



# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

## Project Description:

Remove non-original storefront; construct new storefront; install exterior light fixtures; replace rear door; re-glaze existing steel windows; install skylights; remove paint; repair existing front masonry façade

216 S Wilmington St

Address

Moore Square

Historic District

Historic Property

COA-0002-2023

Certificate Number

1/23/2023

Date of Issue

7/23/2023

Expiration Date

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area.*

*Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

A handwritten signature in black ink that reads "Erin Mochon".

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*



Type or print the following:

Applicant name: Fred Belledin		
Mailing address: 501 S Person Street		
City: Raleigh	State: NC	Zip code: 27601
Date: 01/09/2023	Daytime phone #: 919.741.7360	
Email address: fbelledin@clearscapes.com		
Applicant signature: <i>F3=PN</i>		
Minor work (staff review) – one copy Major work (COA committee review) – ten copies Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval		<p style="text-align: center;"><b>Office Use Only</b></p> Transaction #: _____ File #: <u>COA-0002-2023</u> Fee: _____ Amount paid: _____ Received date: _____ Received by: _____ _____
Property street address: 216 S Wilmington St, Raleigh, NC		
Historic <u>district</u> : Moore Square		
Historic property/Landmark name (if applicable): N/A		
Owner name: Jason Queen		
Owner mailing address: 16 W Martin Street, Suite 101, Raleigh NC 27601		

**For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.**

Property Owner Name & Address	Property Owner Name & Address
209 Retail Partners LLC - PO Box 1030 Raleigh, NC 27602	Blalock Partners LLC - 217 S Wilmington St. Raleigh, NC 27601
G&S Empire Landlord LLC - 133 Fayetteville St. Ste 600, Raleigh NC 27601	Farmah, Ram Labhaya Trustee Farmah, Sheela Devi Trustee - 106 Beckford Rd. Cary, NC 27518
City of Raleigh - 222 W Hargett St. Raleigh, NC 27601	City of Raleigh - PO Box 590 Raleigh, NC 27602
Phillip Horwitz - PO Box 6 Raleigh, NC 27602	Deepjava Property Co LLC Hester Company - PO Box 6100 Raleigh, NC 27628
Tulsi Ventures LLC - 1052 Kennicott Ave. Cary, NC 27513	225 S Wilmington Landlord LLC - 301 Fayetteville St Unite 2808 Raleigh, NC 27601
JT Hobby & Son Inc - PO Box 18506 Raleigh, NC 27619	



I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: <u>29, 48, 51, 65, 68, 84</u>
Did you consult with staff prior to filing the application? <input checked="" type="radio"/> Yes <input type="radio"/> No	

Design Guidelines: please cite the applicable sections of the design guidelines ( <a href="http://www.rhdc.org">www.rhdc.org</a> ).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.9	Storefronts	Removal and replacement of non-original storefront

**Minor Work Approval (office use only)**

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 07/23/2023.

Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Emi Moeck Date 01/23/2023

## **216 S Wilmington Street**

### **Proposed Scope of Work**

01.19.2023 *revised*

The exterior scope of work in this application includes:

1. Restoration/renovation of the front (east) elevation including replacement of the non-original storefront and selective restoration of the remainder of the elevation.
2. Installation of new skylights (not visible from the right-of-way) at the roof with associated in-kind patching/repair of the existing single ply membrane.
3. Minimal restoration/renovation of the rear (west) elevation including re-glazing of the existing steel windows, replacement of the existing hollow metal door, and installation of a wall-mounted HVAC condenser to serve the currently unconditioned upper floors of the building.

We will submit a future Minor COA to include:

1. Signage
2. Paint colors for exterior painting of existing painted materials

## **2.2 Changes to Building Exterior – Masonry**

*2.2.1 Retain and preserve masonry features that contribute to the overall historic character of a building and a site, including walls, foundations, roofing materials, chimneys, cornices, quoins, steps, buttresses, piers, columns, lintels, arches, and sills.*

Front Elevation - Extant masonry components include the painted brick cornice above the storefront and the exposed painted ends of the brick party walls framing the storefront. All existing brick will be retained with spot repointing if/as needed.

Extant unpainted masonry at the Rear and Partial Roof Elevations will not be altered.

*2.2.10 Repaint historically painted masonry surfaces in colors that are appropriate to the historic material, building, and district. It is not appropriate to paint unpainted masonry surfaces that were not painted historically.*

Front Elevation - Based on the unfinished brick behind the existing roof leaders, the brick masonry was originally unpainted. If feasible, the existing paint will be removed to expose the original unpainted brick. If not feasible, we will include paint colors in a future Minor COA to re-paint the currently painted brick.

Extant unpainted masonry at the Rear and Partial Roof Elevations will not be altered.

## **2.3 Changes to Building Exterior – Architectural Metals**

*2.3.1 Retain and preserve architectural metal features that contribute to the overall historic character of a building and a site, including such functional and decorative elements as roofing, flashing, storefronts, cornices, railings, hardware, casement windows, and fences.*



Front Elevation - Extant historic metal features include painted conductor heads and leaders at each side of the façade and a painted metal trim band. All existing metal features will be repaired if/as needed. A future Minor COA will be submitted for re-painting. Extant unpainted steel windows and steel window grilles at the Rear and Partial Roof Elevations will not be altered.

## **2.4 Changes to Building Exterior – Paint and Paint Color**

*2.4.3 When repainting, select paint colors appropriate to the historic building and district. Enhance the features of a building through appropriate selection and placement of paint color consistent with its architectural style. In particular, the foundation color is usually darker than the body of the building in order to visually anchor it to the ground.*

A future Minor COA will be submitted for re-painting currently painted components.

*2.4.5 It is not appropriate to paint brick, stone, copper, bronze, concrete, or cement block surfaces that were historically unpainted.*

Front Elevation - Based on the unfinished brick behind the existing roof leaders, the brick masonry was originally unpainted. If feasible, the existing paint will be removed to expose the original unpainted brick. If not feasible, we will submit a future Minor COA to re-paint the currently painted brick.

## **2.6 Changes to Building Exterior – Exterior walls**

*2.6.1 Retain and preserve exterior walls that contribute to the overall historic form and character of a building, including their functional and decorative features, such as cornices, foundations, bays, quoins, arches, water tables, brackets, entablatures, and storefronts.*

Front Elevation - All existing decorative brick cornice details will remain. The existing non-historic storefront will be removed and a new storefront installed.

*2.6.2 Retain and preserve exterior wall materials that contribute to the overall historic character of a building, including brickwork, stucco, stone, wooden shingles, wooden siding, asbestos siding, and metal, wooden, or masonry trim work.*

All existing historic materials will remain.

## **2.9 Changes to Building Exterior – Storefronts**

*2.9.1 Retain and preserve storefronts that contribute to the overall historic character of a building, including such functional and decorative features as transoms, display windows, doors, entablatures, pilasters, recessed entries, and signs.*

Based on an early photograph of the building provided by the North Carolina State Archives, the current existing storefront is a later replacement and does not retain any of the features of early/original storefronts.

*2.9.6 If a historic storefront feature or an entire storefront is missing, replace it with a new feature or storefront based on accurate documentation. If accurate documentation is not available, then utilize a new design compatible with the building in scale, size, material, and color.*



The existing non-historic storefront will be removed and replaced with a new storefront that is based on the archival photograph of the building. The storefront shown in this photograph is likely not the original, but is the earliest photographic information available:

- The proposed new storefront with clear low-E glass will restore the recessed center entry.
- Flanking storefront frames on low knee walls will be consistent with the early photo. Site cast smooth form-finished integrally-colored black concrete knee walls and black-painted butt-glazed storefront frames will be compatible with yet quietly differentiated from the earlier materials.
- A continuous transom above the storefront with clear low-E glass will be consistent with the size of the early photo. Black-painted butt-glazed storefront frames will be compatible with yet quietly differentiated from the earlier materials.

## **2.11 Changes to Building Exterior – Accessibility, Health, & Safety Considerations**

*2.11.1 In considering changes to a historic building, review accessibility and life-safety code implications to determine if the proposed change is compatible with the building's historic character and setting or will compromise them.*

*2.11.3 Meet accessibility and life-safety building code requirements in such a way that the historic building's character-defining facades, features, and finishes are preserved.*

The proposed recessed double entry door will closely match the configuration of the historic photograph. Door leafs will be sized to meet egress code requirements (36”).



