Extension and Revision) in the SPR packet.
4. Cover sheet - For clarification please add a response to each of the 12 zoning conditions (Z-26-97) explaining how this plan meets each condition.

Engineering

5. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
6. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Public Utilities

7. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

8. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
9. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
10. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:



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Engineering

1. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

The plan does not fully show the 5' Utility Placement Easement below the driveway. The 5' UPE is to be across the entirety of the frontage including the driveway.

2. A cross access agreement shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

The cross access easement is to be labeled as such on the plan.

3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

Stormwater

4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
2. A fee-in-lieu for 1' sidewalk width along both frontages shall be paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.



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Stormwater

4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

5. A public infrastructure surety for 6 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion of infrastructure.
6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 6 street trees along N. New Hope Road.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all right-of-way street trees by Urban Forestry Staff.
3. All street lights and street signs required as part of the development approval are installed.
4. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
6. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

New Expiration Date: July 26, 2025

Submit a valid building permit for the total area of the project, or a phase of the project.



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4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

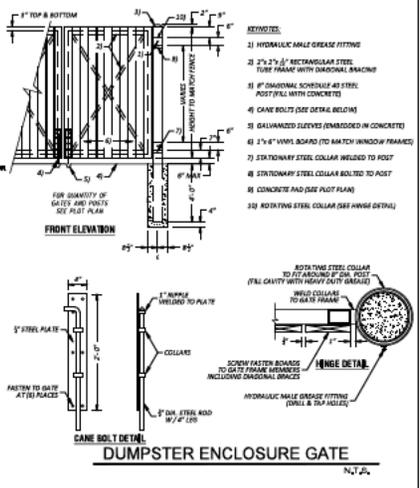
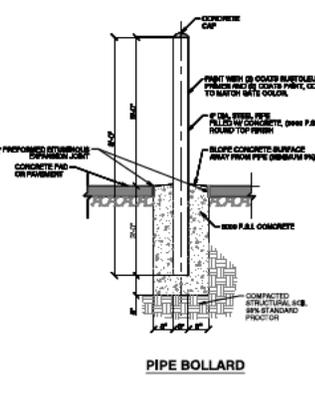
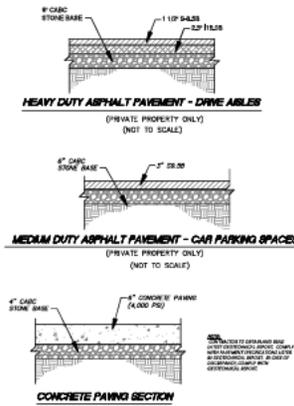
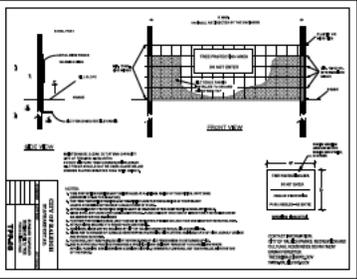
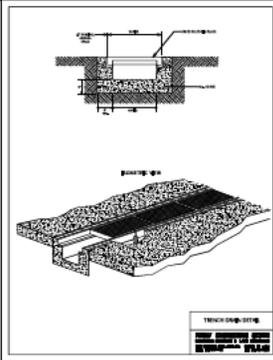
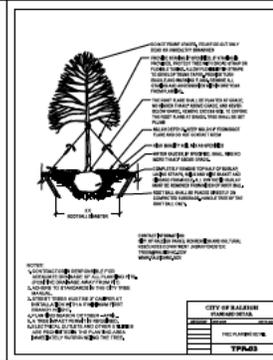
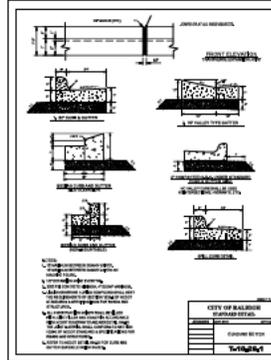
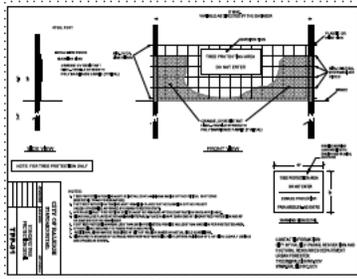
Signed: _____

