

# City of Raleigh



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## COA-0012-2019

412 N EAST STREET  
OAKWOOD HISTORIC  
DISTRICT (R-10)

0 25 50 100  
Feet



Nature of Project: Master landscape  
plan; install driveway; install lighting;  
install gutters and downspouts; alter  
porch steps; remove two trees

APPLICANT:  
SCOTT AND AMANDA MORGAN



## APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

COA-0012-2019 412 N EAST STREET

Applicant: SCOTT AND AMANDA MORGAN

Received: 1/16/2019

Meeting Date(s):

Submission date + 90 days: 4/16/2019

1) 2/28/2019 2) 5/23/19 3) **6/27/2019**

### INTRODUCTION TO THE APPLICATION

Historic District: OAKWOOD HISTORIC DISTRICT

Zoning: GENERAL HOD

Nature of Project: Master landscape plan; install **parking area**; install lighting; install gutters and downspouts; alter porch steps; remove two trees; **construct rear deck**; **construct privacy panels**

#### Staff Notes:

- Unified Development Code section 10.2.15.E.1 provides that “An application for a certificate of appropriateness authorizing the demolition or destruction of a building, structure or site within any Historic Overlay District...may not be denied.... However, the authorization date of such a certificate may be delayed for a period of up to 365 days from the date of issuance.... If the Commission finds that the building, structure or site has no particular significance or value toward maintaining the character of the Historic Overlay District or Historic Landmark, it shall waive all or part of such period and authorize earlier demolition or removal.”
- COAs mentioned are available for review.
- Changes made to the initial staff report appear in **bolded** text.
- **The application was deferred at the February and May 2019 COA Committee meetings.**

### APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<i>Sections</i>	<i>Topic</i>	<i>Description of Work</i>
1.3	Site Features and Plantings	Master landscape plan; install <b>parking area</b> ; remove two trees; <b>construct rear deck</b>
1.4	Fences and Walls	Master landscape plan; <b>construct privacy panels</b> ; remove <b>fencing</b>
1.5	Walkways, Driveways, and Off-street Parking	Install <b>parking area</b>
1.7	Lighting	Install lighting
2.5	Roofs	Install gutters and downspouts
2.8	Entrances, Porches and Balconies	Alter porch steps
3.1	Decks	<b>Construct rear deck</b>

## STAFF REPORT

Based on the information contained in the application and staff's evaluation:

- A. A master landscape plan, installing a parking area, privacy trellis/panels, and constructing a rear deck are not incongruous in concept according to *Guidelines* 1.3.1, 1.3.2, 1.3.7, 1.3.8, 1.3.9, 1.3.10, 1.3.13, 1.4.8, 1.4.11, **1.5.5, 1.5.6, 1.5.7, 1.5.11, 3.1.1, 3.1.2, 3.1.4, 3.1.5, 3.1.6, 3.1.7**; however, removing two healthy trees **is** incongruous according to *Guidelines* 1.3.5, 1.3.7, **1.5.9** and the following suggested facts:
- 1\* The structure is included in the "Inventory of Structures in The Oakwood National Register Historic Districts" Raleigh, North Carolina By Matthew Brown, Historian, Society for the Preservation of Historic Oakwood Researched and written from 2004 to 2015. That document describes the house as a c.1888 Victorian triple-A frame cottage that has experienced several additions and restorations – the addition of a kitchen and connecting porch, enclosure of the porch, addition of a side porch and wrap around porch.
  - 2\* The property is located mid-block next to a gravel alley.
  - 3\* The master landscape plan includes re-grading the rear yard, the installation of a French drain, small perennial and bush plantings, **construction of privacy panels; enlargement of a side yard brick patio; and construction of a rear deck.**
  - 4\* A curvilinear stone edge border is proposed for the front yard around existing beds to the north and south of the front walk. Small grasses and perennial plantings are proposed for the lawn area between the front walk and planting beds.
  - 5\* Two trees greater than 8" DBH are proposed for removal – an **11" DBH Cryptomeria** and an **11" DBH Hackberry**. An assessment on the health of the trees prepared by an ISA certified arborist **that identified Critical Root Zones (CRZ) and suggested areas of no disturbance** was provided. **The assessment indicated that the Cryptomeria is dead and the Hackberry has a side lean. The CRZs were incorrectly calculated.** Replacement trees were not specified.
  - 6\* A site plan showing the locations, DBH, and species of trees on the property was included.
  - 7\* To abate water infiltration issues, the applicant proposes the installation of a gravel covered French drain on the north side of the property, in addition to re-grading the rear yard.

- 8\* Gravel ground cover is also proposed for the rear yard around the accessory structures. A photograph was provided that showed gravel at 507 Oakwood, where the gravel was limited to pathways.
- 9\* A 2' tall fieldstone retaining wall with low hedges is proposed to facilitate the re-grading and allow for the installation of the parking area. An elevation and section were provided.
- 10\* The existing topography of the property was provided. A site plan was provided that shows the proposed rear wall overlaid on the existing topography.
- 11\* A photo was provided on page 16 that indicated the stone columns along the retaining wall would be topped with lamps that match the exterior lighting on the front porch. This style of lamp/wall post combination is atypical to Oakwood.
- 12\* Photographs were provided of similarly designed retaining walls in Oakwood: 501 Oakwood Avenue (007-13-CA) and 523 N Bloodworth (165-15-CA).
- 13\* A photograph and dimensions were provided for the proposed privacy trellis/panels in the north side yard. A section drawing and elevation view were not provided.
- 14\* The location of the provided trellis/panels example from 609 Polk Street was not approved through a COA. A 7' tall trellis was approved for the rear yard in 2006 (035-06-CA).
- 15\* The application includes the removal of an existing dirt parking pad and replacement with a paved parking area. Paved parking areas are common along the alley.
- 16\* Applicant testimony at the May 23<sup>rd</sup> COA hearing noted that parking at a 90-degree angle is not possible due to the width of the alley. The applicant is proposing an angled parking pad. Documentation was provided to show that the proposed parking pad could not accommodate more than two vehicles.
- 17\* As part of the parking pad installation, the 6' fence located around the existing parking area is proposed to be removed.
- 18\* A deck is proposed for the rear (east) façade. The height of the decking is 21" from grade on the north side of the deck and 33" from the south.
- 19\* The railings proposed on the north and south sides of the deck are 4" wire mesh. This railing style is atypical to Oakwood but was historically seen in rear yard fencing. Horizontal wire railings have been found to meet the Design Guidelines on rear decks.



20\* **Built area to open space:** The lot is 14,375 SF. The current built area, including the house, walkways, patios, and accessory structures is 3,898 SF, resulting in a built area ratio of 27%. The proposed parking pad, gravel area in the rear yard, and patio extension are 1,894 SF, with a total SF of 5,792 SF. The proposed built area ratio is 40%, an increase of 13%.

B. Installing lighting, installing gutters and downspouts, and altering the front steps are not incongruous in concept according to *Guidelines* 1.3.1, 1.3.2, 1.3.7, 1.4.8, 2.5.8, 2.8.1, and the following suggested facts:

- 1\* Exterior lighting, gutters and downspouts, and alteration of steps are minor works that are included here for administrative efficiency.
- 2\* The applicant proposes to install recessed lighting on the front porch. Specifications were provided, but specific installation locations were not provided.
- 3\* Gutters and downspouts are proposed for the north and south facades and will match the existing. Installation locations were provided.
- 4\* The applicant proposes to install a brick veneer to the concrete steps of the front porch using reclaimed or matching brick from the property. The brick will match the existing brick walk and foundation. Specifications were provided.