**216 S Wilmington Street**  
**Existing Conditions Photographs**  
01.19.2023 *revised*



View of original front storefront  
Provided by North Carolina State Archives (N\_94\_5\_189)





Context view looking north on Wilmington Street



Context view looking south on Wilmington Street





View of façade from southeast



View of façade from northeast



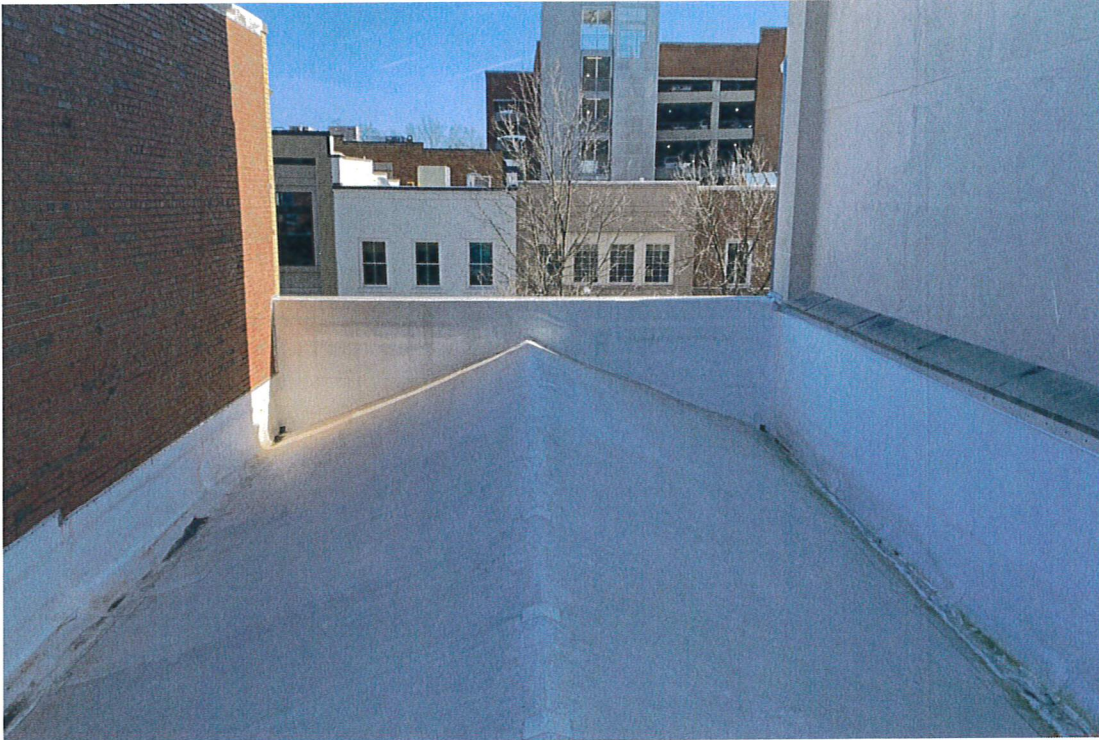


Close-up view of non-original storefront



Close-up view of metal conductor head and roof leader (L) and unpainted brick (R)





View of roof looking east. Note that proposed skylights will be below the front parapet and not visible from the public RoW.



View of roof looking west. There are no proposed changes to this façade with the exception of reglazing the existing windows.





View of roof rear courtyard looking north. Subject building is on the right. Proposed changes are limited to: 1) replacing the existing rear hollow metal door with a full lite hollow metal door, 2) reglazing the existing steel window frames if/as needed, and 3) adding a wall-mounted condenser at the top floor.





View of roof rear courtyard looking south. Subject building is on the left. Proposed changes are limited to: 1) replacing the existing rear hollow metal door with a full lite hollow metal door, 2) reglazing the existing steel window frames if/as needed, and 3) adding a wall-mounted condenser at the top floor.



# 216 S Wilmington Street

## Material + Product Info

01.19.2023 revised

### COLOR GROUP: PREMIUM

and low-cost subtle shades that add a hint of color to gray concrete. As the leading producer of colors for concrete since 1952, we offer the widest spectrum available.



Proposed concrete knee wall is smooth form-finished integrally colored concrete. Proposed color is Davis Colors Graphite.



VELUX

46-1/2 in. x 46-1/2 in. Fixed Curb-Mount Skylight with Tempered Low-E3 Glass

★★★★★ (197) Questions & Answers (476)



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- Skylights are an energy-efficient way to brighten any room
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- [View More Details](#)

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46.5 in x 46.5 in

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**VERTICAL CROSS SECTION**

**HORIZONTAL CROSS SECTION**

**DETAIL 1**

PRODUCT DIMENSIONS											
METRIC UNITS (MILLIMETERS)						IMPERIAL UNITS (INCHES)					
Size	Frame Width	Skylight Width	Skylight Height	Frame Height	Skylight Depth	Skylight Area (Sq. Meters)	Skylight Area (Sq. Feet)	Frame Width	Skylight Width	Skylight Height	Frame Height
1140	300	400	475	100	100	117.0	126.7	11.78	15.75	11.78	10.00
1146	306	406	481	106	106	122.8	132.8	11.87	15.84	11.87	10.06
1152	312	412	487	112	112	129.6	139.7	11.96	15.93	11.96	10.12
1158	318	418	493	118	118	136.4	146.6	12.05	16.02	12.05	10.18
1164	324	424	499	124	124	143.2	153.5	12.14	16.11	12.14	10.24
1170	330	430	505	130	130	150.0	160.4	12.23	16.20	12.23	10.30
1176	336	436	511	136	136	156.8	167.3	12.32	16.29	12.32	10.36
1182	342	442	517	142	142	163.6	174.2	12.41	16.38	12.41	10.42
1188	348	448	523	148	148	170.4	181.1	12.50	16.47	12.50	10.48
1194	354	454	529	154	154	177.2	188.0	12.59	16.56	12.59	10.54
1200	360	460	535	160	160	184.0	194.9	12.68	16.65	12.68	10.60
1206	366	466	541	166	166	190.8	201.8	12.77	16.74	12.77	10.66
1212	372	472	547	172	172	197.6	208.7	12.86	16.83	12.86	10.72
1218	378	478	553	178	178	204.4	215.6	12.95	16.92	12.95	10.78
1224	384	484	559	184	184	211.2	222.5	13.04	17.01	13.04	10.84
1230	390	490	565	190	190	218.0	229.4	13.13	17.10	13.13	10.90
1236	396	496	571	196	196	224.8	236.3	13.22	17.19	13.22	10.96
1242	402	502	577	202	202	231.6	243.2	13.31	17.28	13.31	11.02
1248	408	508	583	208	208	238.4	250.1	13.40	17.37	13.40	11.08
1254	414	514	589	214	214	245.2	257.0	13.49	17.46	13.49	11.14
1260	420	520	595	220	220	252.0	263.9	13.58	17.55	13.58	11.20
1266	426	526	601	226	226	258.8	270.8	13.67	17.64	13.67	11.26
1272	432	532	607	232	232	265.6	277.7	13.76	17.73	13.76	11.32
1278	438	538	613	238	238	272.4	284.6	13.85	17.82	13.85	11.38
1284	444	544	619	244	244	279.2	291.5	13.94	17.91	13.94	11.44
1290	450	550	625	250	250	286.0	298.4	14.03	18.00	14.03	11.50
1296	456	556	631	256	256	292.8	305.3	14.12	18.09	14.12	11.56
1302	462	562	637	262	262	299.6	312.2	14.21	18.18	14.21	11.62

STANDARD GLAZING OPTIONS:

- Laminated LowE3 (04)
- Tempered LowE3 (05)
- Impact (06)
- White Laminates (08)

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FCM - Fixed Curb Mounted Skylight  
Low slope roof application

Proposed skylight is nominal 48"x48" (46.5"x46.5" R.O. as shown above) - this is sized to align with existing rafters with an assumed 16" center-to-center spacing pending field verification. Proposed color is black. Detailed dimensions as shown on the following page. **Skylights will be entirely concealed from the right-of-way by the existing parapet walls.**





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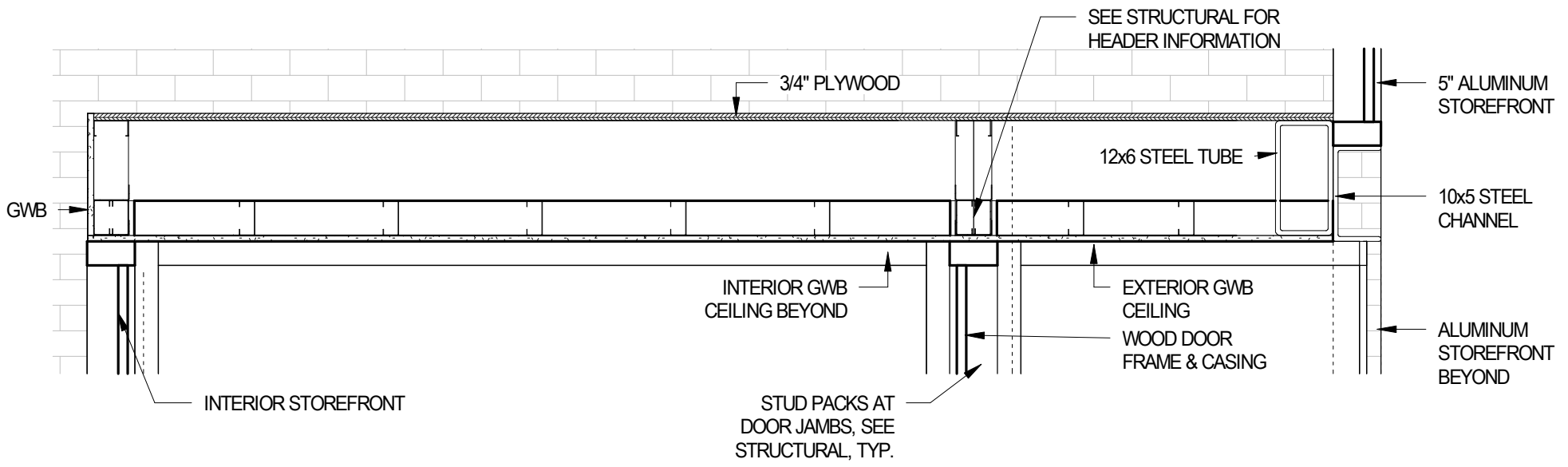
1