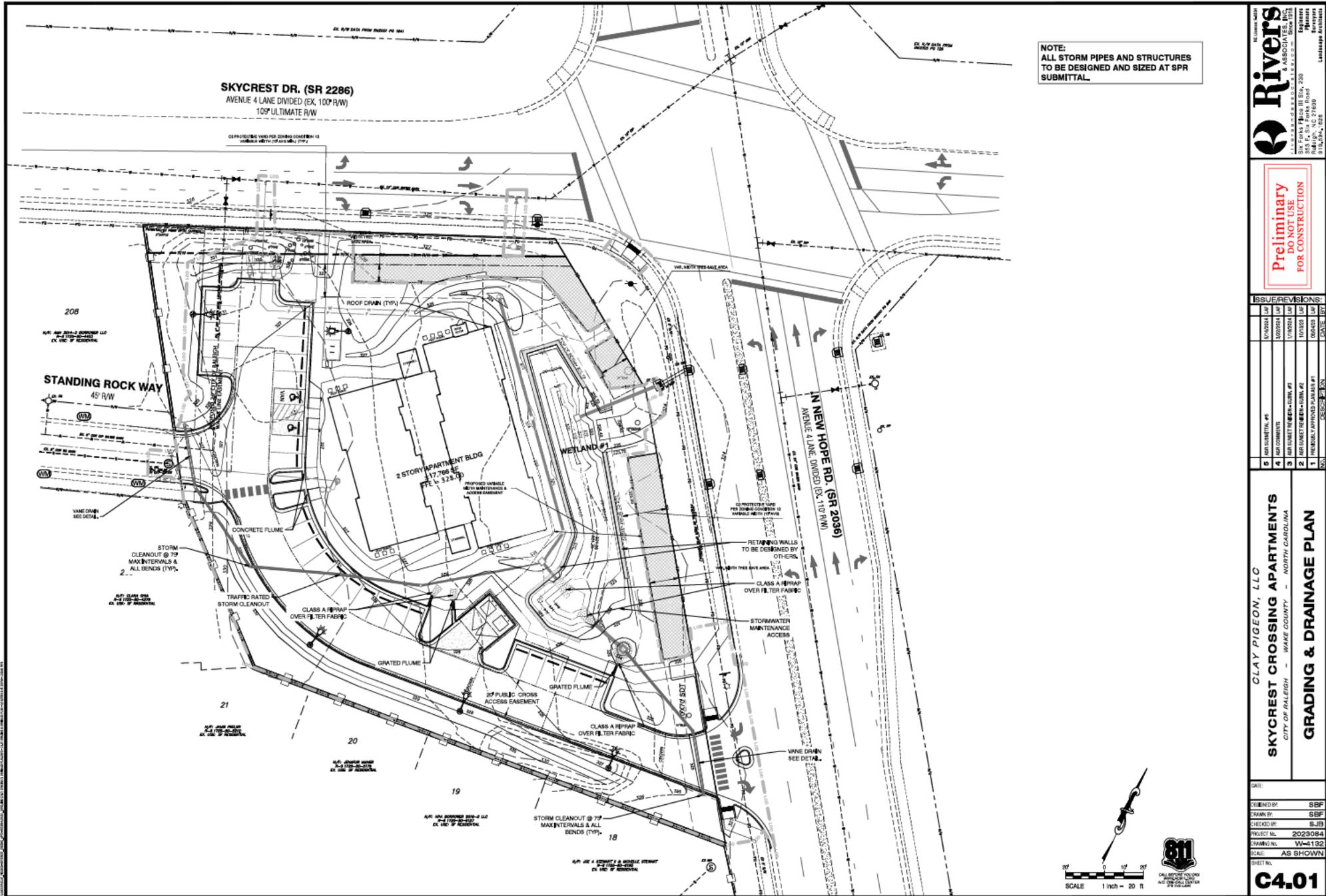
Handwritten signature of Michael Walters in black ink.

Development Services Dir/Designee

Staff Coordinator: Michael Walters

Date: 07/26/2024





NOTE:
ALL STORM PIPES AND STRUCTURES
TO BE DESIGNED AND SIZED AT SPR
SUBMITTAL.