Staff recommends that the committee discuss the appropriateness of wire mesh railings on the deck and then defer the application until the following information is provided:

- A tree protection plan prepared by an arborist certified by the International Society of Arboriculture (ISA) or by a North Carolina licensed landscape architect that addresses the critical root zones and provides staging areas for construction activity and material storage.

Should the Committee choose to make a decision staff suggests the committee approve the application with the following conditions:

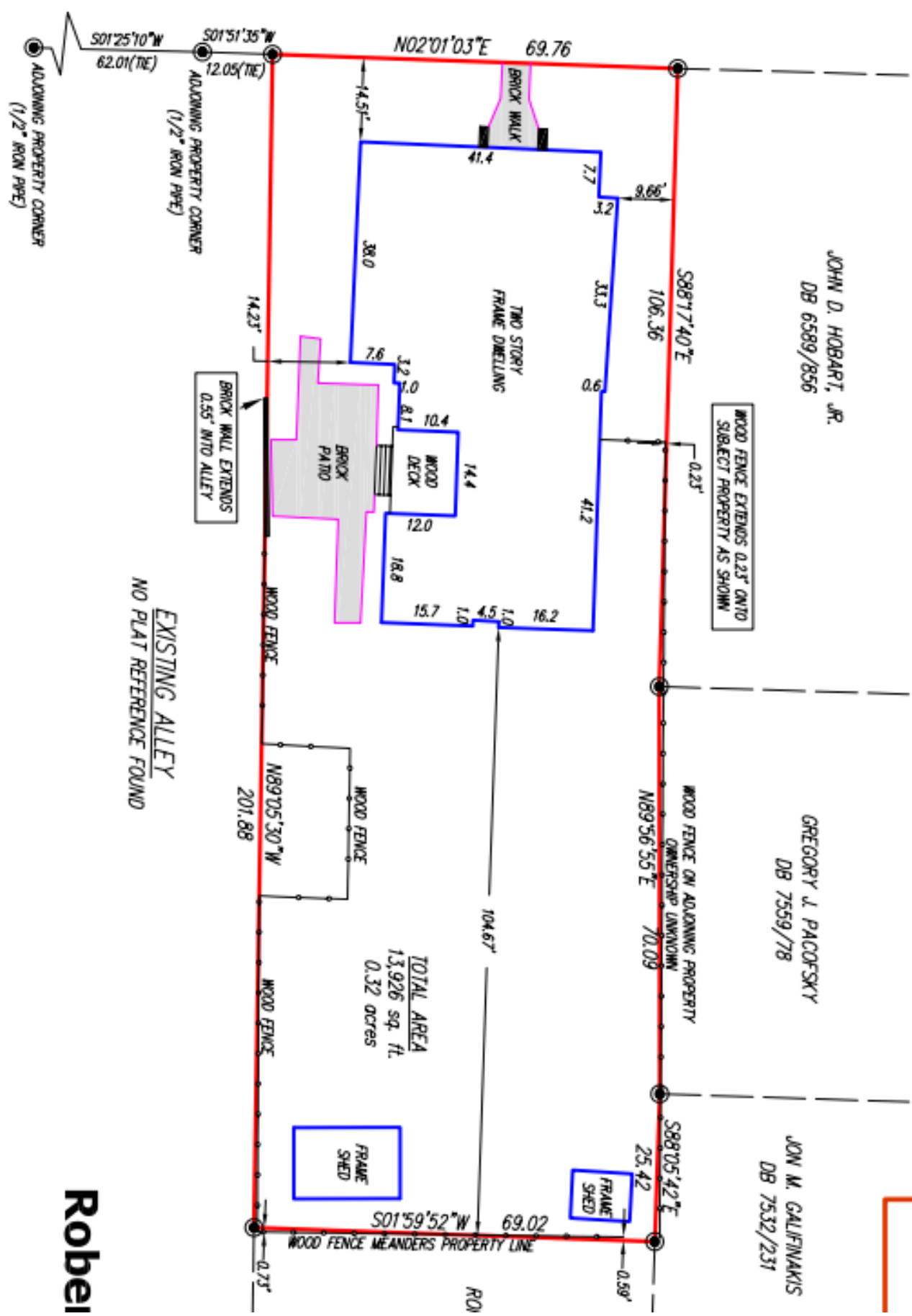
1. That there be no delay for the removal of the two trees;
2. That the retaining wall not have lighting on top of the piers.

3. That details and specifications for the following be provided to and approved by staff prior to issuance of the blue placard:
  - a. Tree protection plan with replacement tree specifications and locations;
  - b. Privacy panel elevations with dimensions and materials;
4. That details and specifications for the following be provided to and approved by staff prior to installation or construction:
  - a. Recessed lighting locations on the building;
  - b. Deck railings;
  - c. Parking area lighting.

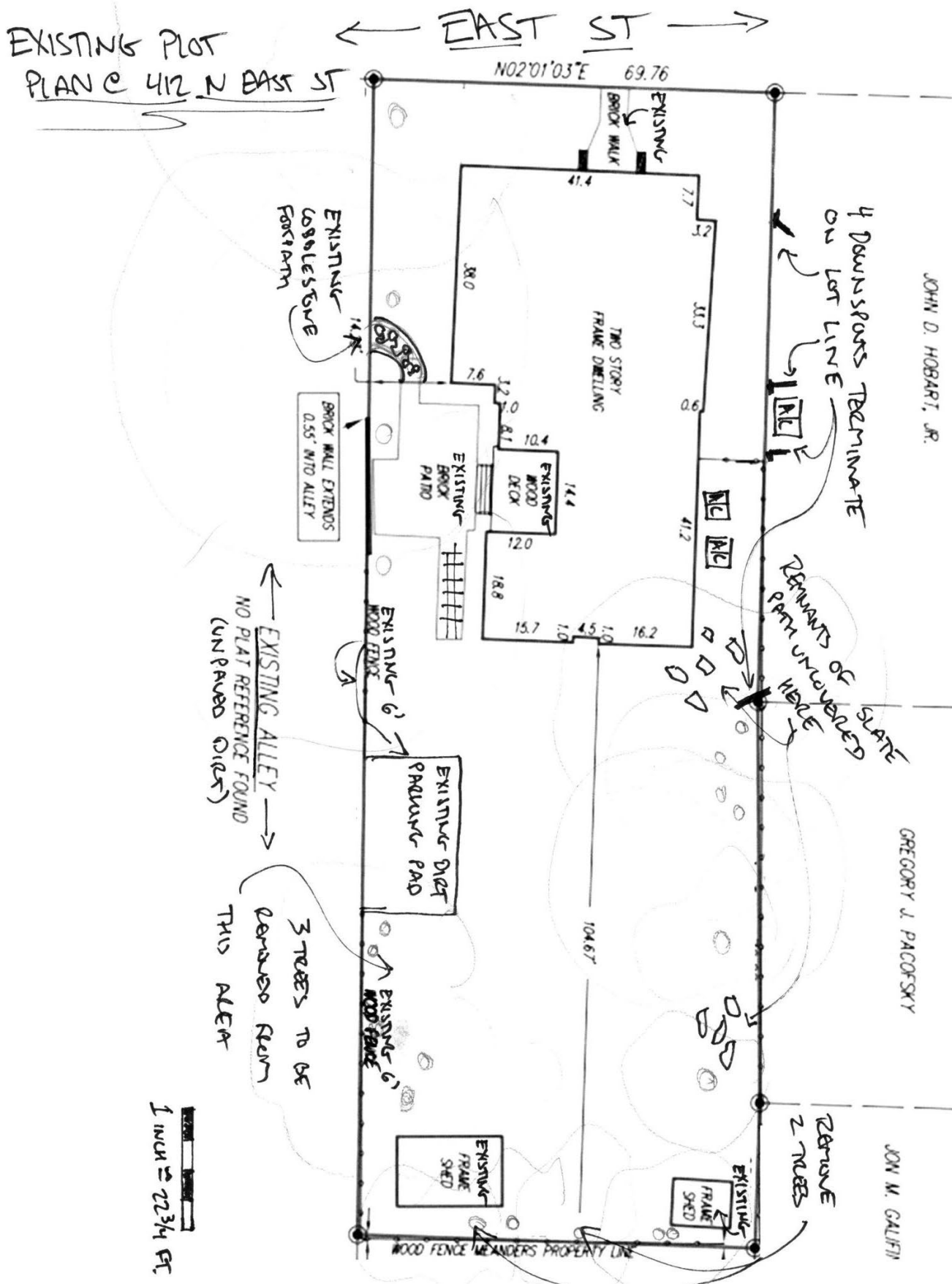
Staff Contact: Collette Kinane, [collette.kinane@raleighnc.gov](mailto:collette.kinane@raleighnc.gov)