▼ MORE OPTIONS

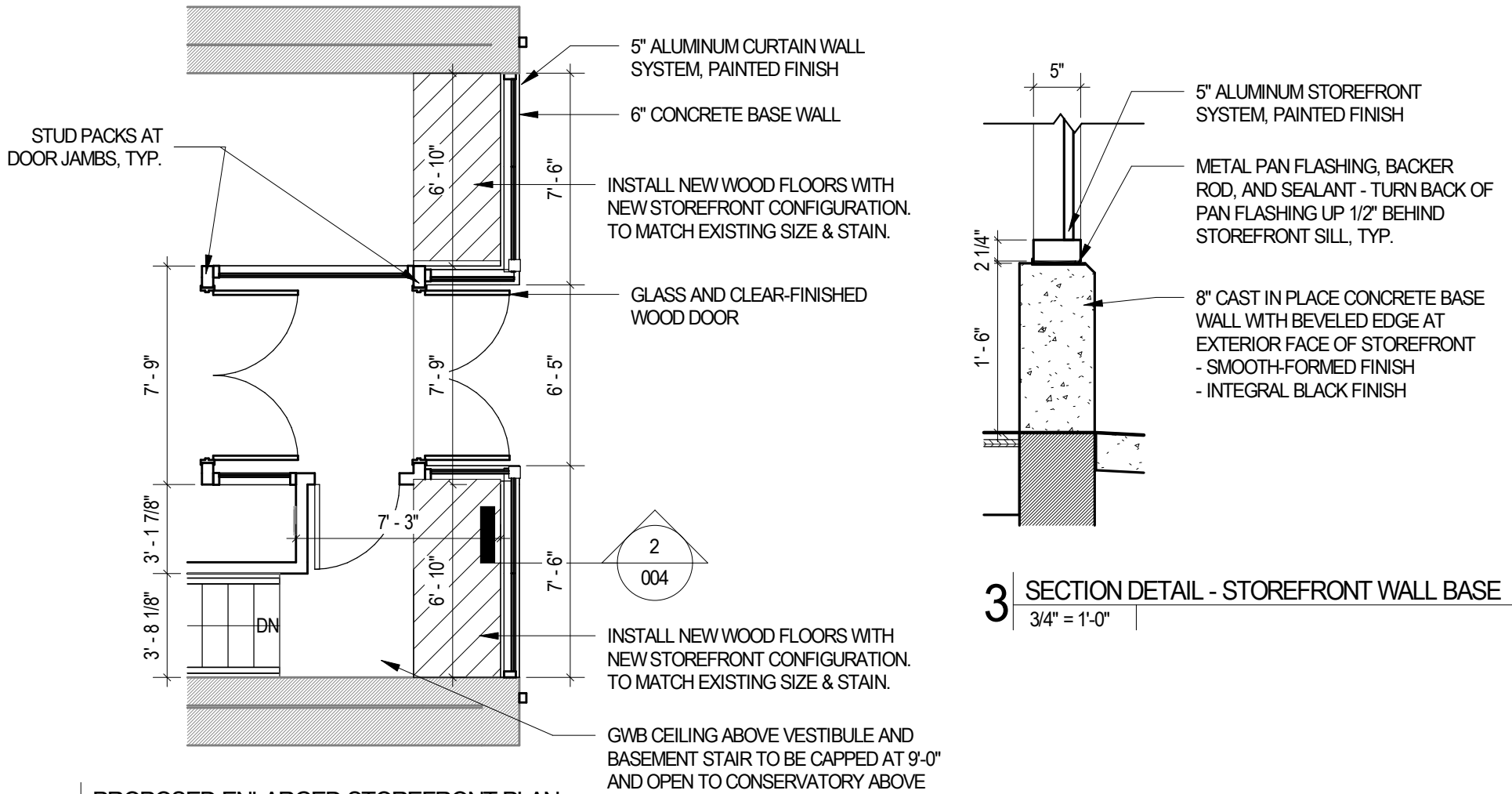
Proposed exterior light fixtures (or equal):

- The fixture is @18"H x @10.5"W and extends @17.5" from the wall.
- Finish will be black.



