



## APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

COA-0003-2020 713 HINSDALE STREET

Applicant: DAYMON AND MYRIAM ASBURY FOR ASBURY REMODELING & CONSTRUCTION, LLC

Received: 1/14/2020

Meeting Date(s):

Submission date + 90 days: 4/13/2020

1) 2/27/2020 2) 3)

### INTRODUCTION TO THE APPLICATION

Historic District: GLENWOOD-BROOKLYN HISTORIC DISTRICT

Zoning: STREETSIDE HOD

Nature of Project: Construct rear addition; alter window and opening; remove vinyl siding; remove tree

DRAC: An application was reviewed by the Design Review Advisory Committee at its February 3, 2020, meeting. Members in attendance were Dan Becker and Don Davis; also present was Myriam Asbury, applicant; Tania Tully, Erin Morton, and Collette Kinane, staff.

Staff Notes:

- The Glenwood-Brooklyn Historic District is a Streetside HOD. This means that only part of the entire property subject to the COA process.
- Streetside HODs are "...established to provide for protection of the traditional development patterns of an area and to preserve historic resources found in it. The focus is on maintaining that character and on preserving those key character-defining features of individual historic resources within the district as viewed from the street right-of-way, excluding alleys..." (Section 5.4.2.A.1. of the Unified Development Ordinance)
- Section 5.4.2.B. of the Unified Development Ordinance governs the applicability of the COA process in Streetside HODs. Changes within the first 50% of the depth of any existing principal building from the facade adjacent to a public right-of-way requires a COA. For the sake of this measurement, the house runs from the front wall (not the front of the front porch) to the rear wall (also not including porches).
- As a corner lot, the 50% is measured from both streets.
- Those items shown on the plans or mentioned in the written description that are not subject to COA review are:
  - Removal of the utility chimney
  - Removal of the deck
  - Removal of the existing rear addition
- COAs mentioned are available for review
- The non-historic 1/1 windows were removed and replaced with vinyl 6/6 windows sometime after July 2018, per Google Streetview imagery.

### APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<i>Sections</i>	<i>Topic</i>	<i>Description of Work</i>
1.3	Site Features and Plantings	Construct addition; remove tree
2.6	Exterior Walls	Remove vinyl siding
2.7	Windows and Doors	Construct addition; alter window and opening

3.2	Additions	Construct addition
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### STAFF REPORT

Based on the information contained in the application and staff's evaluation:

- A. Constructing an addition and removing a tree are not incongruous in concept according to *Guidelines* sections 1.3.1, 1.3.2, 1.3.6, 1.3.7, 1.3.8, 3.2.1, 3.2.2, 3.2.6, 3.2.7, 3.2.8, 3.2.9, 3.2.10, 3.2.11, 3.2.12; however, the use of vinyl windows is incongruous according to *Guidelines* sections 2.7.9, 2.7.13 and the following suggested facts:
- 1\* The Glenwood-Brooklyn Historic Overlay District report describes 713 Hinsdale Street as a ca. 1923 "one-story frame house with vinyl siding and an asphalt-shingled gable roof. The porch has tapered wood posts. Other features include a foundation of brick piers with brick infill, a rear wing, modern 1/1 windows."
  - 2\* The house sits at the northeast corner of Hinsdale and Gaston streets.
  - 3\* The application states that one tree is proposed to be removed due to its proximity to the proposed addition and the potential impact to its root system. An accurate site plan was not provided.
  - 4\* The application proposes an addition on the rear, non-character-defining facade of the house.
  - 5\* An existing small rear addition and a rear deck are proposed to be removed to accommodate the new addition that would extend the length of the house as seen from Gaston Street by 10'3". The proposed addition is at the same level as the historic house.
  - 6\* The new addition is rectangular in form similar to the existing house with a gable roof form. The addition alters the existing rear hip roof form and raises the existing ridge line of the hip.
  - 7\* As shown in the side elevations, the roof ridge of the addition will be lower in height than the roof ridge height of the historic house. The elevations were not dimensioned, nor was a graphic scale provided.
  - 8\* The historic house is clad in 8" vinyl siding. The application states that the wood siding that exists underneath the vinyl siding will be evaluated when the rear wall of the house is removed. If the wood is in good condition, the application proposes to install fiber cement siding on the addition. If the wood is in poor condition or does not exist, the application

requests to install vinyl siding on the addition. The Commission has not previously found vinyl siding to be congruous in any circumstance.

- 9\* The eaves, soffits, and overhangs are proposed to be similar to the existing. Detailed drawings were not provided.
- 10\* The proposed addition will be structurally self-supporting with a painted CMU foundation to match the existing painted brick.
- 11\* The application states that the existing windows are all vinyl. The existing window appear to have between-the-glass grilles. The Committee has not previously found this treatment of window grilles to be congruous in any case.
- 12\* Four styles of windows are proposed on the addition:
- a. On the right/east façade, a six-over-six window is proposed to match the existing windows on that façade. Specifications were not provided.
  - b. On the rear/south facade, a four-pane transom window is proposed at the rear corner of the property closest to the street. The Committee has not found the installation of these windows to be congruous on character defining facades. One four-over-four window is proposed adjacent to the transom window. This is the only occurrence of both proposed window styles on the structure.
  - c. On the left/west façade, two horizontally oriented six-over-six windows are proposed. The windows of different proportion than the windows on the historic house. This is the only occurrence of that proposed window style on the structure.

A product page was included; however, window specifications were not.

- 13\* The elevation drawings appear to indicate that the proposed window trim is to have flat casing on three sides, with a sill at the bottom. Detailed drawings were not provided.
- 14\* The application included photographs of a few corner properties in Glenwood-Brooklyn.
- 15\* Exterior lighting was not shown on the drawings, nor were specifications provided.
- 16\* Gutters and downspouts were not shown on the drawings, nor were specifications provided.



- B. Altering a window is not incongruous in concept according to *Guidelines* sections 2.7.1, 2.7.9, 2.7.11; however, the alteration of a historic window opening **is** incongruous according to *Guidelines* sections 2.7.1, 2.7.11, and the following suggested facts:
- 1\* The application proposes the alteration of a window within the first 50% of the house on the east/left façade.
  - 2\* The existing window is a six-over-six vinyl window.
  - 3\* The historic nature of the window opening is not described; however, it is likely original to the construction of that addition.
  - 4\* From *Design Guidelines* section 2.7, Windows and Doors, in the Things to Consider as You Plan section: "Changing existing window and door openings, closing existing openings, or adding new openings on a historic building should be carefully considered and undertaken only for compelling reasons. Changes to original openings in a character-defining facade should never be considered. For less significant facades, the pattern of proposed openings should be characteristic of and complementary to the historic building and the historic district context."
  - 5\* The applicants propose replacing the existing window with a modern pair of six-over-six vinyl windows without a historic mull separation.

Staff suggests that the committee discuss the use of vinyl siding on the addition and installation of vinyl windows. Pending the result of that discussion, staff suggests that the committee approve the application, with the following conditions:

1. That the siding of the addition not be vinyl; that it be either wood or smooth faced fiber cement.
2. That the window opening not be altered.
3. That vinyl windows not be installed in the addition.
4. That details and specifications for the following be provided to and approved by staff prior to issuance of the blue placard:
  - a. Eave detail drawing;
  - b. Window specifications;
5. That details and specifications for the following be provided to and approved by staff prior to installation or construction:
  - a. Specifications for the gutters and downspouts, and location on the building;

- b. Manufacturer's specifications for exterior lighting, and location on the building, if any.

Staff contact: Collette Kinane, [collette.kinane@raleighnc.gov](mailto:collette.kinane@raleighnc.gov).