- **Show cars on the proposed plan** - page 9 - in the graphic with "pink rectangles" - we used "standard SUV dimensions"
- **Provide existing and proposed landscape plans** - pages 2-6 - existing survey and plot plan included along with simplified proposed landscape plan (removed bird feeders, furniture, etc.) - detailed landscape plan provided as separate PDF
- **Show dimensions on the proposed plan (with a visual scale)** - I've included proposed dimensions in the detailed "blowups" on pages 8, 9, 11, and 13 showing different design elements (parking pad, deck, gravel area, patio, etc.) - and, a visual scale where possible - if there are any "blanks" that need clarification please let me know
- **Provide details on the walls, etc** - page 15-17 and separate PDF
- **Show a defined gravel area in the rear yard** - page 11
- **Built area to open space** - page 12
- **Show all grading changes greater than 1'** - page 14
- **Provide the height of the deck and design details** – provided as separate PDF document
- **Provide the height and appropriateness of privacy screens** - page 17 - we're proposing the 3 privacy panels are 9 ft. tall by 10 ft wide - the height was proposed based on the viewing angle from the uphill house to the downhill house (i.e., providing privacy to the downhill occupants) - I've not included a detailed schematic for these because we are looking to replicate the exact same design as the existing privacy panels at 609 Polk St. (we would provide this same photo to our builder and say "make the same thing")
- **Provide a Tree Protection Plan for all trees 8" DBH and greater, especially for those in areas where grading changes greater than 1' will occur, showing the size of the trees, critical root zones, and protection efforts** - if possible, we're asking for approval of the broader plan contingent this final detail - we would intend to get the tree protection plan once we know the RHDC is OK with the other elements

Existing survey of the home and lot (with dimensions)



Robel



**Detail showing location of existing wooden fence on north side of home (near neighbors AC unit).**

This fence will be relocated to the rear edge of the home to allow ease of access to HCAV equipment from the front of the home and to allow installation of a French drain and plants between the two houses. We will also add a gate to the fence to allow access from the rear of the yard to the north side yard (the existing fence has no gate). The fence will be unchanged in dimensions nor design; it is just being “moved back” towards the rear of the the yard.



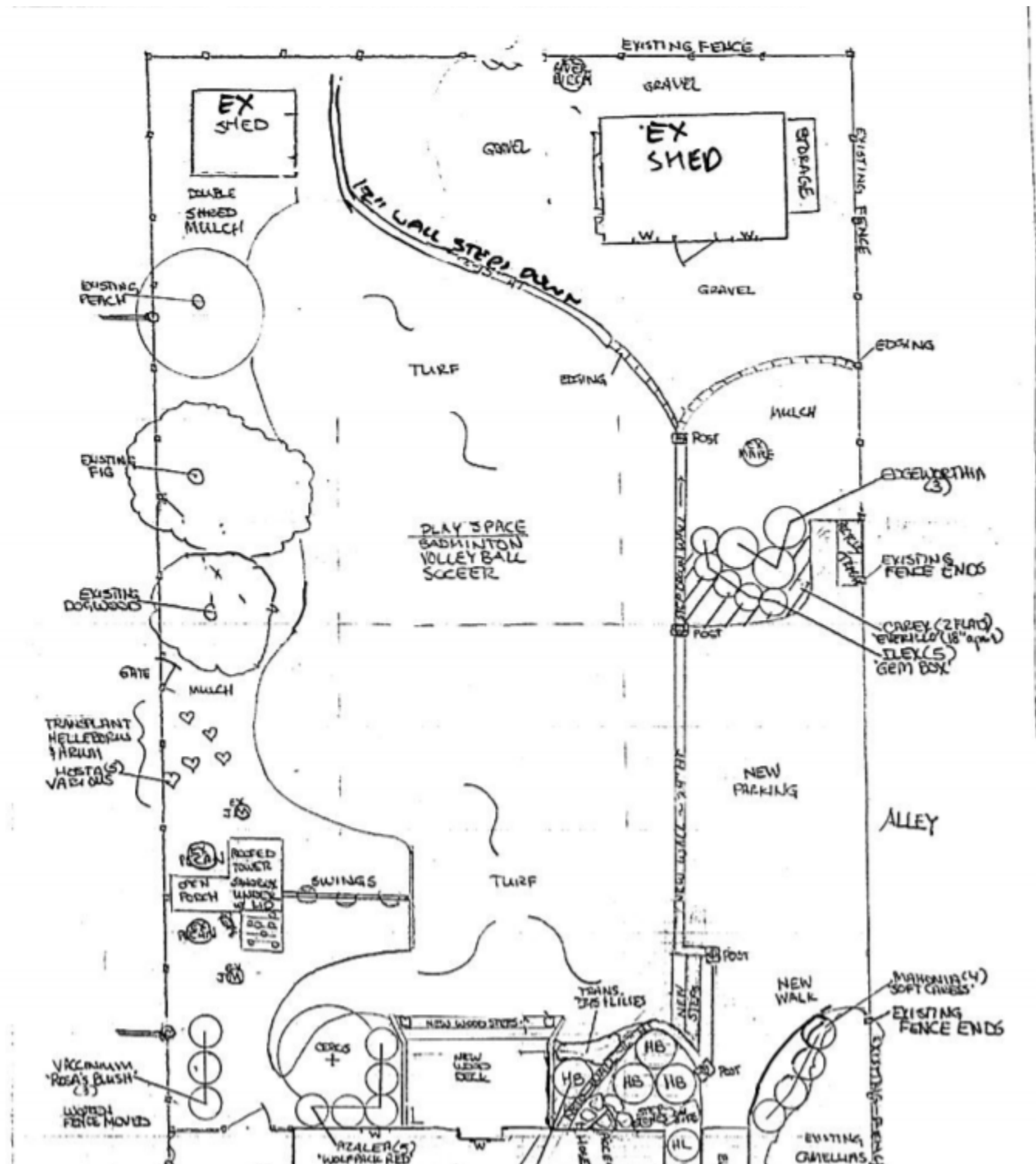


*NOTE: proposed landscape plan also provided as separate PDF document*



Proposed landscape plan for home and lot – REAR of LOT:

NOTE: proposed landscape plan also provided as separate PDF document

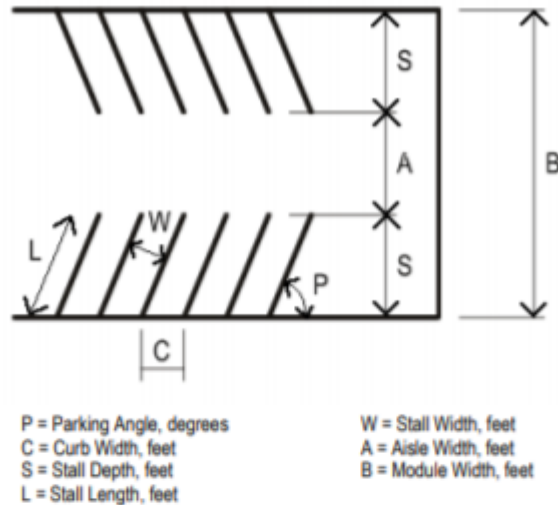




## Detail on proposed parking plan as it relates to NC DOT guidance on angled parking

North Carolina Department of Transportation (NCDOT) Streets Sidewalks and Driveway Access (SSDA) Handbook, 4.11 PRIVATE STREET DESIGN, Figure 12. Parking Area Design.