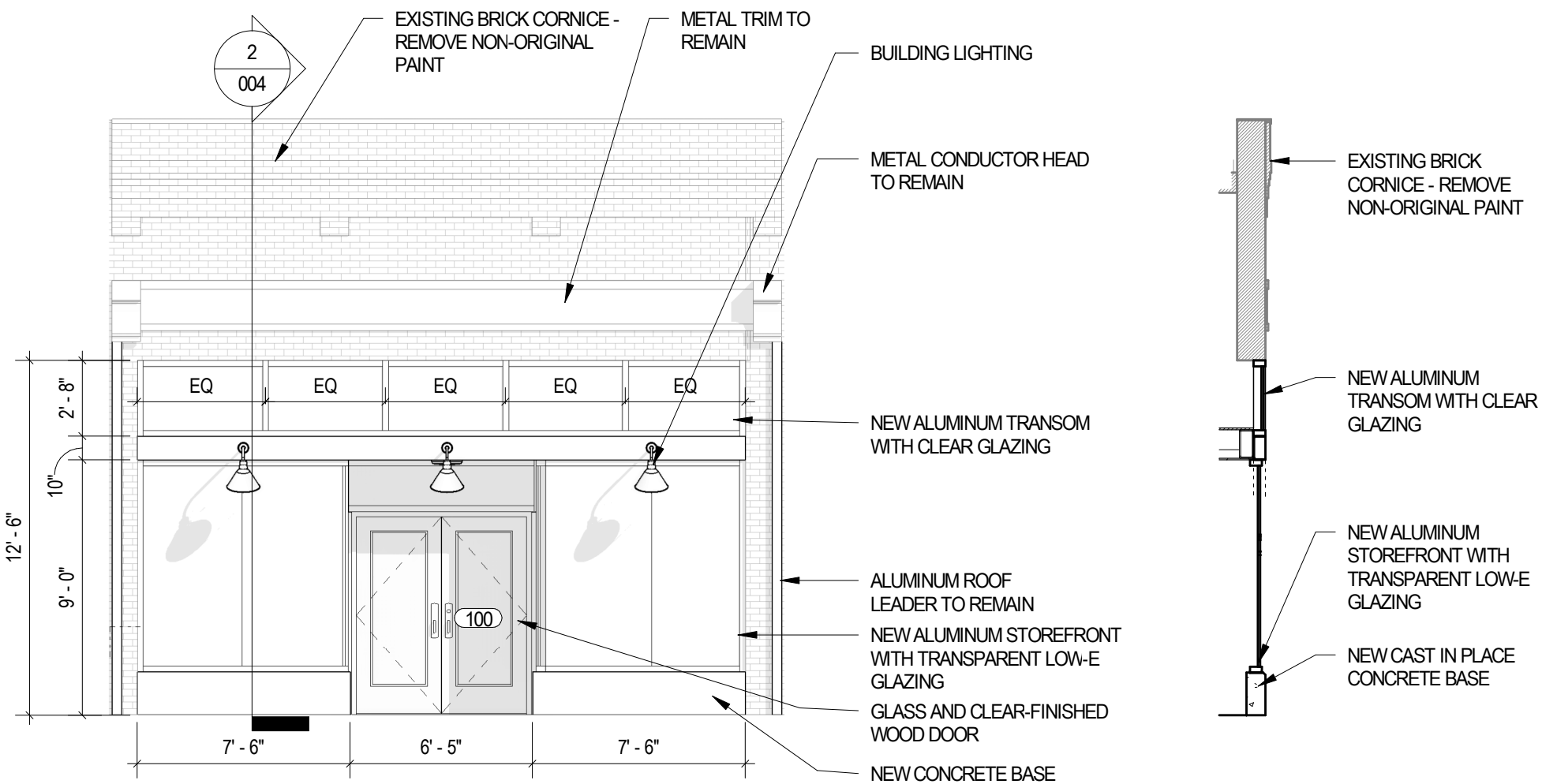


**5** SECTION DETAIL - PROPOSED TRANSOM  
3/4" = 1'-0"



**3** SECTION DETAIL - STOREFRONT WALL BASE  
3/4" = 1'-0"

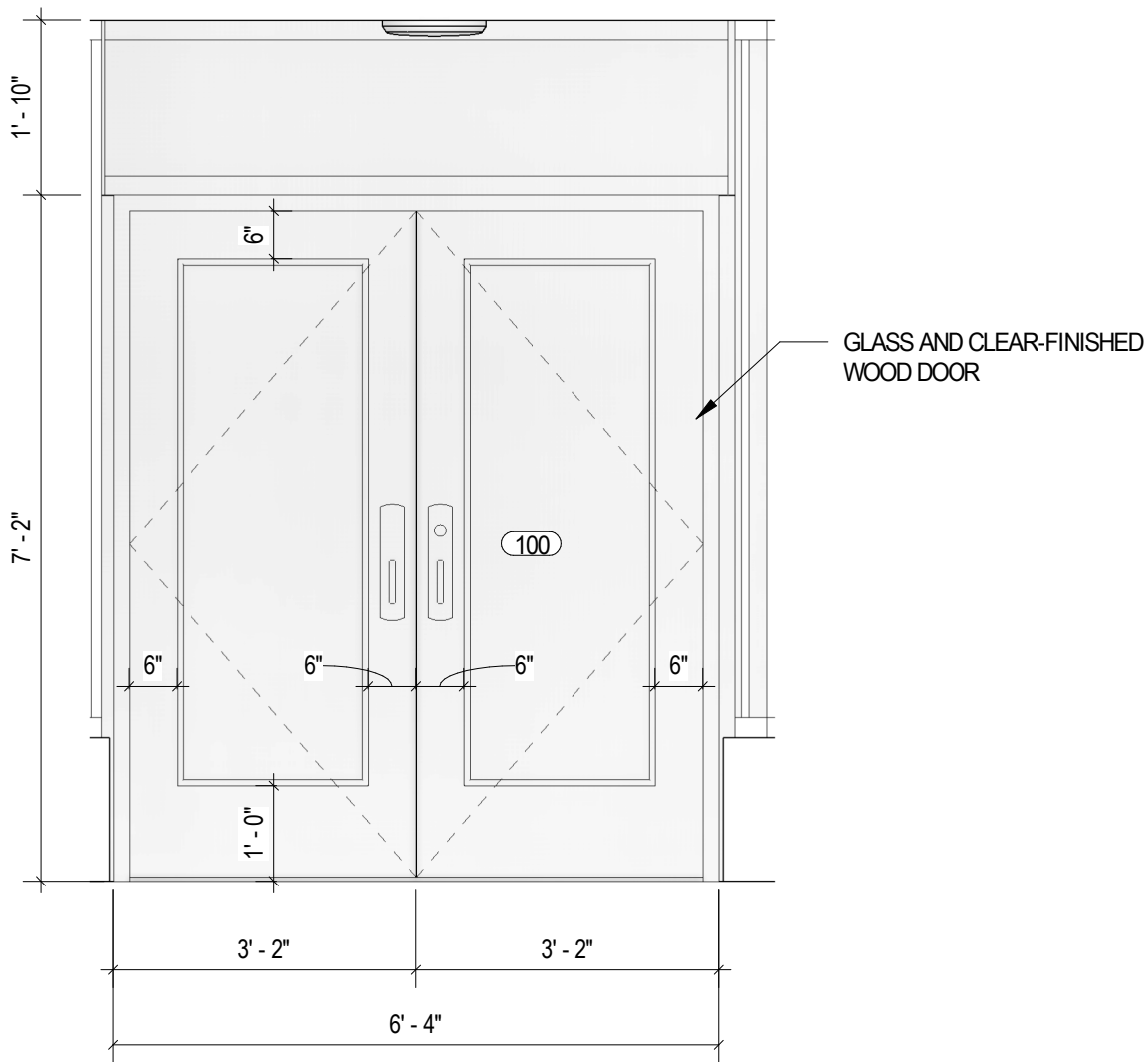
**4** PROPOSED ENLARGED STOREFRONT PLAN  
3/16" = 1'-0"



**1** STOREFRONT EAST ELEVATION  
3/16" = 1'-0" | REF: 2/A101

**2** STOREFRONT WALL SECTION  
3/16" = 1'-0" | REF: 1/004

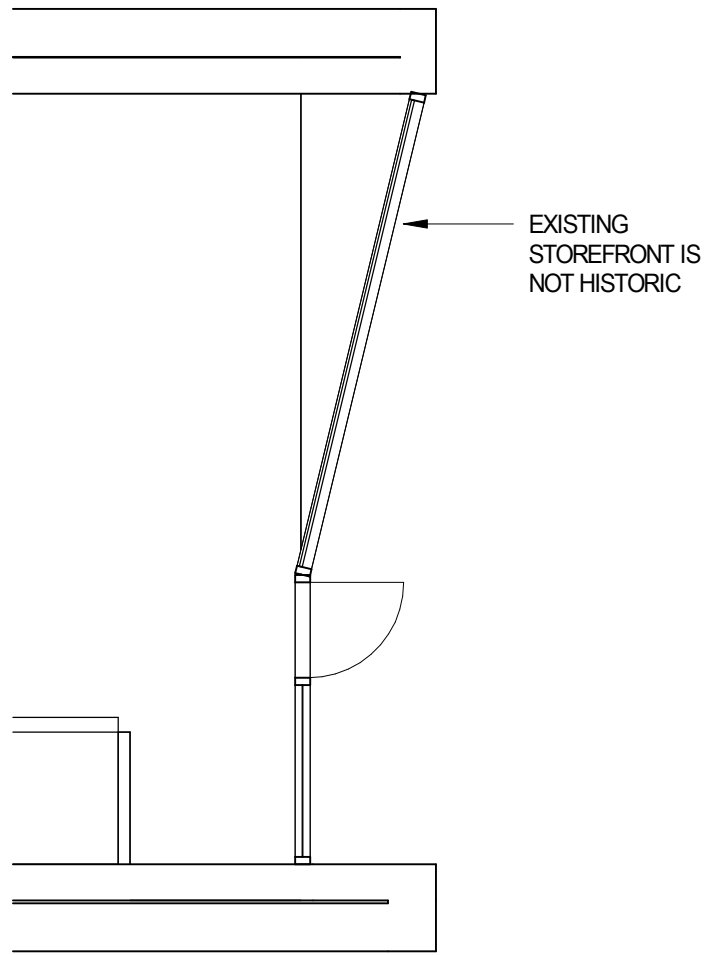




**1** ENLARGED EXTERIOR DOOR ELEVATION

1/2" = 1'-0" | REF: 2/A101





**2** EXISTING STOREFRONT PLAN  
 3/16" = 1'-0"



**1** SCHEMATIC - EXISTING EAST ELEVATION  
 1/4" = 1'-0"

216 S WILMINGTON SUITE 101

01/06/2023



**FLOOR PLAN / REFLECTED CEILING PLAN GENERAL NOTES**

1-1. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND COORDINATING THEIR WORK WITH ALL OF THE CONTRACT DOCUMENTS PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION OR INSTALLATION. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.

1-2. THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OWNERS VENDORS INCLUDING, BUT NOT LIMITED TO, TELECOMMUNICATIONS, AUDIOVISUAL, AND SECURITY SYSTEMS. ANY CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF CONTRACT DOCUMENTS AND THE OWNER'S VENDORS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE GENERAL CONTRACTOR (OR CMAR) IN WRITING AND SHALL BE RESOLVED WITH THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.

1-3. EXISTING CONDITIONS FOR THE BUILDING AND/OR SITE AS REPRESENTED IN THE CONTRACT DOCUMENTS ARE NOT GUARANTEED. PRIOR TO BEGINNING ANY WORK ON SUBMITTALS, SHOP DRAWINGS, FABRICATION OR INSTALLATION, THE GENERAL CONTRACTOR (OR CMAR) AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR INVESTIGATING AND VERIFYING THE EXISTENCE AND LOCATION OF EXISTING CONSTRUCTION AFFECTING THE WORK INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, EXISTING BUILDING SYSTEMS, FLOOR ELEVATIONS, AND OTHER STRUCTURAL OR BUILDING DATUMS.

2-1. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.  
 2-2. WALLS SHOWN TO ALIGN ARE TO HAVE FINISHED FACES ALIGN UNLESS NOTED OTHERWISE.  
 2-3. IF PROVIDED, REFER TO ENLARGED PLANS AND PLAN DETAILS FOR ADDITIONAL INFORMATION AND DIMENSIONS.  
 2-4. LOCATIONS OF ALL DEVICES AND FIXTURES DIMENSIONED, NOTED OR OTHERWISE DESCRIBED ARE EXACT. ALL NEW FRAMING MUST ACCOMMODATE THESE LOCATIONS.  
 2-5. ANY DIMENSIONS OF OR TYPING INTO EXISTING BUILDING COMPONENTS ARE TO BE FIELD-VERIFIED PRIOR TO COMMENCEMENT OF WORK. VERIFY WITH ARCHITECT.

3-1. TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE INCORPORATED AT ALL APPROPRIATE LOCATIONS WHETHER OR NOT SPECIFICALLY REFERENCED AT EACH LOCATION.  
 3-2. THE GENERAL CONTRACTOR (OR CMAR) IS RESPONSIBLE FOR ANY REQUIRED DEMOLITION, TEMPORARY SUPPORT OF, AND/OR DAMAGE TO NEW OR EXISTING STRUCTURE DURING CONSTRUCTION, ANY UTILITY LINES, PIPING, EQUIPMENT, FINISHES, OR ANY OTHER PORTIONS OF THE EXISTING BUILDING OR NEW CONSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED AT THE ARCHITECT'S DIRECTION AT THE EXPENSE OF THE RESPONSIBLE CONTRACTOR.

3-3. THE GENERAL CONTRACTOR (OR CMAR) IS TO COORDINATE, PROVIDE, AND INSTALL CONCEALED BLOCKING FOR ALL WALL- AND CEILING-MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO, HAND RAILS, GRAB BARS, CABINETS AND OTHER CASEWORK, EQUIPMENT, OWNER- AND/OR VENDOR-PROVIDED ITEMS, ETC. BLOCKING IS TO BE FIRE-RETARDANT WOOD OR 20ga METAL WITH A FLAME SPREAD AND SMOKE DEVELOPMENT RATING <25 IF THE PROJECT IS IDENTIFIED AS A TYPE 1 OR TYPE 2 BUILDING IN THE CODE SUMMARY.