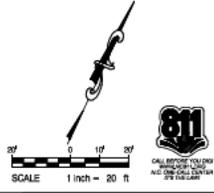
Preliminary
DO NOT USE
FOR CONSTRUCTION

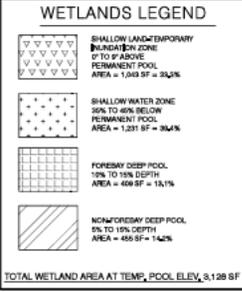
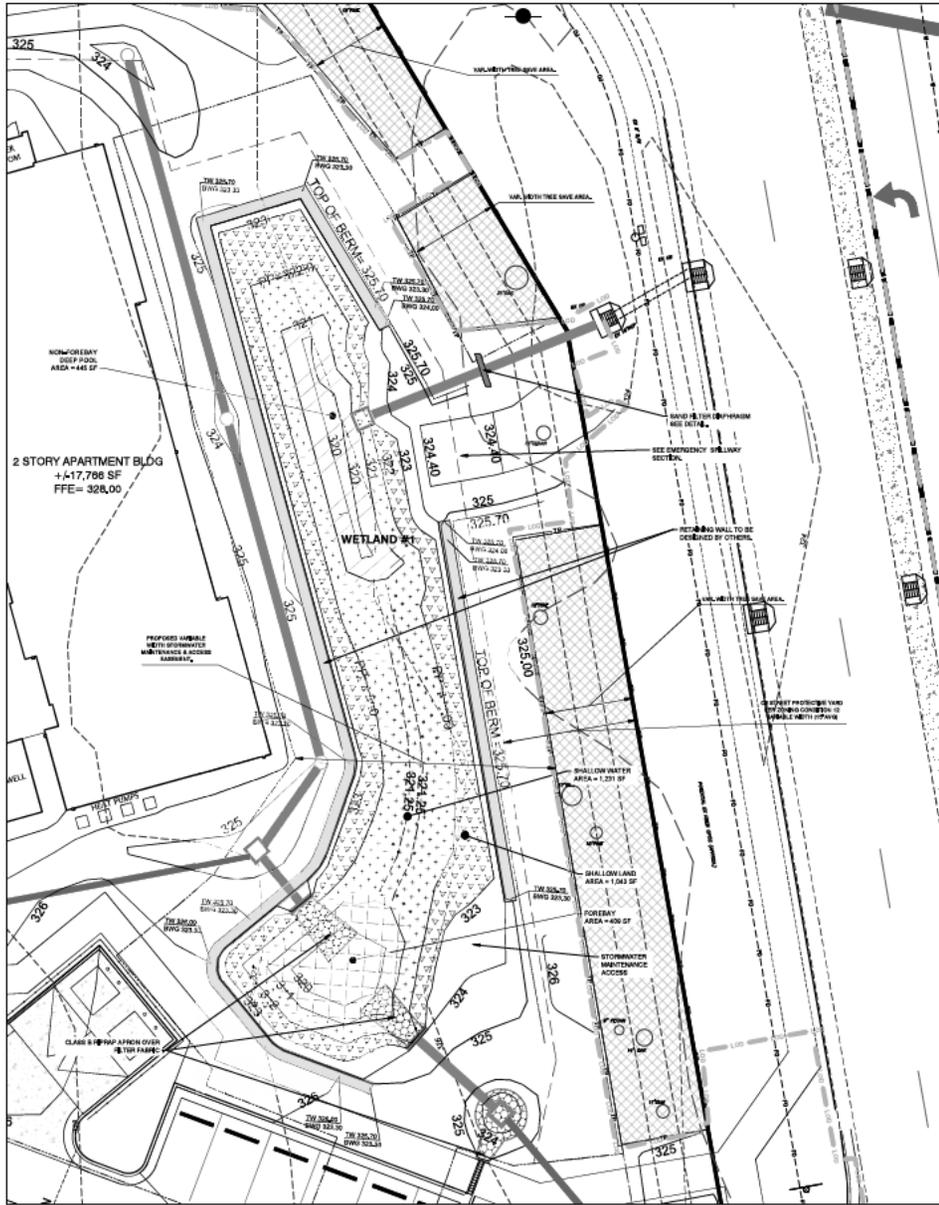
NO.	DATE	DESCRIPTION
1	08/14/2024	PRELIMINARY APPROVAL
2	08/14/2024	REVISED PER COMMENTS
3	08/14/2024	REVISED PER COMMENTS
4	08/14/2024	REVISED PER COMMENTS
5	08/14/2024	REVISED PER COMMENTS

CLAY PIGEON, LLC
SKYCREST CROSSING APARTMENTS
 CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA
GRADING & DRAINAGE PLAN