July 2018



April 2019





May 2016



March 2019





# Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Development Services  
Customer Service Center  
One Exchange Plaza  
1 Exchange Plaza, Suite 400  
Raleigh, North Carolina 27601  
Phone 919-996-2495  
eFax 919-996-1831



- ☐ Minor Work (staff review) – 1 copy
- ☒ Major Work (COA Committee review) – 10 copies
- ☒ Additions Greater than 25% of Building Square Footage
- ☐ New Buildings
- ☐ Demo of Contributing Historic Resource
- ☐ All Other
- ☐ Post Approval Re-review of Conditions of Approval

## For Office Use Only

Transaction # \_\_\_\_\_

File # \_\_\_\_\_

Fee \_\_\_\_\_

Amount Paid \_\_\_\_\_

Received Date \_\_\_\_\_

Received By \_\_\_\_\_

Property Street Address 713 Hinsdale Street

Historic District Glenwood/Brooklyn

Historic Property/Landmark name (if applicable)

Owner's Name Miao Ventures (Daymon & Myriam Asbury)

Lot size

(width in feet) 47.52

(depth in feet) 257.35

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
711 HINSDALE ST, RALEIGH NC 27605-1411	214 WANDA DR, PIKEVILLE NC 27863-9317
712 HINSDALE ST, RALEIGH NC 27605-1412	PO BOX 2150, SOUTHERN PINES NC 28388-2150
804 W PEACE ST, RALEIGH NC 27605-1416	709 HINSDALE ST, RALEIGH NC 27605-1411
715 GASTON ST, RALEIGH NC 27605-1409	3312 DARIEN DR, RALEIGH NC 27607-6770
711 GASTON ST, RALEIGH NC 27605-1409	710 HINSDALE ST, RALEIGH NC 27605-1412
PO BOX 28929, RALEIGH NC 27611-8929	
PO BOX 110083, DURHAM NC 27709-5083	
709 GASTON ST, RALEIGH NC 27605-1409	



I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Daymon & Myriam Asbury

Mailing Address 1002 Towhee Drive

City Apex

State NC

Zip Code 27502

Date 1/8/2020

Daytime Phone (919) 244-5402

Email Address Myriam@AsburyRemodeling.com

Applicant Signature

*Myriam Asbury*

Will you be applying for rehabilitation tax credits for this project? ☐ Yes ☒ No

Did you consult with staff prior to filing the application? ☒ Yes ☐ No

Office Use Only

Type of Work \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

**Design Guidelines** - Please cite the applicable sections of the design guidelines ([www.rhdc.org](http://www.rhdc.org)).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
3.2	Additions	See Attached



### Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until \_\_\_\_\_. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) \_\_\_\_\_ Date \_\_\_\_\_

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.					
<u>Minor Work (staff review) – 1 copy</u>					
<u>Major Work (COA Committee review) – 10 copies</u>					
1. <b>Written description.</b> Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input type="checkbox"/>				
2. <b>Description of materials</b> (Provide samples, if appropriate)	<input type="checkbox"/>				
3. <b>Photographs</b> of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input type="checkbox"/>				
4. <b>Paint Schedule</b> (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>			
5. <b>Plot plan</b> (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input type="checkbox"/>			
6. <b>Drawings</b> showing existing and proposed work <ul style="list-style-type: none"> <li><input type="checkbox"/> Plan drawings</li> <li><input type="checkbox"/> Elevation drawings showing the façade(s)</li> <li><input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required)</li> <li><input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.</li> </ul>	<input type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	<input type="checkbox"/>	<input type="checkbox"/>			
8. <b>Fee</b> ( <u>See Development Fee Schedule</u> )	<input type="checkbox"/>				

### **Written Description**

RHDC Recording: 713 Hinsdale Street. Neal H. Johnson House. ca. 1923. One-story frame house with vinyl siding and an asphalt-shingled gable roof. The porch has tapered wood posts. Other features include a foundation of brick piers with brick infill, a rear wing, modern 1/1 windows. Johnson was a carpenter.

#### Description below is referenced from front of house

The Miaoz Ventures property at 713 Hinsdale Street is a 1920 structure, 1-story, 900 sq. ft. house, front facing main gable with a secondary gable in back funneling into two uneven hips facing back of house. The windows are 6 over 6 Moss 3300 single-hung vinyl windows. The exterior is standard 8" vinyl siding. The roof is asphalt shingles and a front porch with tongue and groove wood flooring with a shed-style roof covering.

The proposed 330 sq. ft. addition will be sensitively attached to the back of the house, not exceeding the existing width. The right side will extend 10' 3" beyond existing and the left side will extend 7' 7" beyond existing. The addition will require the demolition of the existing deck, portions of the secondary back gable roof and the back exterior wall only.

In order to strike a balance and due to the proposed size of addition, it is not feasible to differentiate the addition from the original building; except by a vertical corner board. The windows of the original structure and addition will be in very close proximity. Therefore, we would like to use the same windows, which are the Moss 3300, 6 over 6, single-hung vinyl windows.

The original wood lap siding is on the house behind the existing white 8" vinyl siding. Once we remove the back wall, if the wood lap siding is in good condition, we will take down the vinyl siding on the entire house and use Hardie plank for the addition. If the wood lap is not in good condition, we will leave the vinyl siding and continue the vinyl on the addition.

The proposed addition will be self-sustaining on its own foundation and therefore not effecting the original structure. Although, it will not be significantly different from the existing, a transom window will be a visual cue to the addition. The new windows will match the existing – Moss 3400 series, 6 over 6, single hung, vinyl windows. An additional 4/0x1/0 vinyl transom window will be added to the back. The new back door will match in size (2'8") but will be a full-view fiberglass door.

The roof will convert the uneven hips to one main A-Frame roof with one gable facing the back yard. The current poor roof design is causing water problems inside the house. This will resolve a previously, poorly constructed addition that contained an inadequately pitched roof and sloping interior ceilings to 7'. The proposed A-Frame roof will pitch the water correctly, restore the original 9' interior ceiling height. Many houses in Glenwood-Brooklyn have bi-lateral A-frame roofs (Pictures 6-9). To construct the roof, we will need to remove the top portion of the utility chimney, 10' of the chimney will remain.

The interior of the proposed addition will consist of the following: enlarging the master bedroom and adding a full bathroom, walk-in closet and mud room – all totaling an addition of 330 square feet – a total increase of 37% of the original house.