3-4. CONDUIT, WIRING, OR PIPING SHALL BE ROUTED SUCH THAT IT MAY BE CONCEALED WHEREVER POSSIBLE UNLESS SPECIFICALLY NOTED OTHERWISE. ANY CONDUIT, WIRING, OR PIPING THAT CANNOT BE ROUTED IN A CONCEALED MANNER MUST BE IDENTIFIED BY THE GENERAL CONTRACTOR AND REVIEWED AND COORDINATED BY ARCHITECT PRIOR TO COORDINATION DRAWINGS (IF REQUIRED) OR INSTALLATION (IF COORDINATION DRAWINGS ARE NOT REQUIRED).

3-5. IN AREAS OF HARD CEILING, BUILDING SYSTEMS SHALL BE CONFIGURED TO MINIMIZE REQUIRED ABOVE-CEILING ACCESS. THE LOCATION OF ALL ACCESS DOORS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY ABOVE-CEILING EQUIPMENT, DAMPERS, VALVES, JUNCTION BOXES, ETC. ACCESS DOORS SHALL BE PROVIDED AND INSTALLED FOR ANY WORK THAT REQUIRES ABOVE-CEILING ACCESS. ADDITIONALLY, ANY ACCESS DOORS OR PANELS REQUIRED IN WALLS MUST BE COORDINATED WITH AND APPROVED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY EQUIPMENT REQUIRING ACCESS.

3-6. ALL FRAMING, SOUND ATTENUATION, AND GYP BOARD FOR NON-RATED SOUND-ATTENUATED WALLS SHALL CONTINUE TO THE UNDERSIDE OF DECK UNLESS SPECIFICALLY NOTED OTHERWISE. GYP BOARD SHALL BE SEALED TO DECK AT EACH FACE WITH JOINT COMPOUND, SEALANT, AND/OR EXPANDING FOAM (ACCEPTABLE ONLY IN CONCEALED CONDITIONS). ANY REQUIRED PIPE, DUCT, OR WIRING PENETRATIONS SHALL BE SEALED AS DESCRIBED ABOVE.

3-7. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL ACT CEILING GRIDS SHALL BE CENTERED WITHIN EACH ROOM OR SPACE WITH NO CUT PERIMETER TILES TO BE <6".

3-8. ALL ELECTRICAL, CATV, AND TELEDATA OUTLETS TO BE LOCATED 16" O.C. ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. ALL ELECTRICAL FIXTURES AT KITCHEN COUNTERTOPS AND BATHROOM VANITIES TO BE LOCATED 46" O.C. ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE. ALL ELECTRICAL SWITCHES, THERMOSTATS, AND OTHER CONTROL DEVICES TO BE CENTERED 46" O.C. ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.

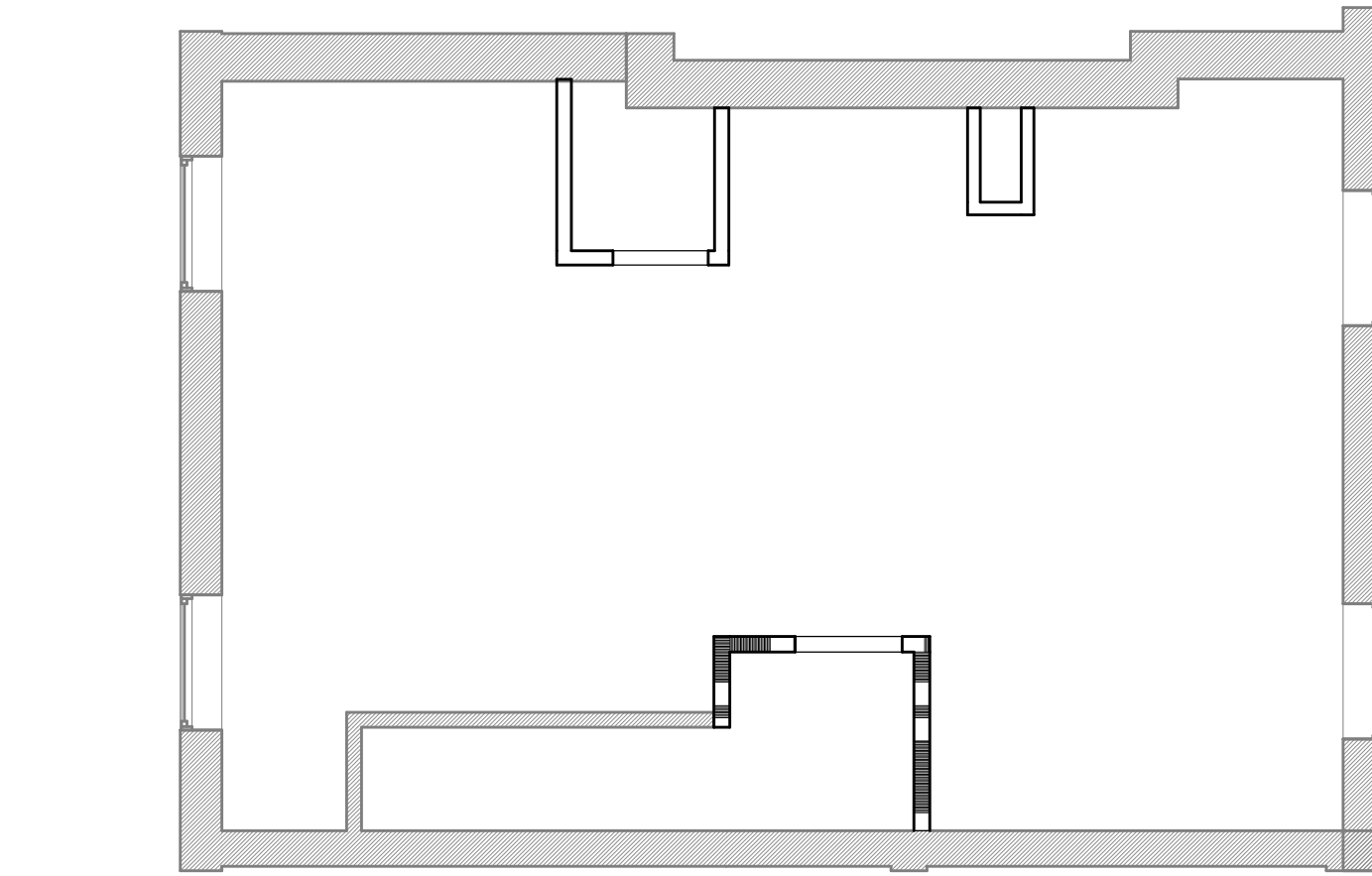
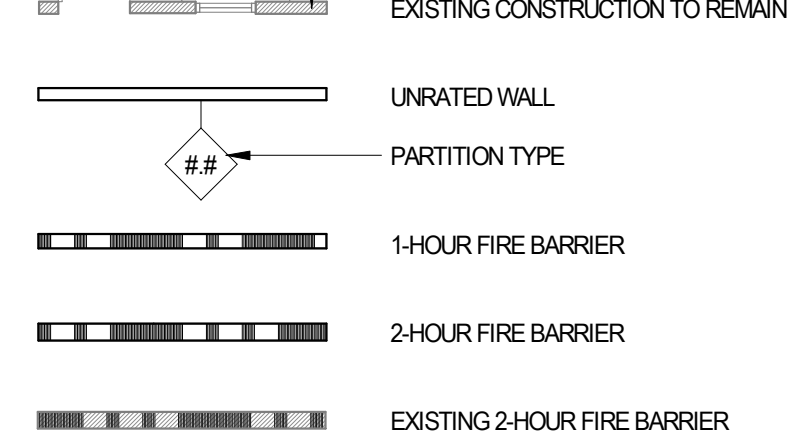
3-9. UNLESS DIMENSIONED OR OTHERWISE NOTED, SET THE NEAREST EDGE OF SWITCH PLATES 24" FROM THE CENTER OF DOOR OPENINGS. AT ALL LOCATIONS WHERE MULTIPLE SWITCHES ARE SHOWN, THEY SHOULD BE GANGED UNLESS SPECIFICALLY NOTED OTHERWISE. IN ANY LOCATIONS WITH MULTIPLE DEVICES (ELECTRICAL OUTLETS, ELECTRICAL SWITCHES, HORNSTROBES, EMERGENCY LIGHTS, ETC), ALL DEVICES ARE TO BE CENTERED ON A VERTICAL AXIS UNLESS SPECIFICALLY NOTED OTHERWISE.

3-10. ACOUSTICAL INSULATION NOT SHOWN FOR CLARITY. REFER TO PARTITION TYPES FOR LOCATION OF ACOUSTICAL INSULATION.