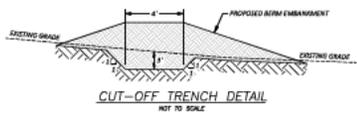
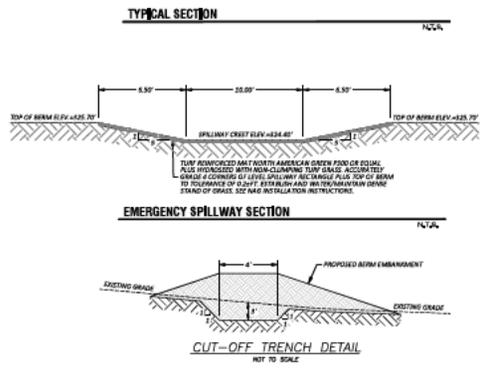
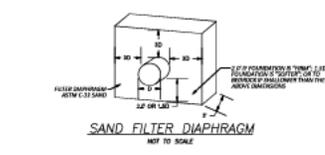
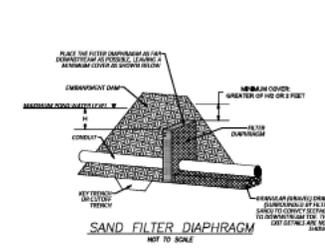
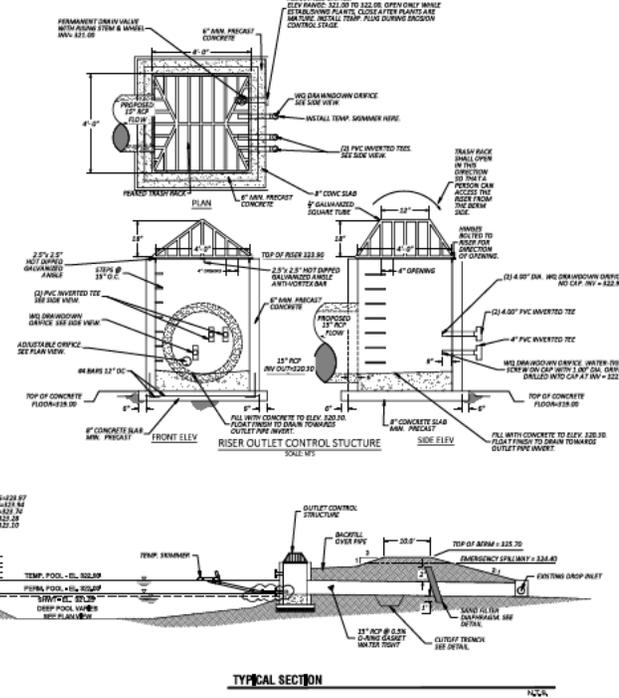
DATE:	
DESIGNED BY:	SBF
DRAWN BY:	SBF
CHECKED BY:	SJB
PROJECT NO.:	2023084
DRAWING NO.:	W-1132
SCALE:	AS SHOWN

C4.01





- #### OUTLET CONTROL STRUCTURE NOTES
- STRUCTURE SHALL BE PRECAST CONCRETE.
 - PRECASTOR SHALL DESIGN AND FURNISH ALL STEEL REINFORCING WALL THICKNESS AND SPACING.
 - MANUFACTURE SHALL CONCRETE AS ONE SECTION WITH NO JOINTS OR SEAMS.
 - ANY JOINTS SHALL BE WATER TIGHT AND BE CONSTRUCTED FOR ANTI-LEAKAGE. THEY SHALL HAVE AN ANTI-LEAKAGE PLATE 1/2" X 1/2" X 1/2" GALVANIZED STEEL. EACH PLATE SHALL HAVE AN ANTI-LEAKAGE BOLT OF GALV. STEEL FOR ANTI-LEAKAGE.
 - THROUGHOUT GRAVITY OPERATION, TEMPORARY PLUGGER SHALL BE PLACED AND DRAWN IN PLACE. INVERT, INVERT, TRANSFORMER PLUGGER BE TIGHTENED DIRECTIONAL AND DISCREETION.
 - AT END OF PROJECT, AFTER TESTS, GRADE, REMOVE TEMPORARY PLUGGER AND REINSTATE AND CLOSE VALVE.



NOTE:
ALL STORM PIPES AND STRUCTURES TO BE DESIGNED AND SIZED AT SPR SUBMITTAL.



Rivers & Associates
INCORPORATED
310 Park Lane, Suite 200
Charlotte, NC 28204
919.286.1234