Miaoz Ventures Property  
713 Hinsdale Street

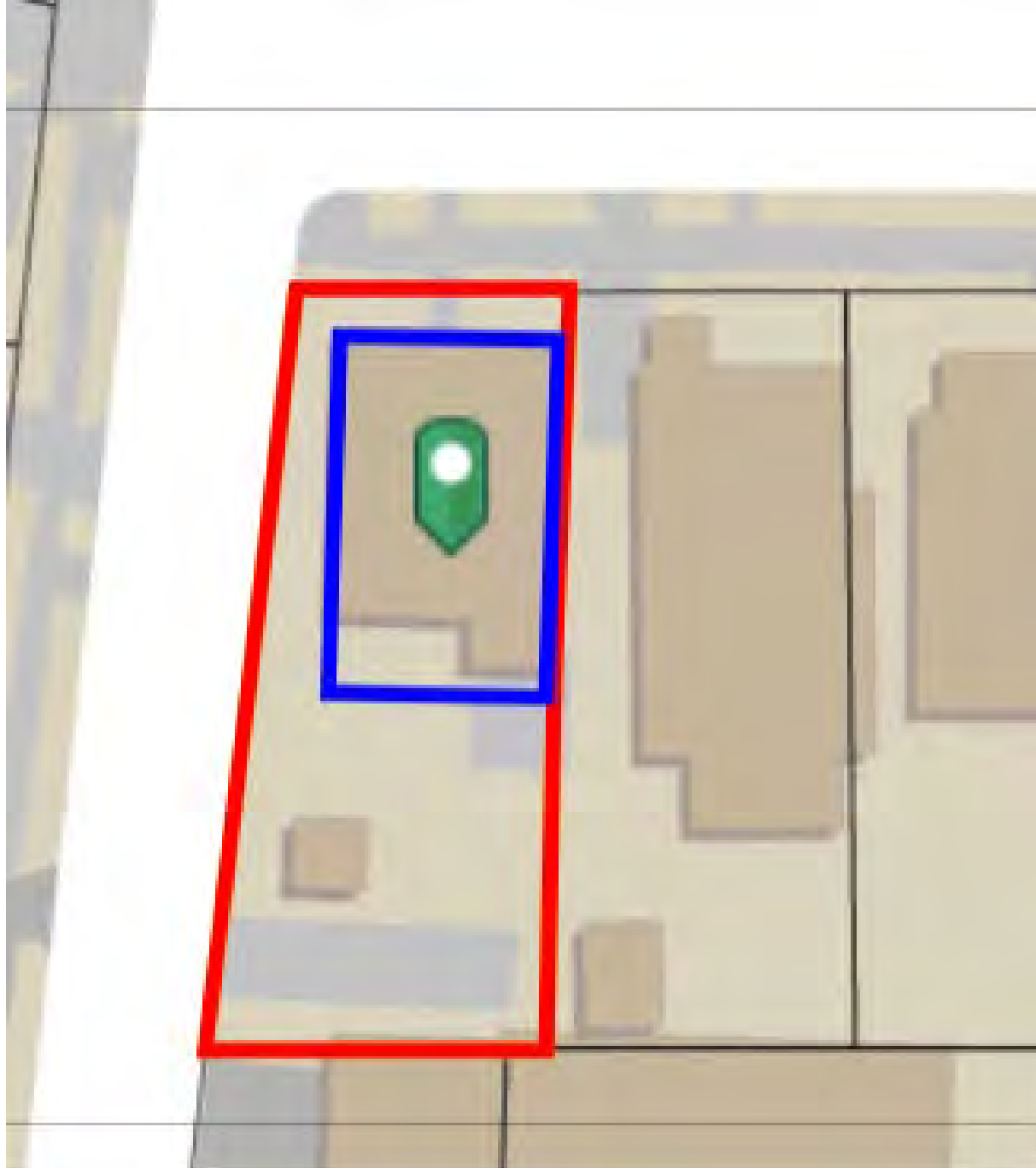
Certificate of Appropriateness Application

The original brick foundation is painted white. The addition will be a CMU foundation; painted white.

The roots of one tree would be affected and therefore kill the tree if not removed. Therefore, only 1 tree will be removed for the proposed addition, maintaining site topography and character defining site features. Referenced in Pic #2. All other trees and shrubbery will be protected during construction. The proposed addition does not require additional soil, changing the topography of the lot or soil compaction.