With only 112 feet of Aisle Width in our alley, 90 degree parking is not possible (only 0, 30, or 45 is possible. The proposed parking pad is designed to accommodate angled parking for 2 “regular” cars.



### Regular Space Parking Area Design

Parking Angle (P)	Curb Width (C)	Stall Depth (S)	Stall Width (W)	Aisle Width (A)	Module Width (B)
90	8.5	18.0	8.5	24.0	60.0
75	8.8	19.6	8.5	23.0	62.2
60	9.8	19.8	8.5	14.5	54.1
45	12.0	18.7	8.5	12.0	49.4
30	17.0	16.4	8.5	12.0	44.8
0	22.0	8.0	8.5	12.0	28.0

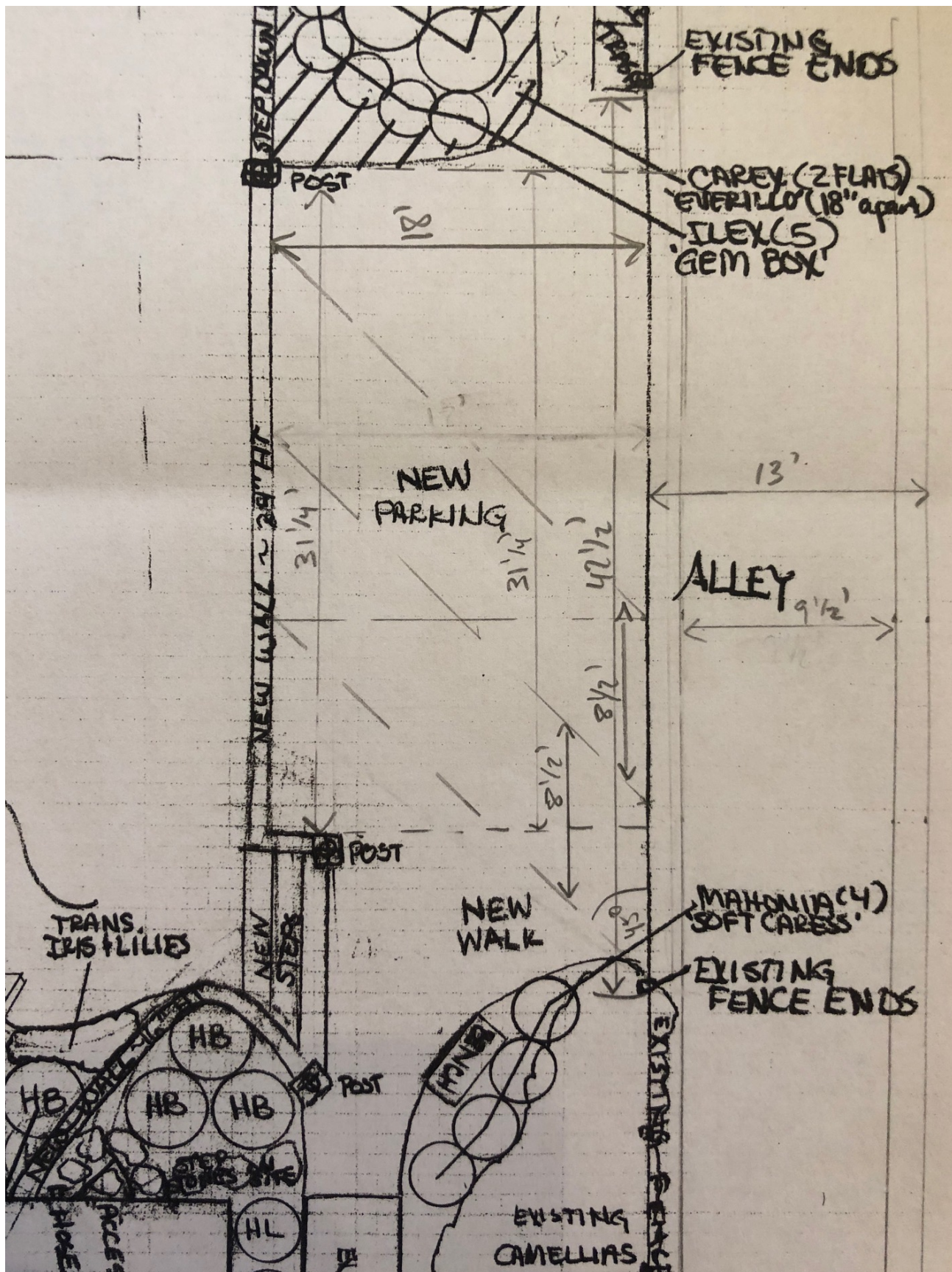
L = 18.0 feet

### Compact Space Parking Area Design

Parking Angle (P)	Curb Width (C)	Stall Depth (S)	Stall Width (W)	Aisle Width (A)	Module Width (B)
90	7.5	15.0	7.5	24.0	54.0
75	7.8	16.5	7.5	23.0	56.0
60	8.7	16.8	7.5	14.5	48.1
45	10.6	15.9	7.5	12.0	43.8
30	15.0	14.0	7.5	12.0	40.0
0	19.0	7.5	7.5	12.0	27.0