**Preliminary
DO NOT USE
FOR CONSTRUCTION**

ISSUE/REVISIONS	
NO.	DESCRIPTION
1	PRELIMINARY APPROVAL
2	REVISED
3	REVISED
4	REVISED
5	REVISED
6	REVISED

CLAY PIGEON, LLC
SKYCREST CROSSING APARTMENTS
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

WETLAND PLAN

DATE: _____

DESIGNED BY: SJB, SBF

DRAWN BY: SBF

CHECKED BY: SJB, PRM

PROJECT NO: 2023084

DRAWING NO: W-1132

SCALE: AS SHOWN

C4.21

**ELECTRICAL SUMMARY
ELECTRICAL SYSTEM AND EQUIPMENT**

METHOD OF COMPLIANCE:
ENERGY CODE: PRESCRIPTIVE PERFORMANCE
ASHRAE 90.1: PRESCRIPTIVE PERFORMANCE

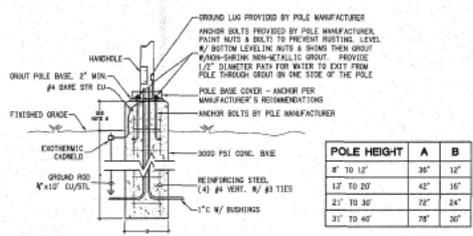
LIGHTING SCHEDULE
LAMP TYPE REQUIRED IN FIXTURE - SEE PLANS
NUMBER OF LAMPS IN FIXTURE - SEE PLANS
BALLAST TYPE USED IN THE FIXTURE - SEE PLANS
NUMBER OF BALLASTS IN FIXTURE - SEE PLANS
TOTAL WATTAGE PER FIXTURE - SEE PLANS
TOTAL INTERIOR WATTAGE SPECIFIED VS ALLOWED - N/A
TOTAL EXTERIOR WATTAGE SPECIFIED VS ALLOWED - SPECIFIED WATTAGE IS LESS THAN BASE SIZE ALLOWANCE

ADDITIONAL PRESCRIPTIVE COMPLIANCE:
 C406.1.1 MORE EFFICIENT MECHANICAL EQUIPMENT
 C406.1.2 REDUCED LIGHTING POWER DENSITY
 C406.1.3 ENHANCED LIGHTING CONTROLS
 C406.1.4 ON-SITE SUPPLY OF RENEWABLE ENERGY
 C406.1.5 PROVISION OF A DEDICATED OUTDOOR AIR SYSTEM FOR CERTAIN HVAC EQUIPMENT
 C406.1.6 HIGH-EFFICIENCY SERVICE WATER HEATING

DESIGNER'S STATEMENT
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THIS BUILDING COMPLIES WITH THE THERMAL ENVELOPE REQUIREMENTS OF THE LATEST NORTH CAROLINA STATE ENERGY CODE.

SIGNED: _____
NAME: DAVID SIMS, P.E.
TITLE: ENGINEER

GENERAL NOTES
1. CONNECT TO A 30/1 BREAKER IN BUILDING SERVICE PANEL. PROVIDE PHOTOCELL, CLOCK CONTROL, WIRE SIZE SHALL BE 2#8-1#100 IN 1/2".



- NOTES:**
1. FORM CONCRETE WITH SCHEDULE 40 STEEL STRIP SCHEDULE FORM AFTER DURING.
2. ALL REBAR, INCLUDING ANCHOR BOLTS AND TIES, SHALL BE GALVANIZED.
3. 3000 PSI CONCRETE SHALL HAVE A 28 DAY CURE.
4. EXPOSED AREA OF POLE BASE SHALL HAVE RUB FINISH AND BE CLEARED OF ALL CASING MATERIAL.
5. WHEN POLE BASE IS LOCATED IN FINISHED SIDEWALK OR SIMILAR FINISHED AREA, THE TOP OF THE CONCRETE BASE SHALL BE FLUSH WITH ADJACENT AREA OR THAT POLE POLE BASE CENTER SET DIRECTLY ON THE SIDEWALK.
6. HEIGHT OF POLE BASE ABOVE FINAL GRADE ON PARKING LOT OR AREAS IMMEDIATELY ADJACENT TO PARKING LOT SHALL BE 24" ABOVE GRADE. HEIGHT OF POLE BASE IN LANDSCAPED AREAS SHALL BE 4" ABOVE GRADE. E.C. SHALL CONFORM POLE BASE HEIGHTS WITH APPROVEE PRIOR TO INSTALLING BASE.