4-1. SEE G001 FOR ADDITIONAL NOTES, SYMBOLS AND ABBREVIATIONS

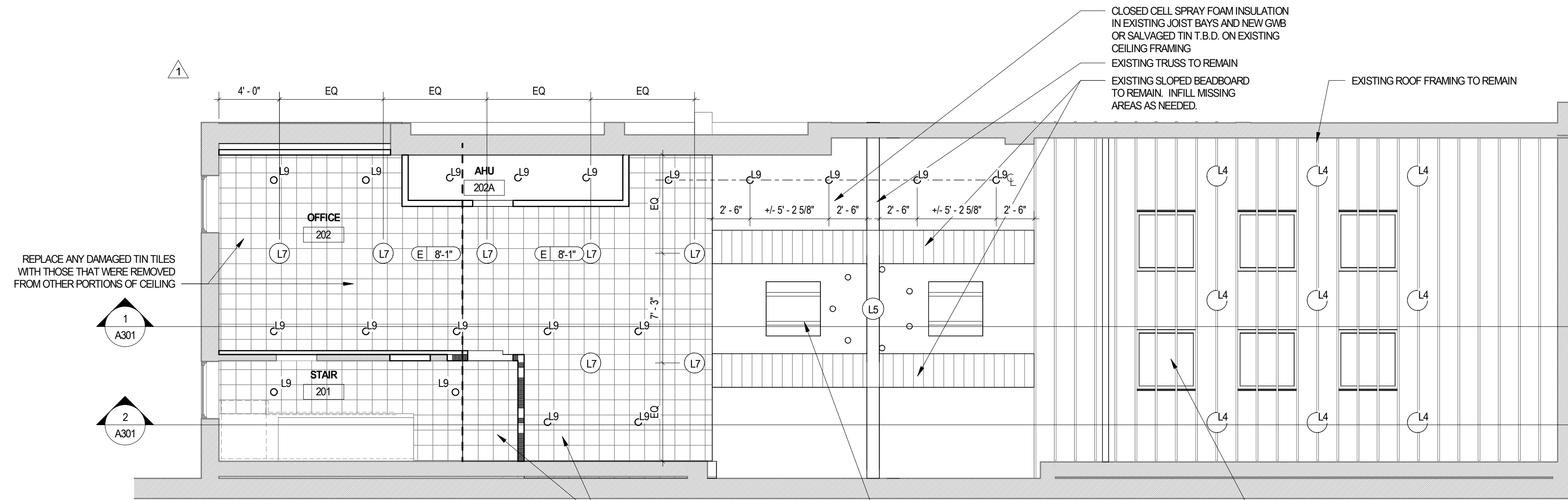
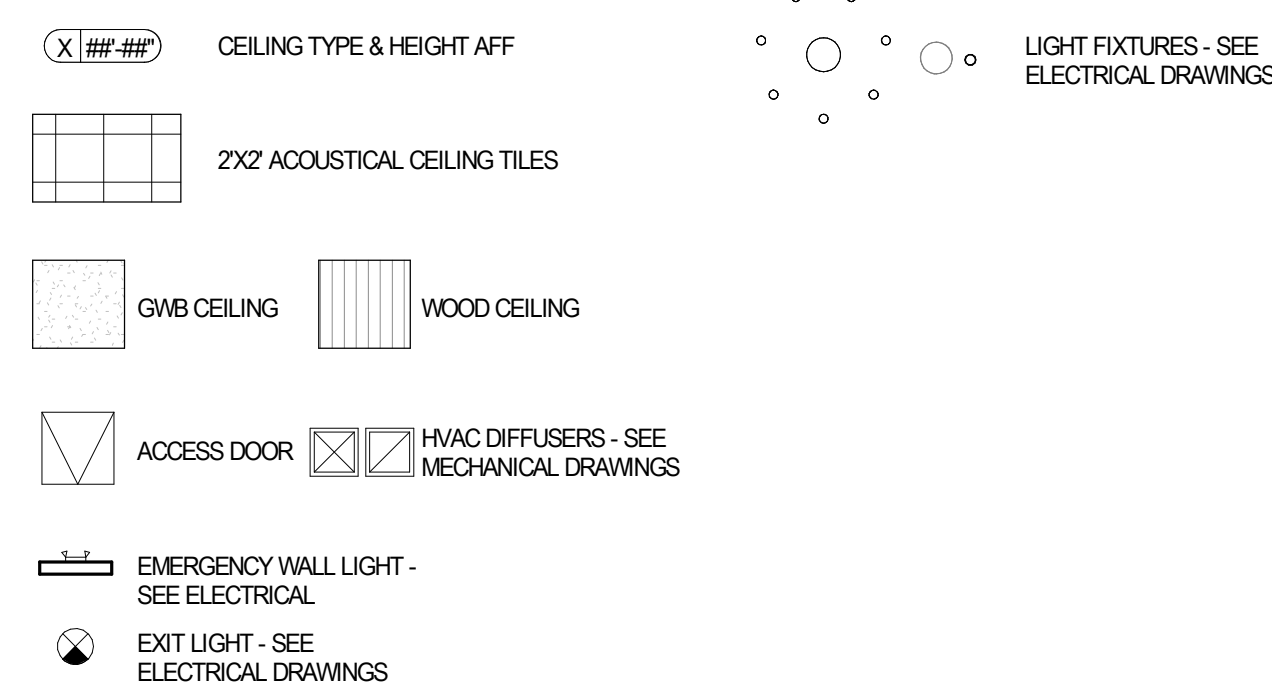
SITE NOTE: NO OUTDOOR AMENITY AREA IS REQUIRED FOR MIXED-USE BUILDINGS WHERE NON RESIDENTIAL GROSS SQUARE FOOTAGE (GSF) DOES NOT EXCEED 10,000 SF AND WHERE THERE ARE NO MORE THAN 16 RESIDENTIAL UNITS PROPOSED.

**PARTITION LEGEND**



2 LEVEL 2 REFLECTED CEILING PLAN  
3/16" = 1'-0"

**REFLECTED CEILING PLAN LEGEND**



1 MEZZANINE REFLECTED CEILING PLAN  
3/16" = 1'-0"

CEILING SCHEDULE	
TYPE	DESCRIPTION
A	5/8" GWB ON METAL STUD, PAINTED
B	5/8" GWB ON METAL STUD, PAINTED
C	ZXZ ACT W/ 9/16" BEVELED REGULAR EDGE
D	WOOD CEILING
E	TIN CEILING

LIGHT FIXTURE SCHEDULE		
TYPE	DESCRIPTION	COUNT
L1	6" RECESSED CAN LIGHT	18
L2	EXTERIOR LIGHT	3
L3	EXTERIOR SURFACE MOUNTED LIGHT, LOW PROFILE	1
L4	GLOBE PENDANT LIGHT	9
L5	LARGE DECORATIVE SUSPENDED LIGHT	1
L7	SEMI FLUSH MOUNT GLOBE LIGHT	7
L9	INTERIOR LOW PROFILE SURFACE MOUNTED PUCK LIGHT	31
L10	BATHROOM WALL SCONCE LIGHT	2

CONSULTANTS

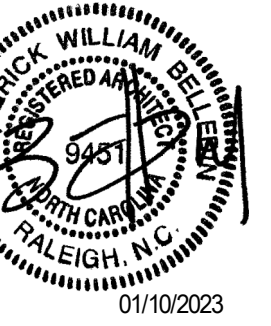
Structural

**Fuhrer Reed**  
https://fuhrerreed.com/  
1101 Haynes St Unit 207  
Raleigh, NC  
919-821-7146

MEP Engineer

**Lighthouse Engineering**  
http://www.lighthouseengineering.com/  
400 W. Morgan St., Suite 100  
Raleigh, NC 27603  
919-835-8761  
jrs@lighthouseengineering.com

SEALS



PERMIT DRAWINGS  
1/3/2023

PROJECT

216 S WILMINGTON  
SUITE 101

RALEIGH, NC

REVISIONS

No.	Description	Date
1	PERMIT REVIEW COMMENTS	1/10/23

PROJECT DATA

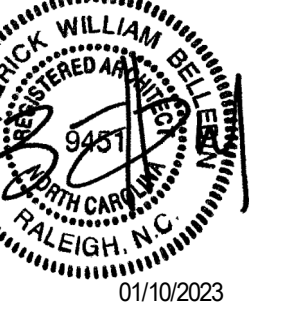
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PROJECT NO: 2022\_0300  
PRINTING: PERMIT DRAWINGS

SHEET DATA

REFLECTED  
CEILING PLAN -  
MEZZANINE &  
2ND FLOOR  
SHEET NO.