# 713 Hinsdale





— Proposed – Not to Scale



Glenwood/Brooklyn  
Map





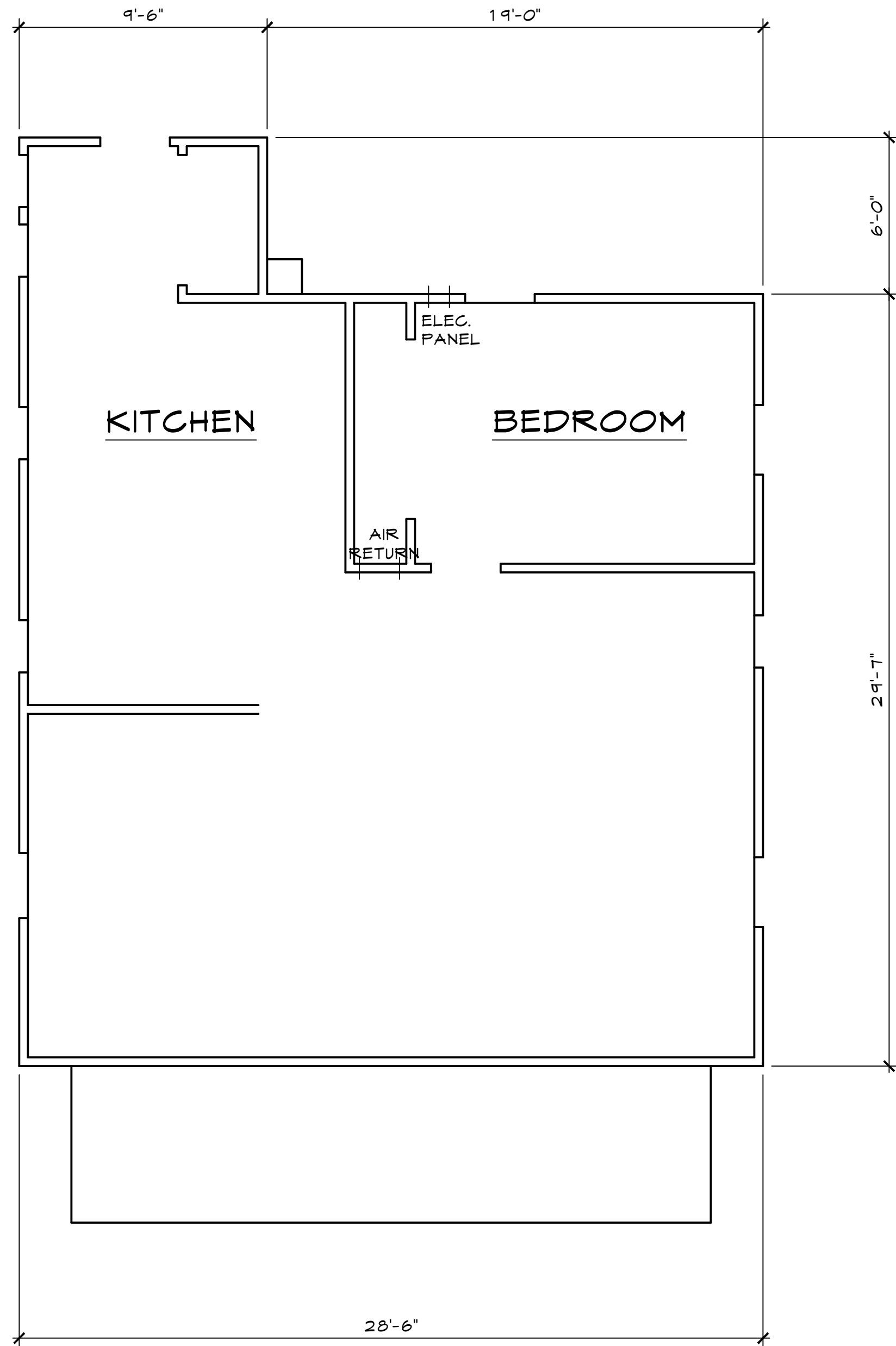
Pic #4



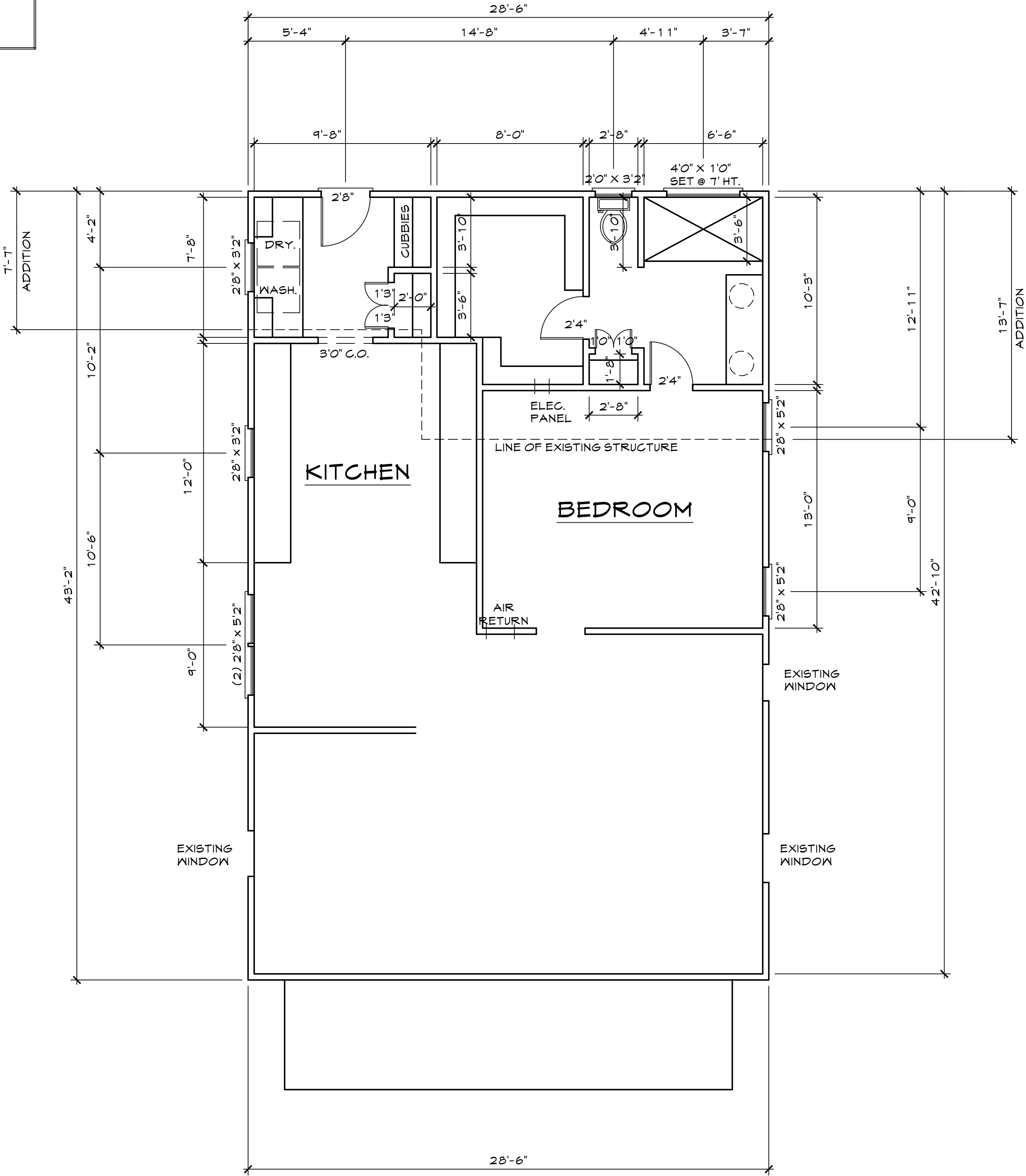
INASMUCH AS THE REMODELING AND/OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITION, AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT EXPENDING ADDITIONAL SUMS OF MONEY, OR DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING, THE OWNER AGREES THAT, EXCEPT FOR NEGLIGENCE ON THE PART OF THE DESIGN PROFESSIONAL, THE OWNER WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGN PROFESSIONAL FROM AND AGAINST ANY AND ALL CLAIMS ARISING OUT OF THE PROFESSIONAL SERVICES PROVIDED UNDER THIS AGREEMENT.

Contractor shall verify all conditions and dimensions prior to construction. Any error or omissions shall be reported to KHRD for corrections or justification. Contractors must comply with all local building codes where home is to be built. If no Engineered drawings are provided, contractor must consult with a local Engineer for structural design. Once construction has begun, contractor will assume all responsibility.

330 new sq. ft.  
900 existing sq. ft.



EXISTING LAYOUT @ 1/4" = 1'0"



NEW LAYOUT @ 1/4" = 1'0"

RESIDENTIAL DESIGN BY

KIM HOPKINS  
919.621.1504

PLAN NAME:  
**ASBURY**  
DATE: **2-20-19**

**713 HINGDALE STREET**

REVISION	DATE

Copyright, 2019  
By Kim Hopkins Residential Design, INC.  
  
All rights reserved. No part of these plans may be used, reproduced, stored in a retrieval system, or transmitted in any form by any means, electronic, mechanical, photocopying, recording or otherwise, without the written permission of KHRD, INC.

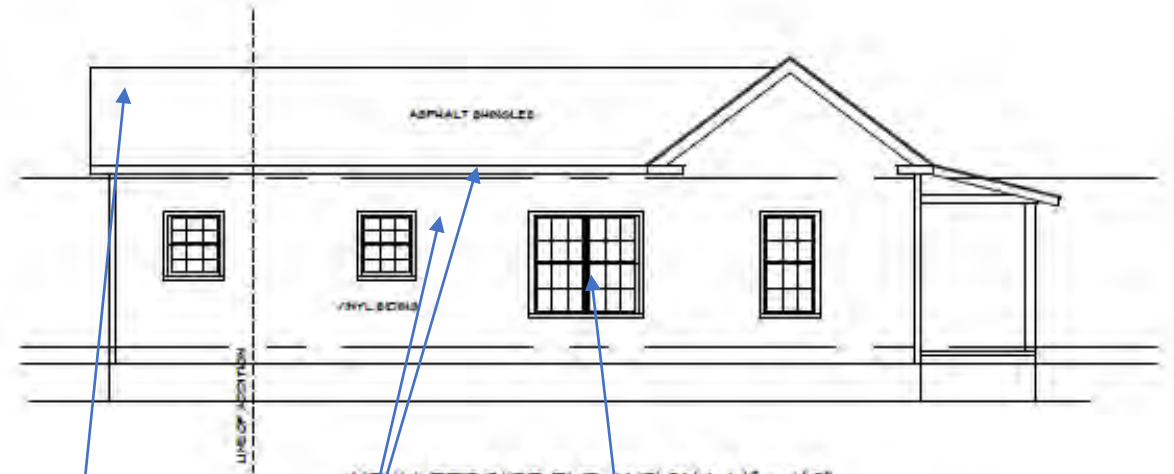
These plans have been designed to meet the requirements of the 2018 residential building code. These plans are designed to be used by a licensed general contractor. Do not scale drawings, written dimensions will have precedence over scaled dimensions. Plumbing and HVAC plans are to be handled by the general contractor unless specified otherwise. Each must comply with local building codes.

Contractor shall verify all conditions and dimensions prior to construction. Before construction begins any error or omission shall be reported to KHRD, INC. for correction or justification. Once construction has begun, contractor will assume all responsibility. Contractor must comply with all local building codes in location where home is to be built. If no engineering drawings are provided, contractor must consult with local engineer before construction begins for structural design.

**NEW &  
EXISTING  
FLOOR PLANS**



EXISTING LEFT SIDE ELEVATION 1/4" = 1'0"



NEW LEFT SIDE ELEVATION 1/4" = 1'0"