B LIGHT POLE BASE DETAIL
SCALE: NTS

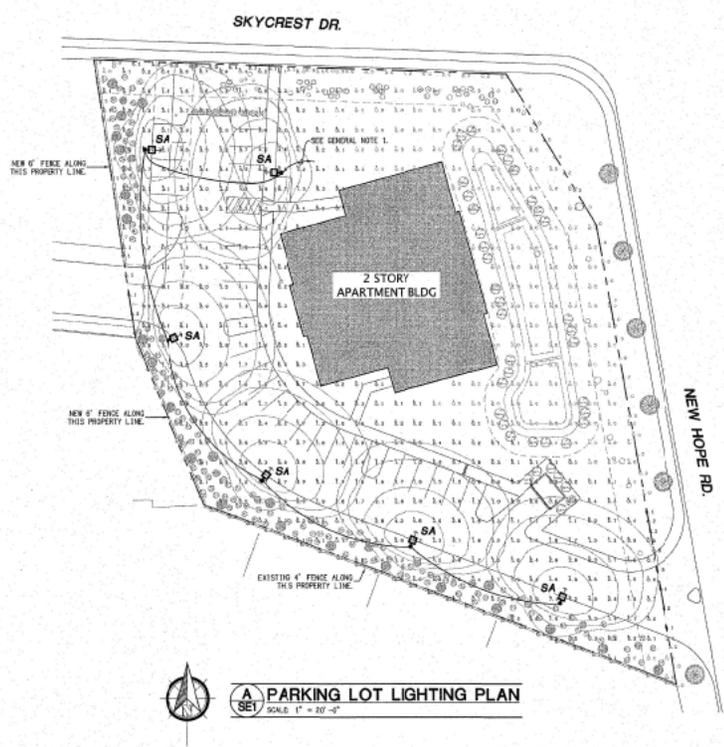
CALCULATION SUMMARY

AREA	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/STH	MAX/STH
PARKING	ILLUMINANCE	FC	2.70	7.3	0.9	3.20	8.11
ADJACENT PROPERTY LINES	ILLUMINANCE	FC	0.11	0.5	0.0	N/A	N/A
RIGHT OF WAY	ILLUMINANCE	FC	0.09	0.5	0.0	N/A	N/A

LIGHTING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	NO	WATT	LAMP			INFO	MODEL	MOUNTING	REMARKS	
				COLOR TEMP	LUMENS	VOLT					
SA	POLE LIGHT #7 TYPE IV DISTRIBUTION	1	306	LED	3000K	51,482	120	SIQ107	EP-5-20L-11-88-C2-AB-4-10-F-04	ARM MOUNT TO POLE	FINAL LIGHT FIXTURE WITH FORWARD THROU. VERIFY COLOR TEMP. SEE NOTES.

- LIGHTING FIXTURE SCHEDULE NOTES:**
1. HEIGHT OF TOP OF FIXTURE TO BE 10' ABOVE SURROUNDING GRADE PER UNIFIED DEVELOPMENT ORDINANCE (UDO). VERIFY FINISH COLOR WITH OWNER. PROVIDE STRAIGHT, ROUND, ALUMINUM POLE. SELECTION OF POLE CROSS SECTION WILL BE SUBJECT TO WIND LOAD RATING OF SITE LOCATION. COORDINATE WITH SUPPLIER.
2. FIELD SET THE LIGHT DISTRIBUTION OF PARKING AREA LIGHT FIXTURES. ARROWS ON FIXTURE SYMBOLS REPRESENT DIRECTION OF OPTIC THROU.
3. PROFILE PAGES AT FIXTURES.



DATE PLOTTED: 04/11/2020 11:05:11 AM PROJECT: 2241 NORTH NEW HOPE ROAD



01/22/2020

#	DATE	REVISIONS

© 2020

SITE LIGHTING at SKYCREST CROSSING APARTMENTS
Site Lighting
2241 North New Hope Road
Raleigh, North Carolina

JOB # 19204
DATE 01.14.20
DRAWN -

SHEET
SE1

MATERIAL LIST

- MASONRY**
 M MODULAR BRICK VENEER - TO BE SELECTED BY ARCHITECT
- METALS** (MANUF. Pkg-CLOD OR APPROVED EQUAL)
 M PREFIN ALUM GUTTER & DOWNSPOUT - COLOR TO BE SELECTED BY ARCHITECT
- EXTENSION PAINT**
 M1 EXTERIOR DOORS - COLOR TO BE SELECTED BY ARCHITECT
 M2 STL STAIRS & RAILING ASSEMBLY & STAIRWAY GUARDRAIL - COLOR TO BE SELECTED BY ARCHITECT
 M3 STL BEAMS AT SECOND FLR ELEVATION - COLOR TO BE SELECTED BY ARCHITECT