A112

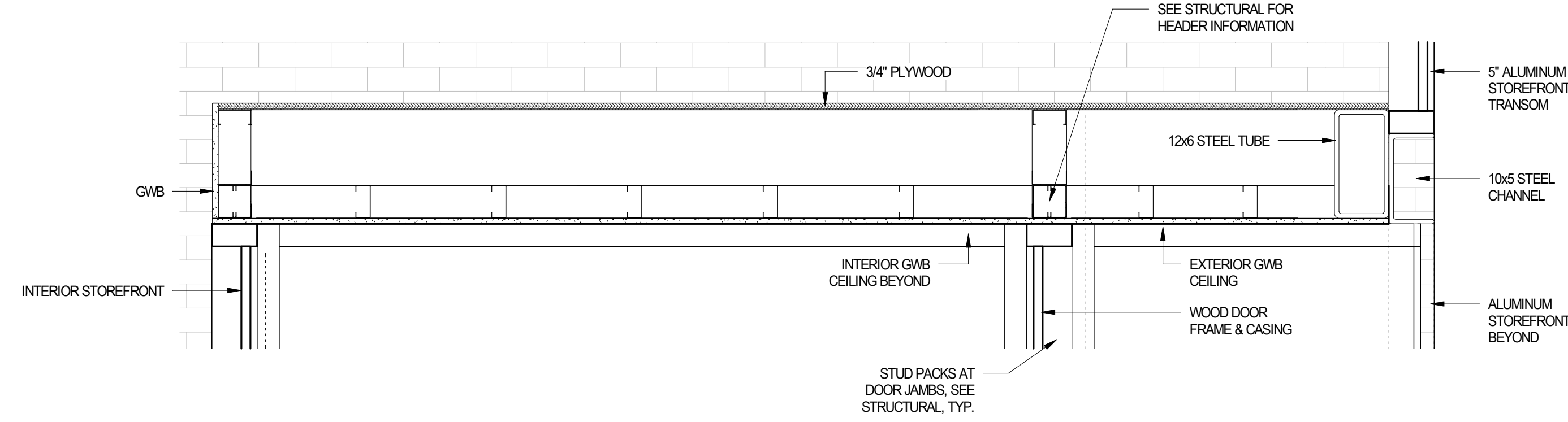




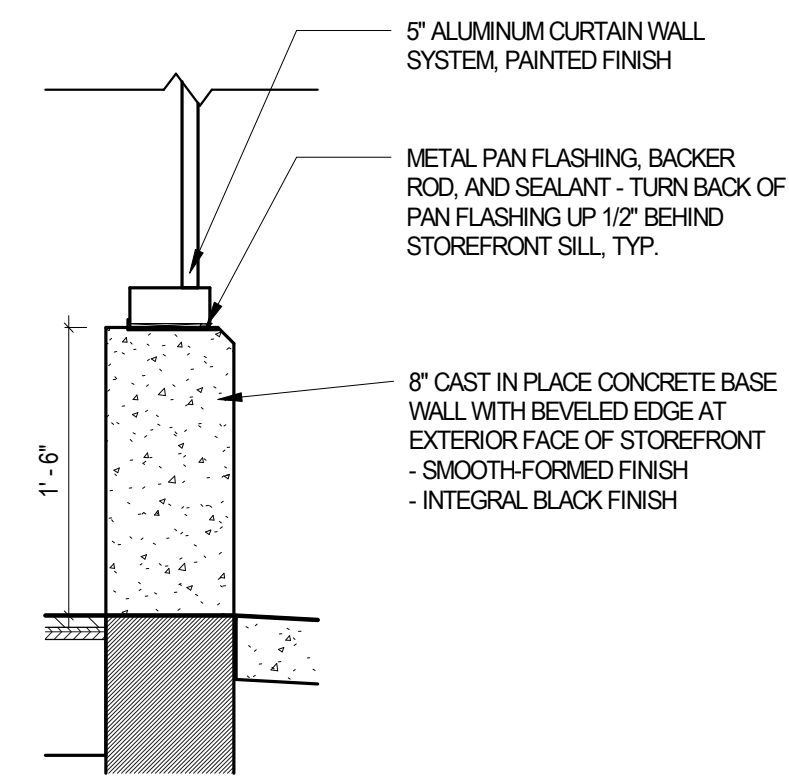
No.	Description	Date
1	PERMIT REVIEW COMMENTS	1/10/23

DATE: 1/3/2023  
DRAWN: ELM  
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PROJECT NO: 2022\_0300  
PRINTING: PERMIT DRAWINGS

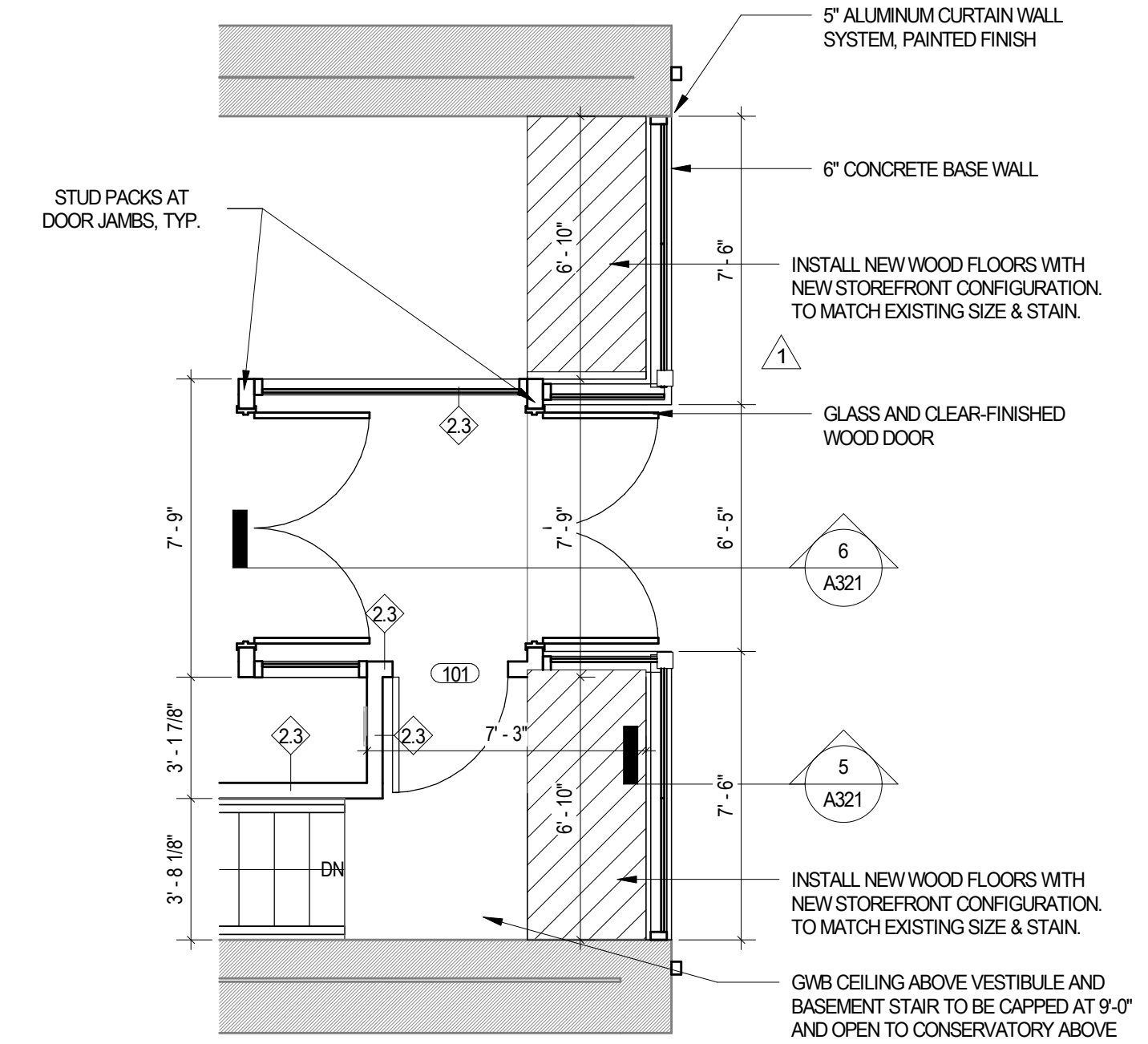
**EXTERIOR  
STOREFRONT  
DETAILS**



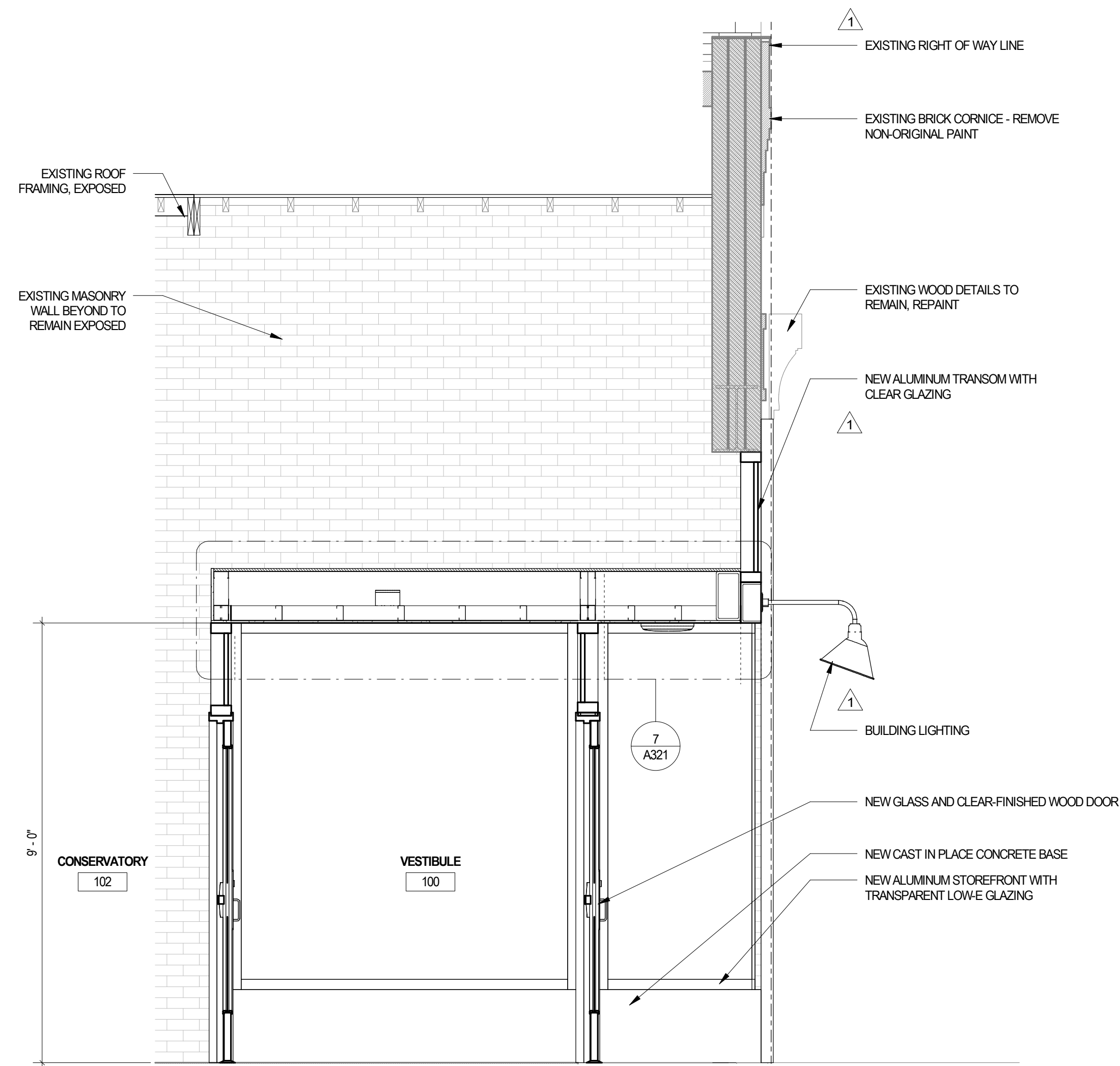
**7 SECTION DETAIL - TRANSOM**  
1" = 1'-0" | REF: 6/A321