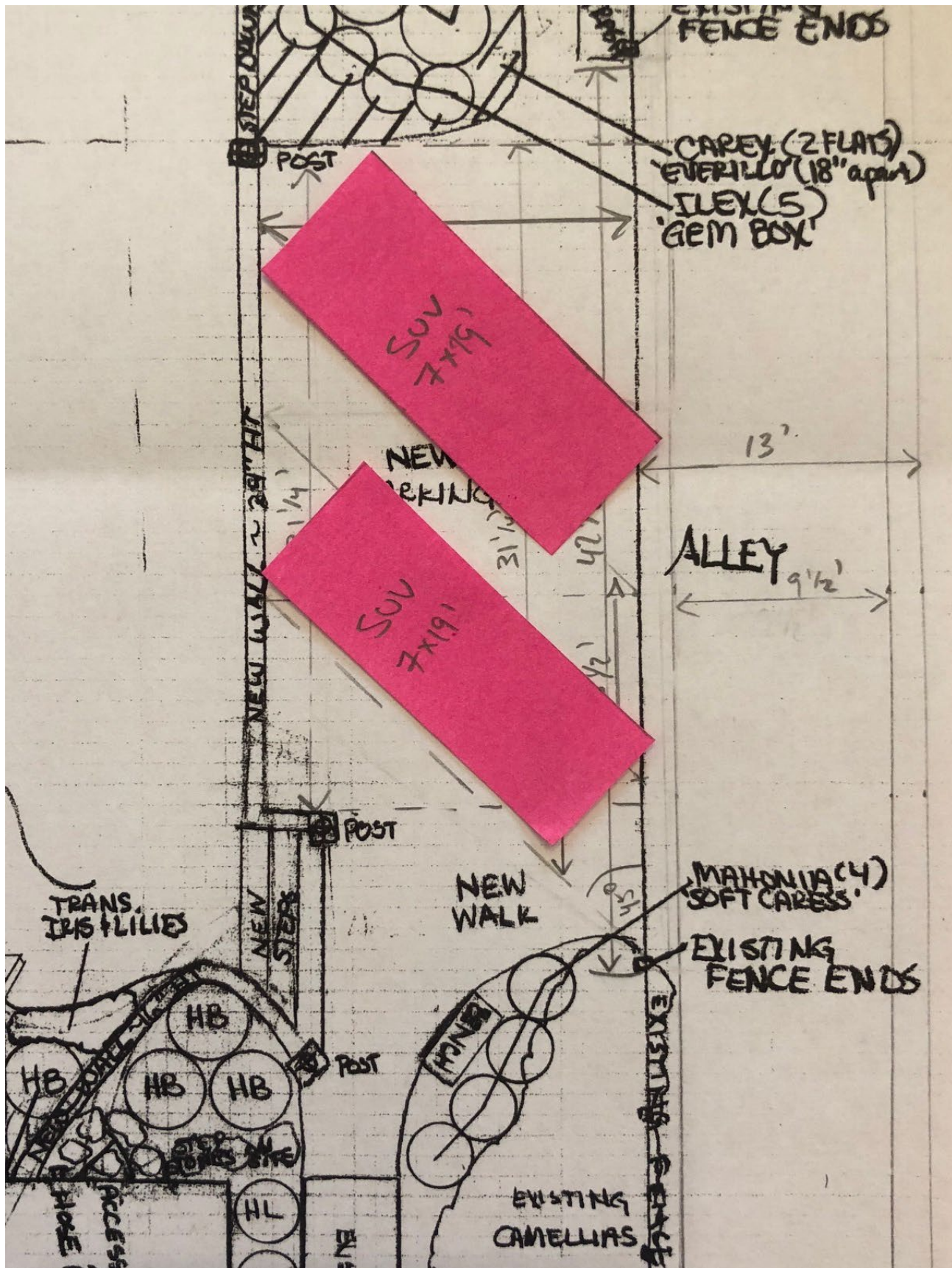
L = 15.0 feet

Detail on proposed parking pad showing dimensions (including alley) as they relate to NC DOT guidance on angled parking (note, next page shows same detail with cars superimposed)





Detail on proposed parking pad showing dimensions (including alley) as they relate to NC DOT guidance on angled parking (note, with cars superimposed)





Detail on proposed parking pad material (concrete) including neighborhood references

130 N Bloodworth St showing concrete parking pad:



515 Oakwood Ave showing use of concrete for driveway and parking

(directly across from 412 N East St on the same alley)





*Note: furniture removed from this detailed view. Proposed "gravel" material would be decomposed granite.*



### Detail regarding maximum percent impervious surface requirements

412 N East St is zoned for R-10 like and has max impervious percentage of 65%. Our current impervious surface percentage is 27% and the proposed percentage impervious with the paving of the parking pad, addition of gravel, and small brick patio grill pad, would be 40%.

*Note: for simplicity and because the resulting % of our proposed plan remains below the maximum percentage impervious, the calculations below do not reflect partial % impervious for materials like gravel (i.e., gravel is not 100% impervious, but in the calculations below we just pretended it is):*

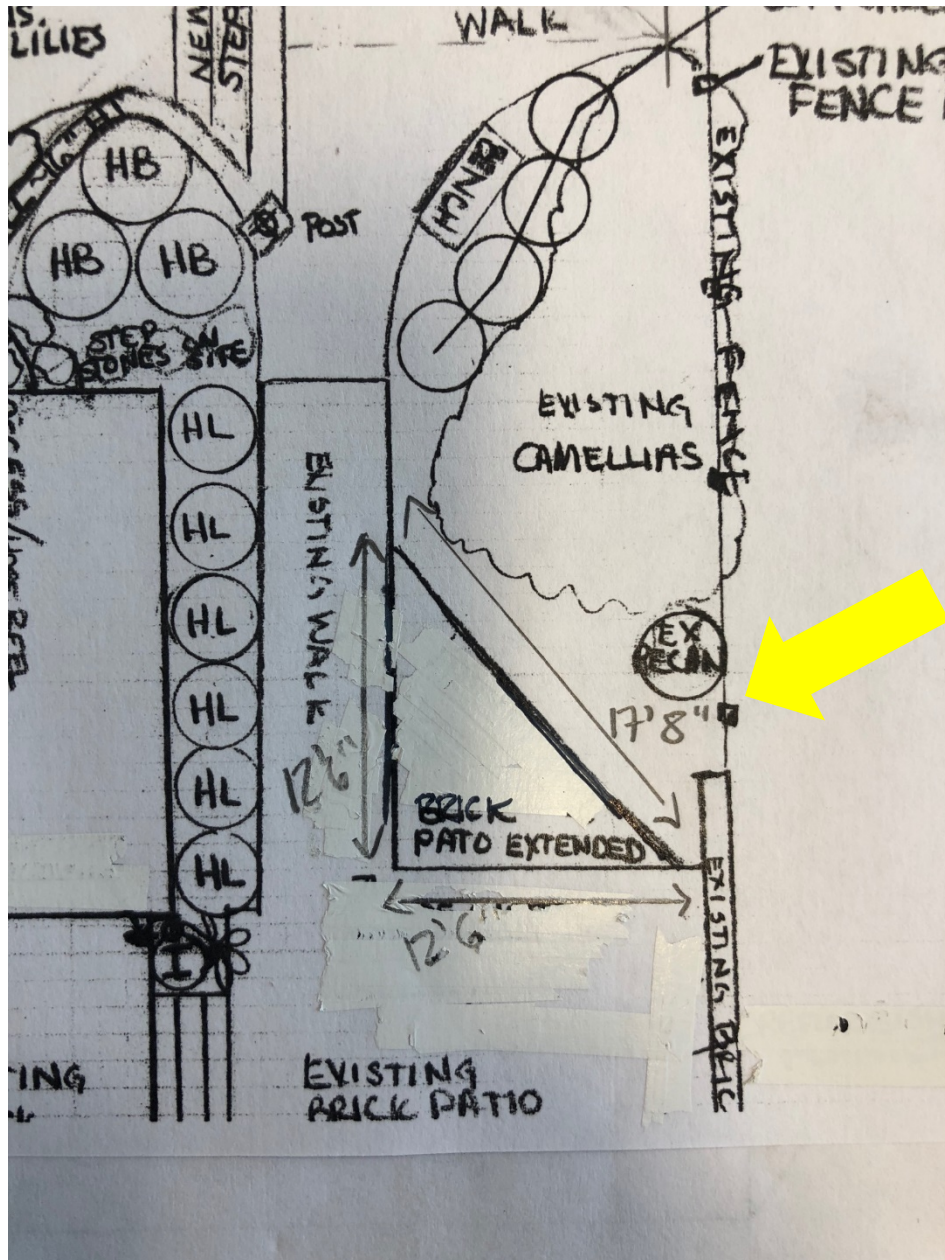
Status	Description	Square Feet
	.33 Acre Lot Size	14375

Status	Description	Square Feet
Existing	Home (conditioned space)	2400
Existing	Porch (unconditioned space)	549
Existing	Brick walk	100
Existing	Brick patio	506
Existing	Cobblestone path	40
Existing	Workshop	216
Existing	Shed	87.5
Existing	TOTAL	3898.5
Existing	% Impervious	27%

Status	Description	Square Feet
Proposed	Parking pad	765
Proposed	Gravel area surrounding workshop and playspace	1050
Proposed	Brick patio grill pad	79
Proposed	TOTAL	5792.5
Proposed	% Impervious	40%

Detail/dimensions on proposed brick patio extension (grill pad)