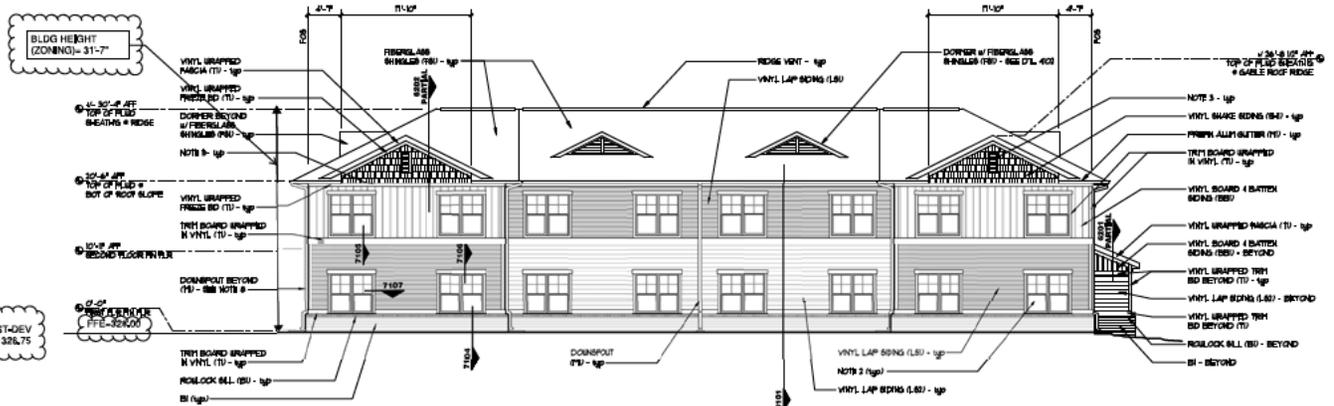
- FIBERGLASS SHINGLES** (MANUF. CONTAINED OR APPROVED EQUAL)
 F1 FIBERGLASS SHINGLES & STYLE & COLOR TO BE SELECTED BY ARCHITECT
- VINYL SIDING & TRIM** (MANUF. CONTAINED OR APPROVED EQUAL)
 S1 VINYL BOARD & BATTEN SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S2 VINYL SHAKE SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S3 VINYL BOARD & BATTEN SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S4 VINYL SHAKE SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S5 VINYL BOARD & BATTEN SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S6 VINYL SHAKE SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S7 VINYL BOARD & BATTEN SIDING - STYLE TO BE SELECTED BY ARCHITECT
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 S44 VINYL SHAKE SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S45 VINYL BOARD & BATTEN SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S46 VINYL SHAKE SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S47 VINYL BOARD & BATTEN SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S48 VINYL SHAKE SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S49 VINYL BOARD & BATTEN SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S50 VINYL SHAKE SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S51 VINYL BOARD & BATTEN SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S52 VINYL SHAKE SIDING - STYLE TO BE SELECTED BY ARCHITECT
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 S98 VINYL SHAKE SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S99 VINYL BOARD & BATTEN SIDING - STYLE TO BE SELECTED BY ARCHITECT
 S100 VINYL SHAKE SIDING - STYLE TO BE SELECTED BY ARCHITECT