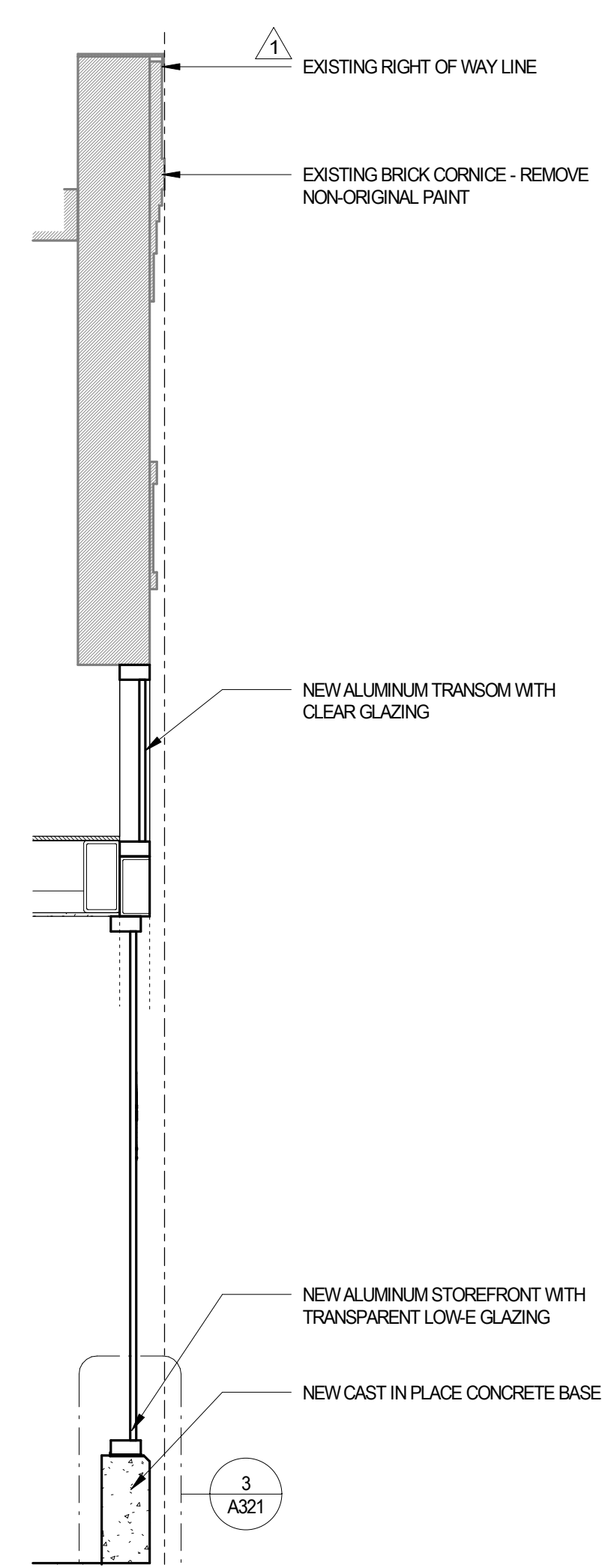
**3 SECTION DETAIL - STOREFRONT BASE WALL**  
1" = 1'-0" | REF: 5/A321



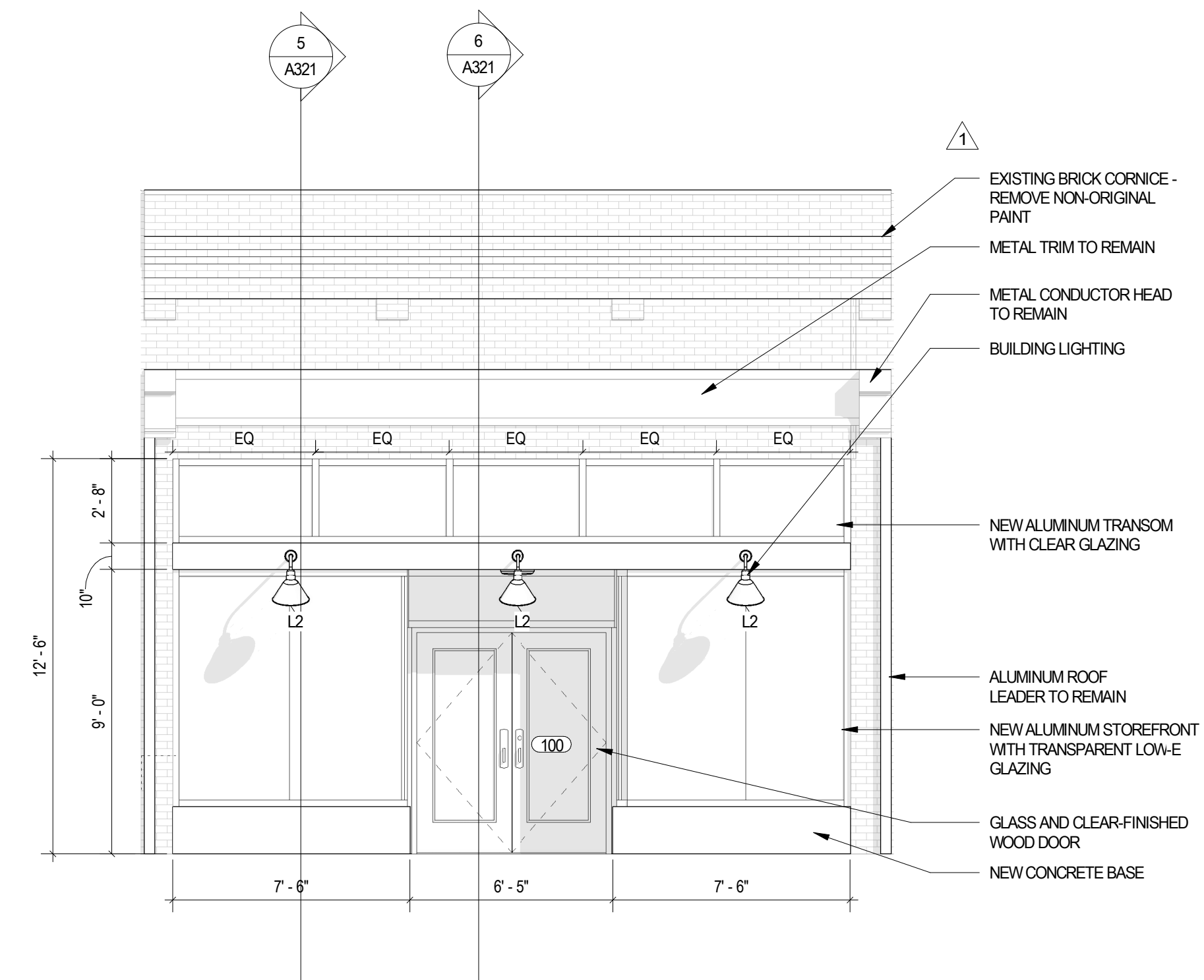
**2 ENLARGED STOREFRONT PLAN**  
1/4" = 1'-0" | REF: 2/A101



**6 STOREFRONT WALL SECTION**  
1/2" = 1'-0" | REF: 1/A301



**5 STOREFRONT WALL SECTION 1**  
1/2" = 1'-0" | REF: 2/A301



**1 PROPOSED EAST ELEVATION**  
1/4" = 1'-0" | REF: 2/A101