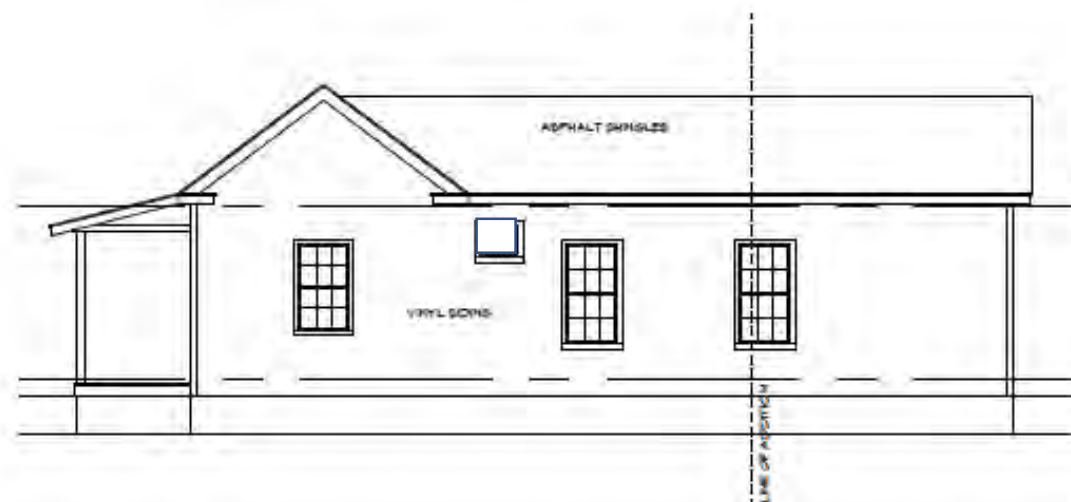
Asphalt Shingles

8" Vinyl Siding/Soffit

6 over 6 Vinyl Windows  
Moss 3300 series, single hung

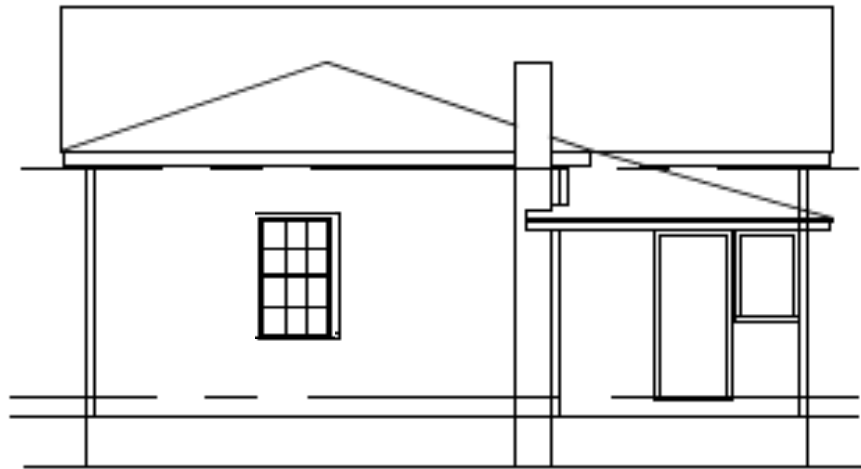


EXISTING RIGHT SIDE ELEVATION 1/4" = 1'0"

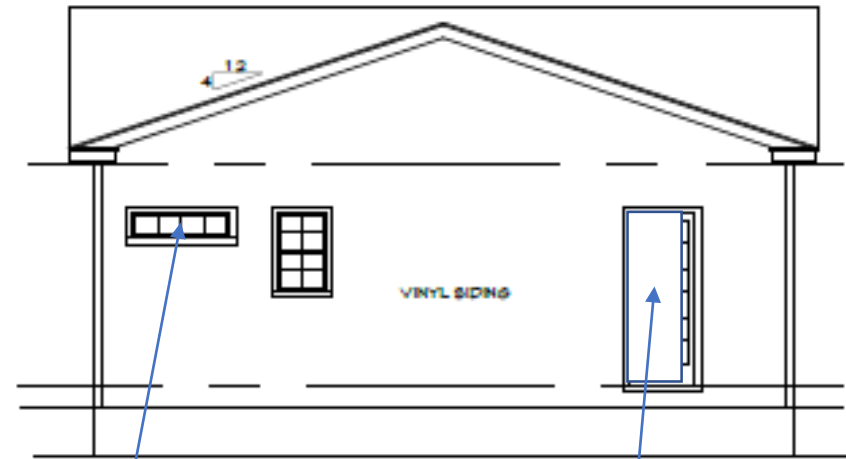


NEW RIGHT SIDE ELEVATION 1/4" = 1'0"





EXISTING REAR ELEVATION 1/4" = 1'0"

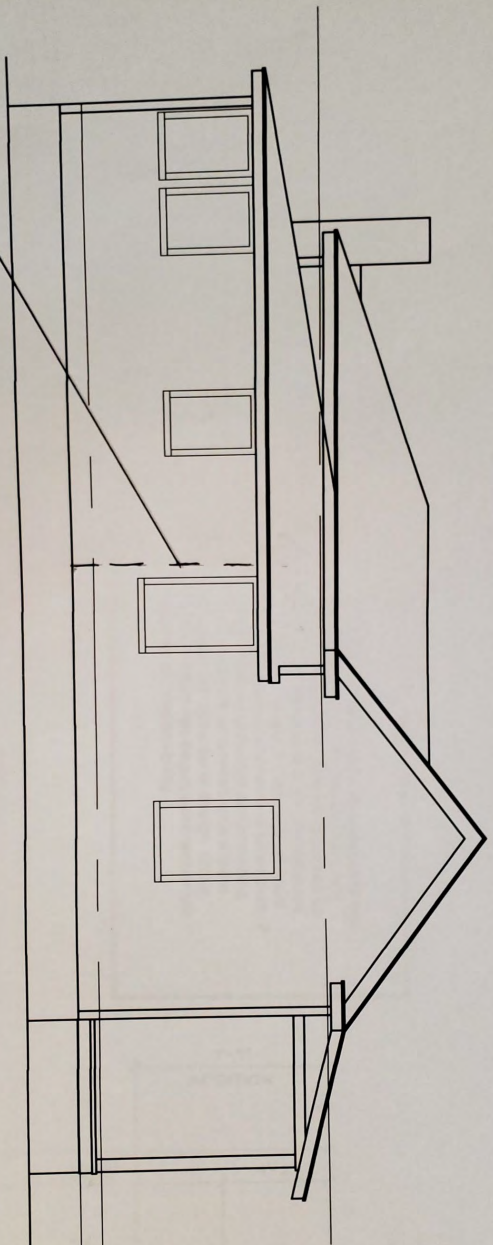


NEW REAR ELEVATION 1/4" = 1'0"