ELEVATION NOTES

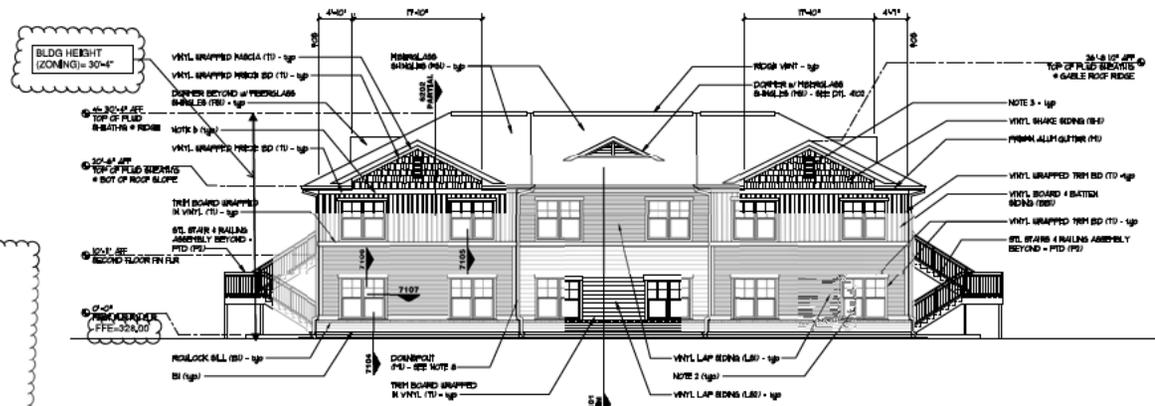
1. AT DOWNSPOUTS (NOT ADJACENT TO BREWERY), DOWNSPOUTS ARE TO EXTEND THROUGH SECOND FLOOR BREWERY DECKING ASSEMBLY & DOWN TO FIRST FLOOR BREWERY BELOW PROVIDING PVC BOOT IN FIRST FLOOR BREWERY BLUM # 1 IS ON 100% PVC BOOT. PIPING TO EXTEND UNDER BREWERY BLUM # 4 TO EXTEND TO DAYLIGHT ON SITE COORD W/ CIVIL. DRAIN LOCATE DOWNSPOUT 1'-0" FROM CORNER OF BUILDING IN AREA INDICATED IN PLAN (TO CENTER OF DRAIN OR AS DEFINED OTHERWISE ON ELEVATION).
2. TYPICAL WINDOWS TO BE VINYL SINGLE HUNG WINDOWS INDICATED - 1/2" SEE WINDOW ELEVATIONS ON 8/17/21 & 2/15/22 FOR TRIM TIES.
3. WHERE INDICATED, INFALL PREFIN ALUM LOUVERED VENTS ARE TO BE 1/2" WIDE x 3/4" H. TOP OF HUBS TO BE 1'-0" BELOW AREA OF FINISH SO THEY ARE PREFIN COLOR OF VENT TO MATCH PER COLOR OF VINYL WRAPPED TRIM BOARD.
4. ALL MAJOR AND MINOR COMPONENTS OF THE BUILDING MUST MEET ALL CODE REQUIREMENT FOR WIND EXPOSURE.
5. WHERE INDICATED, INFALL 2" x 8" MD TRIM BOARD WRAPPED IN VINYL ALUM BOY W/ BOT OF ADJACENT FREE BO TRIM.
6. DOWNSPOUTS w/ LOUVERED VENT - SEE DET. 403.
7. ALL VINYL SIDING & TRIM BOARD WRAP TO BE INFILLED PER MANUF RECOMMENDATIONS & REQUIREMENTS.
8. AT ALL DOWNSPOUTS (NOT ADJACENT TO BREWERY), PROVIDE SPINA BLUMS AT BASE LOCATE DOWNSPOUTS 1" FROM CORNER OF BUILDING WERE INDICATED IN PLAN (TO CENTER OF DRAIN OR AS DEFINED OTHERWISE ON ELEVATION).

9. EXTEND ALL WINDOW LEAD TRIM BOARDS 1/2" BEYOND EDGE OF WINDOW LEAD TRIM BOARDS - 1/2".
10. ALL TRIM BOARD TO BE WRAPPED IN VINYL REFER TO WALL SECTIONS FOR FINISH & FINISH BOARD BLUM # ALL OTHER TRIM BOARDS NOT LISTED DIRECTLY ON ELEVATION ALL OTHER TRIM BOARD BLUM SHALL BE AS FOLLOWS:
 - 1" x 4" VENT TRIM AT ALL OUTSIDE BUILDING CORNERS
 - 2" x 4" AT ALL WINDOW & DOOR JAMBS & WINDOW SILL (SILL NOT OTHERWISE NOTED OTHERWISE)
 - 2" x 4" AT ALL FIRST FLOOR WINDOW LEADS & ALL DOOR LEADS
 - 2" x 4" AT ALL SECOND FLOOR WINDOW LEADS
11. SEE LUMS DECK FOR ALL EXTERIOR LIGHTING LOCATIONS.

THIS PLAN HAS BEEN EDITED BY RIVERS & ASSOCIATES AS CLOUDED PER CITY OF RALEIGH ASR SUBMITTAL REQUIREMENTS.



5102 EAST ELEVATION (FACING N. NEW HOPE RD.)
 1/8" = 1'-0"



5101 WEST ELEVATION (FACING PARKING)
 1/8" = 1'-0"

PER USD 224F, GROUND FLOOR ELEVATION (2 MIN ABOVE STREET CURB)

IS THIS BUILDING ADJACENT TO A PRIMARY OR SIDE STREET?	BUILDING 1	BUILDING 2
STREET FRONTAGE:	SKYCREST ROAD	N NEW HOPE ROAD
STREET TOP OF CURB GRADE 1	325.00	324.30
STREET TOP OF CURB GRADE 2	325.70	324.80
100 STREET CURB GRADE:	326.95	324.45
PROP BLDG CORNER FFE 1	328.00	326.75
PROP BLDG FFE 1/FINISH EEE 1	326.75	326.75
PROP AVG FFE ADJACENT TO STREET	327.38	326.75
FFE AVG HEIGHT ABOVE STREET CURB:	2.92	2.30