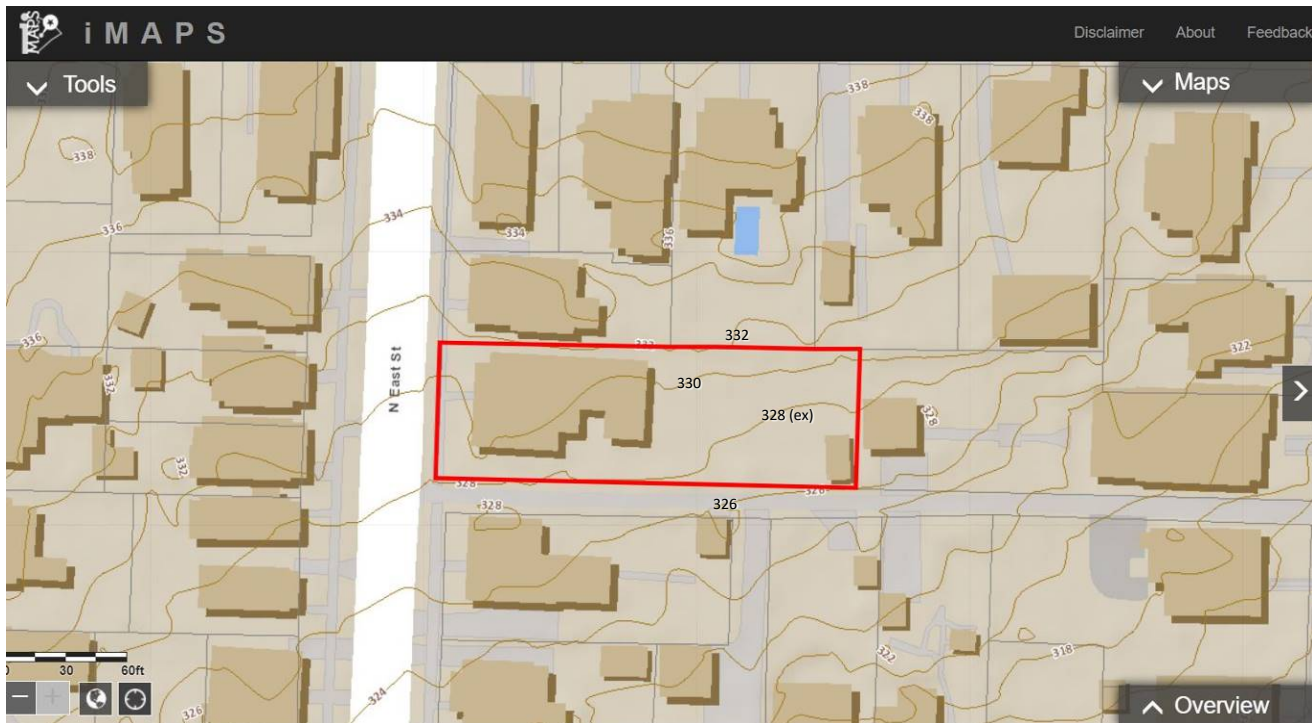
*Note: patio furniture has been removed (white out) from this detailed view)*





Existing topography showing 2' elevation contour lines in dark khaki

*Photos: topography maps from iMaps showing grade and drop in elevation from 332 to 326 (-6 ft) across lot*



Proposed topography showing proposed change in 328 to 326 contour line (with proposed ~24 inch wall) in orange





Proposed aesthetic and material for wall and posts (example from 610 N Bloodworth):



Proposed aesthetic and material for edging throughout front and rear yard:



Proposed post – lamp style on rear parking wall (specific model will be chosen to match existing lamps on front porch of the home):



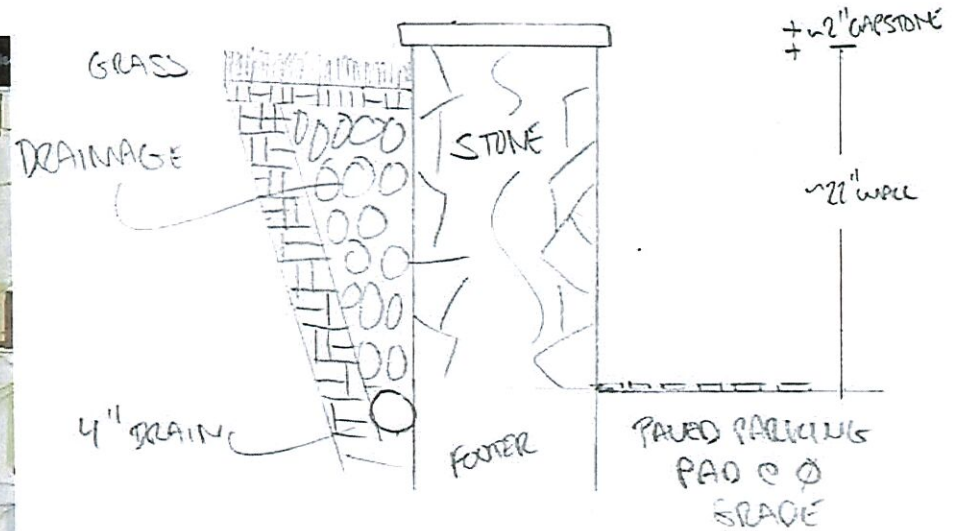
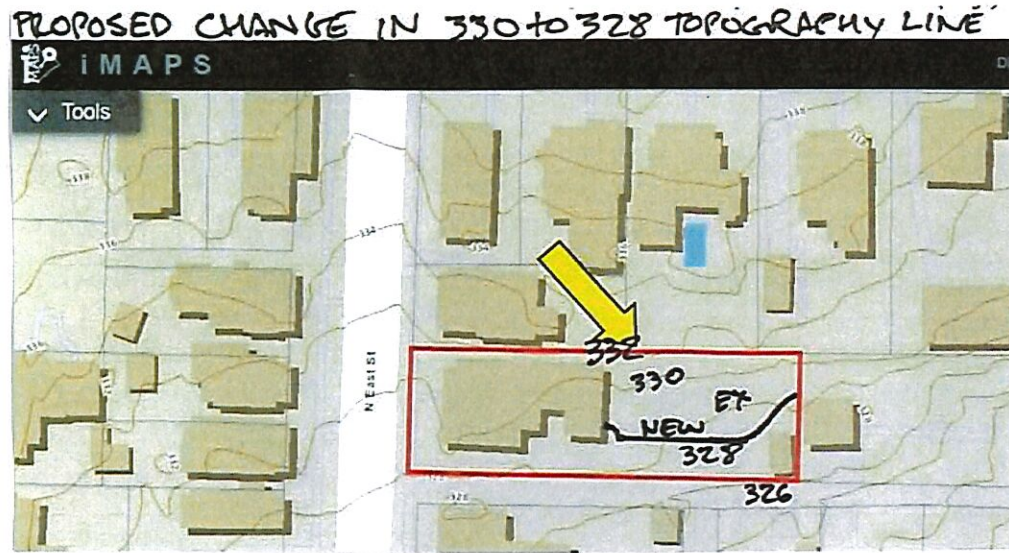


**Privacy panels / trellis for climbing roses** – we are asking to replicate the exact same design aesthetic as the *existing privacy panels at 609 Polk St* shown below, with the addition of *climbing roses* that would grow in over time.

The dimensions of the 3 proposed privacy panels are 9 ft. tall by 10 ft wide.