4/0 x 1/0 Vinyl, clear glass window

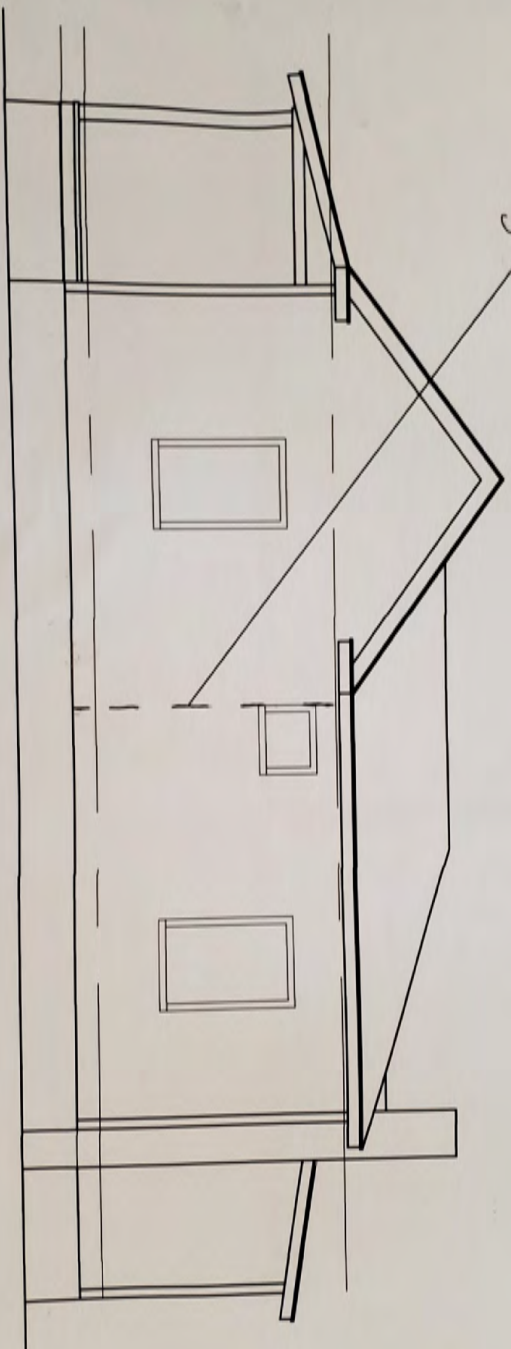
2/8 in-swing full light Fiberglass door

50'  $\phi$  Existing

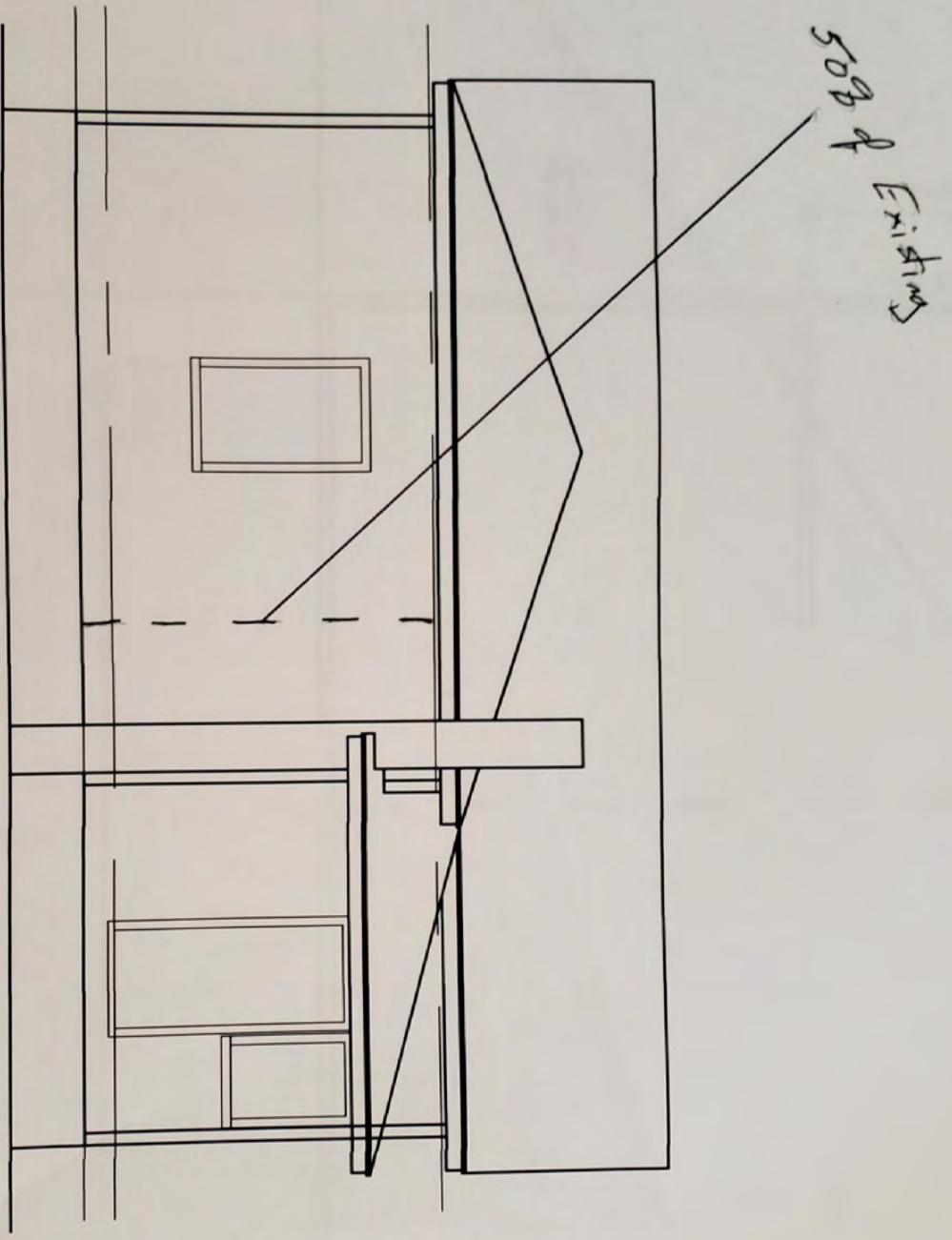


EXISTING LEFT SIDE ELEVATION 1/4" = 1'0"

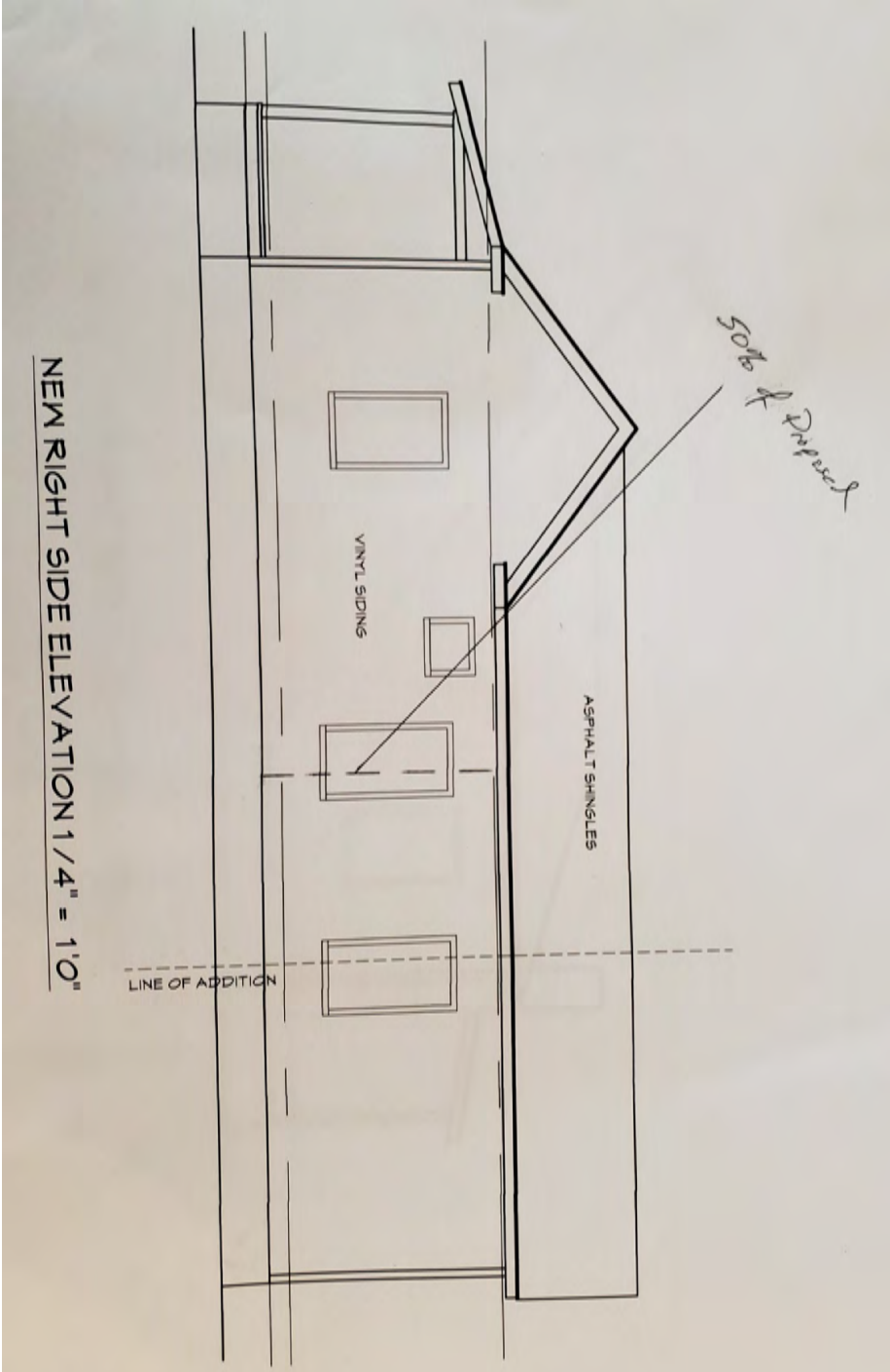
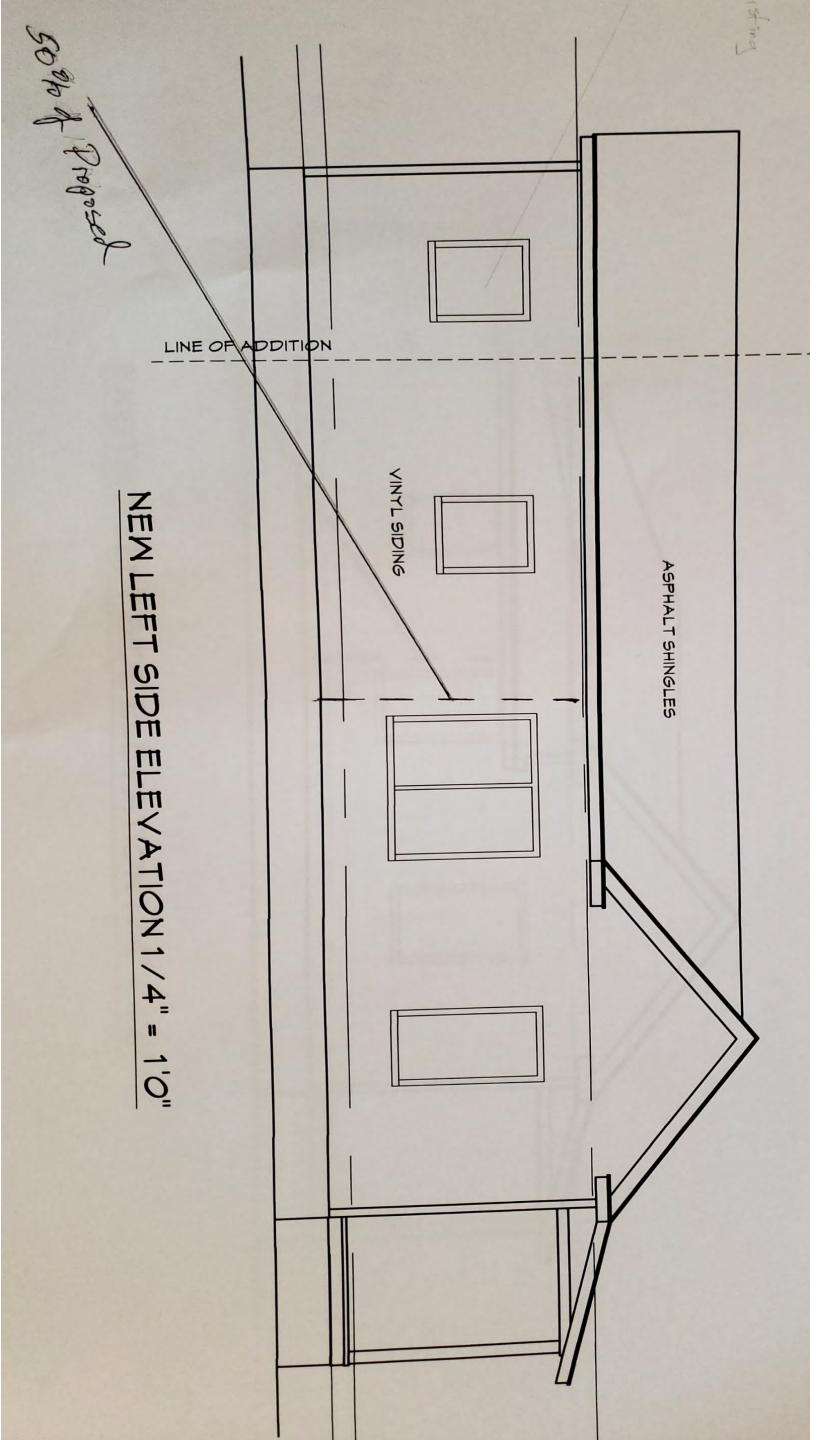
50'  $\phi$  Existing



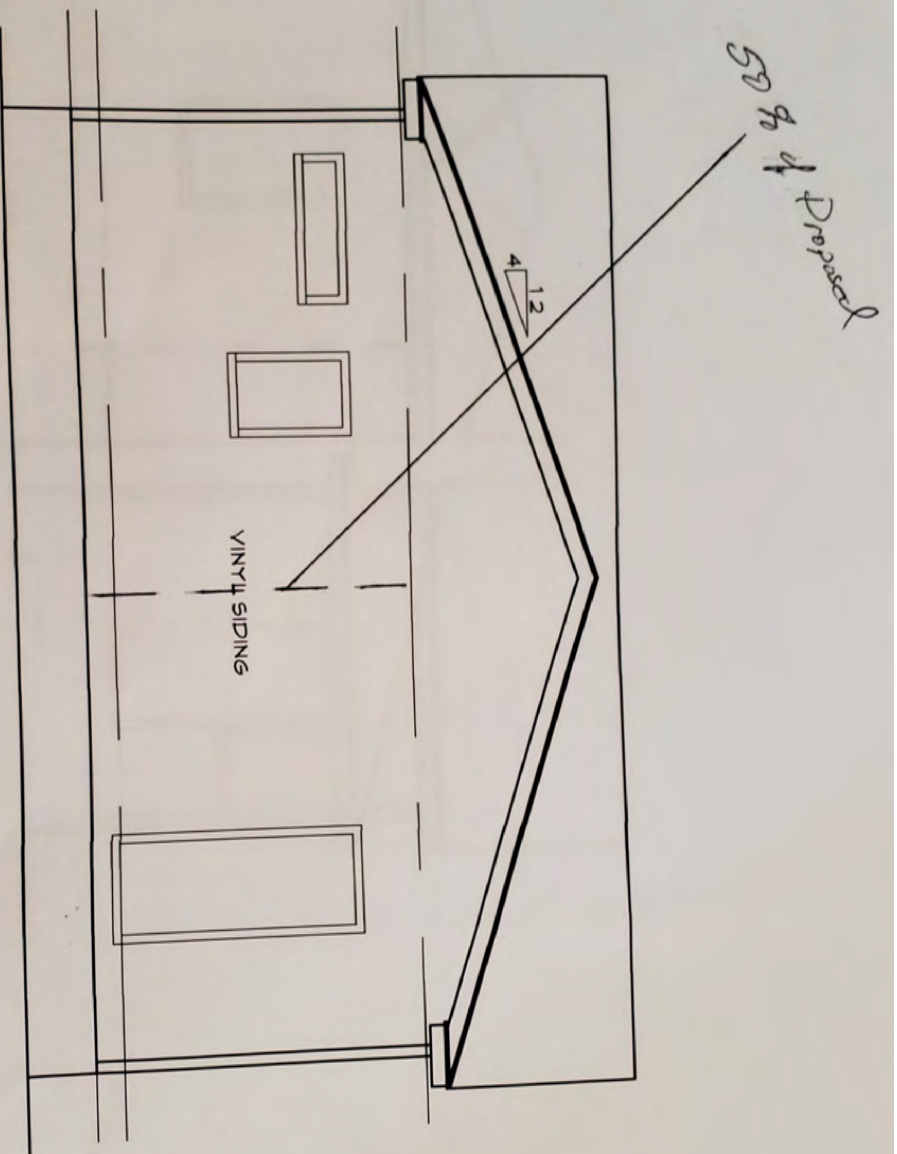
EXISTING RIGHT SIDE ELEVATION 1/4" = 1'0"