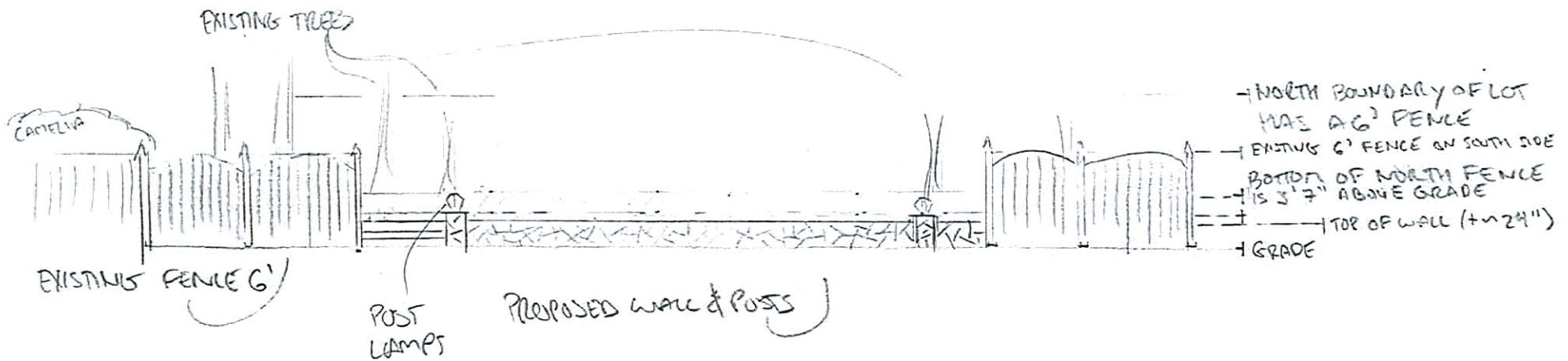


# 412 N EAST ST - PROPOSED GRADING WALL



## PROPOSED GRADING WALL

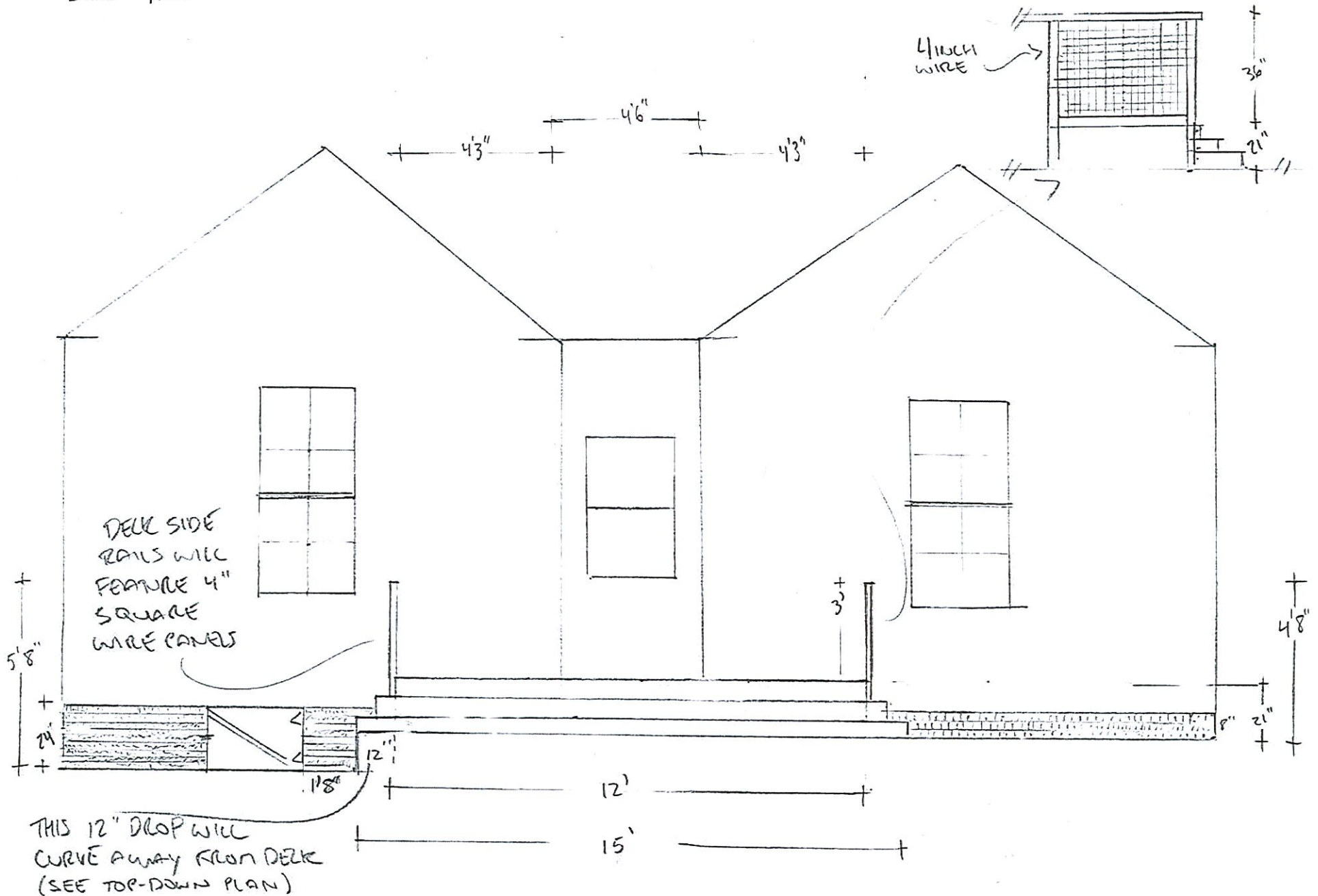
SCALE 1" = 10'