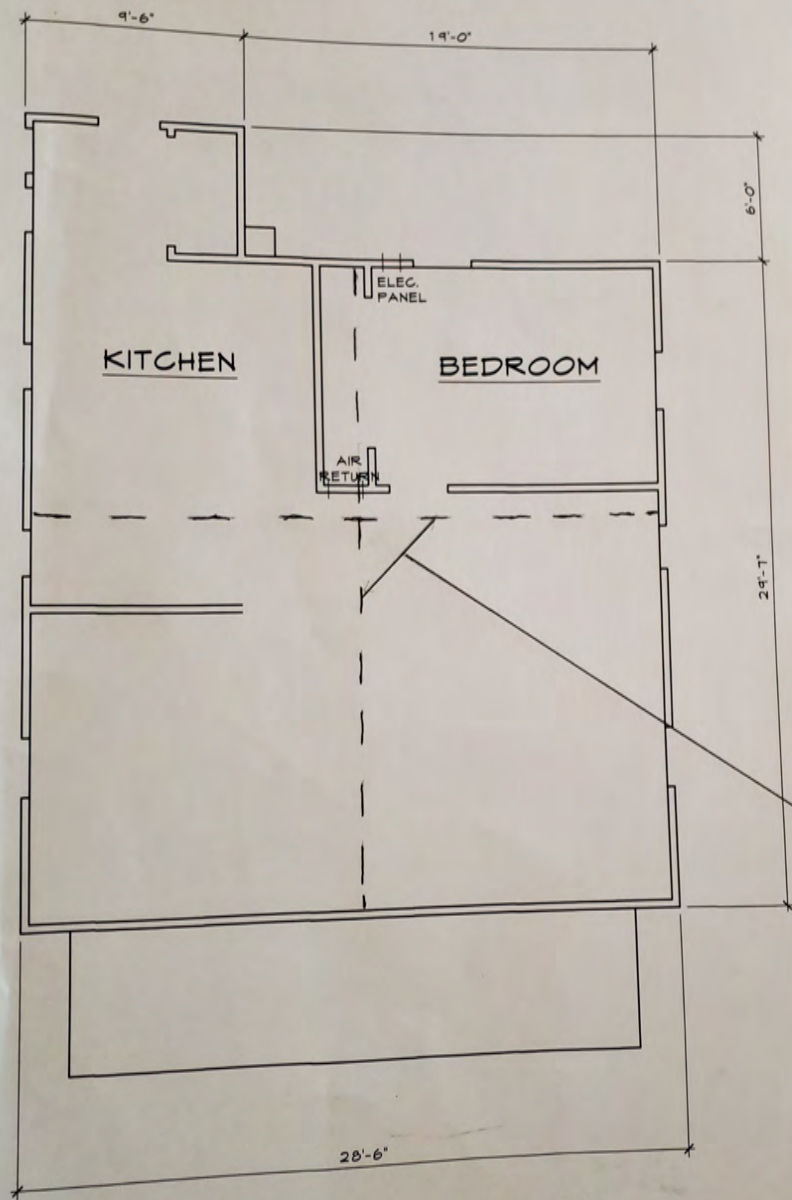
EXISTING REAR ELEVATION 1/4" = 1'0"







NEW REAR ELEVATION 1/4" = 1'0"

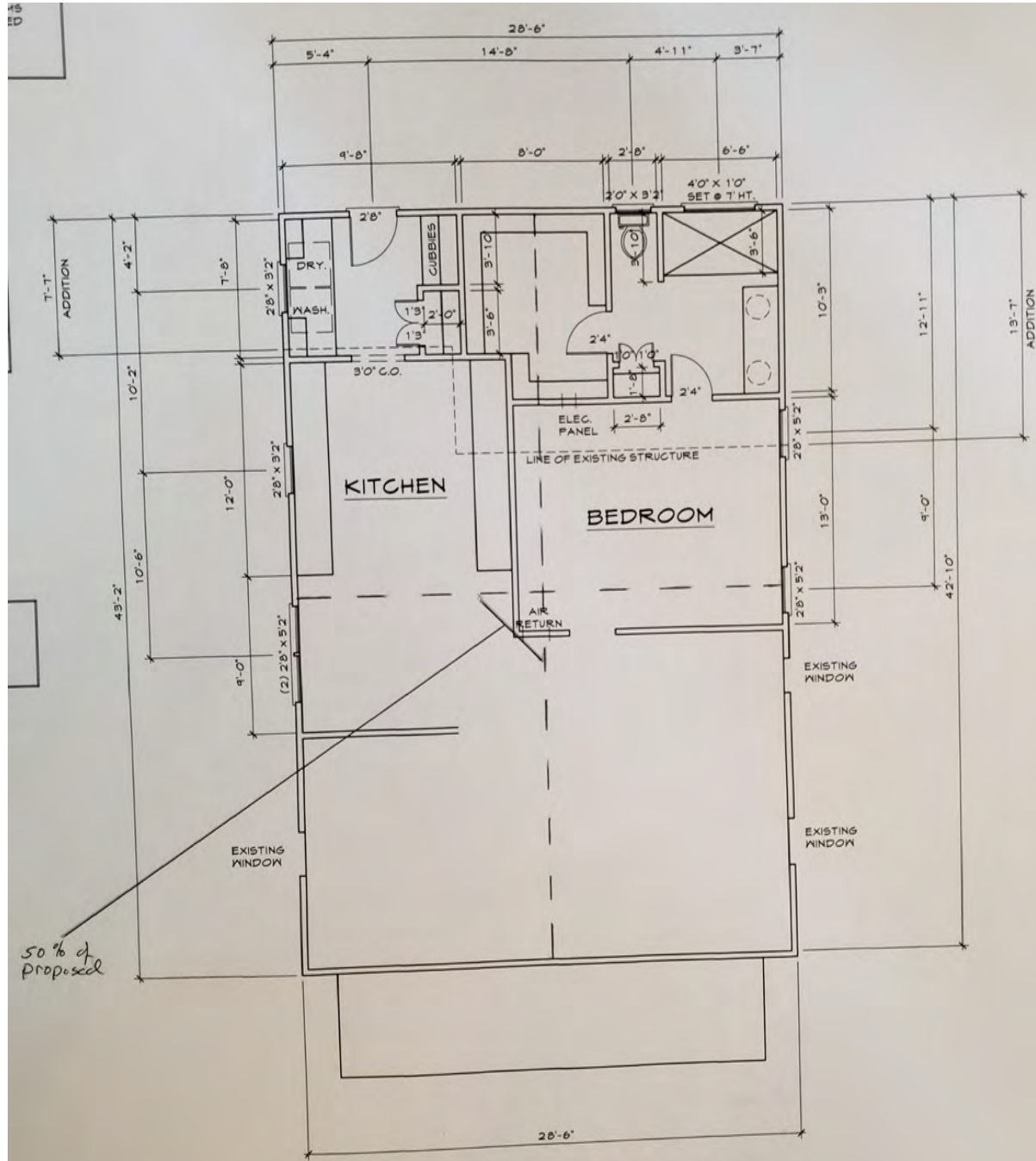


Contractor shall verify all con-  
dimensions prior to construct  
error or omissions shall be re-  
KHRD for corrections or jus-  
Contractors must comply with  
building codes where home is  
no Engineered drawings are pr-  
contractor must consult with  
Engineer for structural design  
construction has begun, cont-  
assume all responsibility.

330 new  
900 exis

50 of Existing

EXISTING LAYOUT @ 1/4" = 1'0"



50% of proposed

NEW LAYOUT @ 1/4" = 1'0"





Front of House on Hinsdale

Pic #1





View from Gaston –  
1 Tree that will be  
removed





Pic #3





Pic #4













712 Hinsdale Street  
Corner of Hinsdale  
And Gaston

Pic #5





712 Hinsdale Street  
Corner of Hinsdale  
And Gaston





719 Devereux Street  
Corner of Devereux  
and Gaston



711 Hinsdale



709 Gaston





813 Glenwood



Pic #8

717 N Boylan Ave



701 Hinsdale





716 Devereux



Pic #9

711 Gaston



710 Hinsdale





# 3300 Single Hung



## Performance Ratings S.H. - Thermal

	Low E	Low E -grids	Low E/ Argon	Low E-grids Argon
"U" Value	.32	.32	.29	.29
Solar Heat Gain	.30	.27	.30	.27
Visible Light Transmittance	.56	.50	.54	.48

## Performance Ratings S.H. - Structural

<u>Size</u>	<u>Rating</u>
Up to 40x74	R50/DP50
48x84	R35/DP35

# 3500 Double Hung





## *3000 Series Replacement Products*

Moss Supply offers the 3000 Series Replacement windows. Available in a full line of products, including Single hung, Double hung, Casement, Slider and a new high performance Impact Single hung for high wind and coastal regions.

[www.mosssupply.com](http://www.mosssupply.com)



### *Features Include:*

Fiberglass screen

Fully welded sash and frame

Grid options: 7/8" flat, 1" profile

Colors: White, Beige Clay & painted Bronze

Full weather-stripping to keep the wind & weather outside