# 412 N. EAST ST. - PROPOSED EAST DECK & ELEVATION

1 INCH = 4 FEET

SIDE VIEW OF DECK

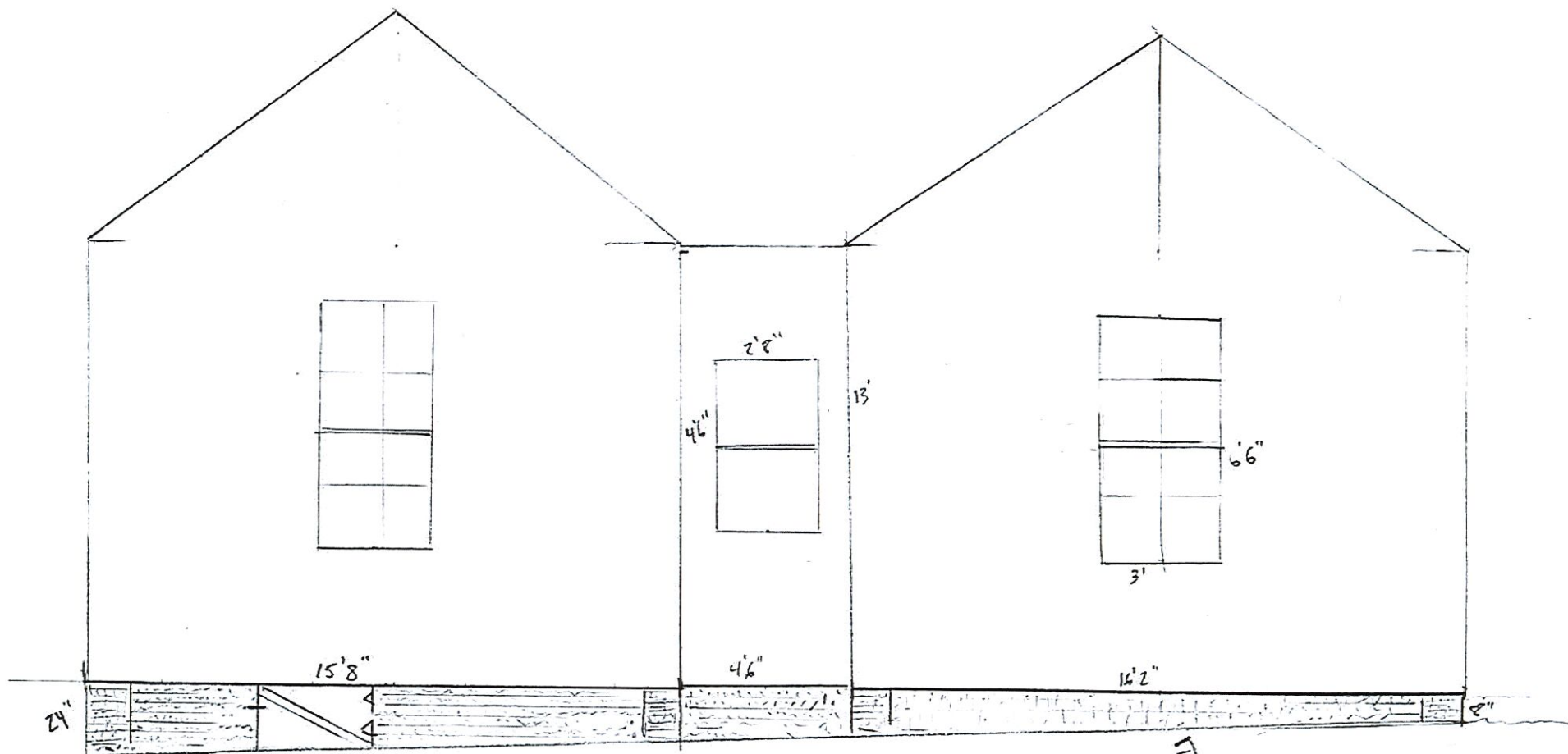




# 412 N. EAST ST. - EXISTING EAST FACE & ELEVATION

1/8" = 1' 0"

1 inch = 4 FEET



BRICK FOUNDATION & CURTAIN WALL



# BARTLETT TREE EXPERTS

5808 Triangle Drive, Raleigh, NC 27617 Telephone 919-782-7803 Fax 919-788-9147

05/22/19

To whom it may concern:

I have reviewed the proposed landscape plan for 412 N East Street and would like to approve and comment on the steps being taken to mitigate damage to the root zones of the mature trees in the landscape.

- The brick patio at the right side features 2 large Pecan trees (22" DBH and 19" DBH). The critical root zone of each of these trees is approximately 6' from the base. This is the area of no disturbance by trenching, excavation, or compaction. The secondary root zone is approximately 14' from the base of each tree.

The proposed plan is to backfill the sunken areas of the patio with topsoil and replace the existing hardscape. This will level the walking area while sloping the water away from the house. By adding topsoil, the tree roots will have more distance from any compaction. No trenching or excavation will be done in this area.

- The Sugar Maple (11" DBH) located at the back right of the property has a critical root zone of approximately 3'. This is the area of no disturbance by trenching, excavation, or compaction. The secondary root zone is approximately 7' from the base of each tree.

The proposed impact in this area is well outside of the critical and secondary root zones. A soil care and root invigoration program has been proposed for this tree to mitigate any construction stress to the root system.

There are also 2 proposed removals in this area. The first is a Cryptomeria (11" DBH). This tree is dead and poses a hazard to the surrounding structures and alleyway. The second tree is a Hackberry volunteer (11" DBH). This tree has a side lean over the alleyway and toward the neighboring property. This tree is also encroaching on the specimen Sugar Maple that is being protected during the landscape work. By removing the Hackberry volunteer, root competition and light competition will be reduced in this area, giving priority to the desired Sugar Maple.

Please reach out with any questions.

Thank you,

Jared Kibbe  
ISA Certified Arborist #SO-7534A  
Arborist Representative – Raleigh, NC

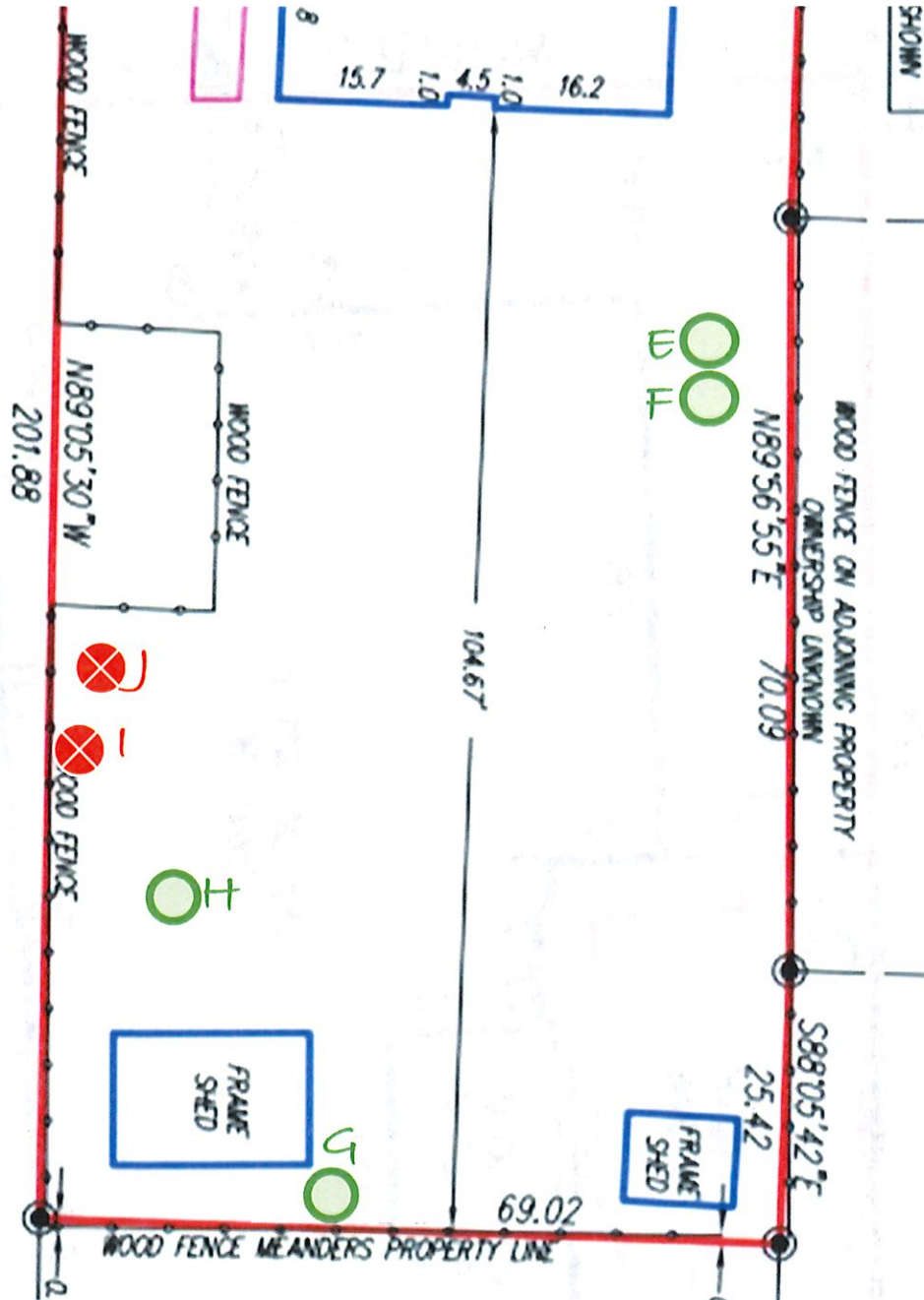
THE F.A. BARTLETT TREE EXPERT COMPANY  
SCIENTIFIC TREE CARE SINCE 1907

CORPORATE OFFICE: P.O. BOX 3067, STAMFORD, CONNECTICUT 06905-0067 (203)323-1131; FAX (203) 323-1129

[www.bartlett.com](http://www.bartlett.com)

## Back of House Tree Plan (5/22)

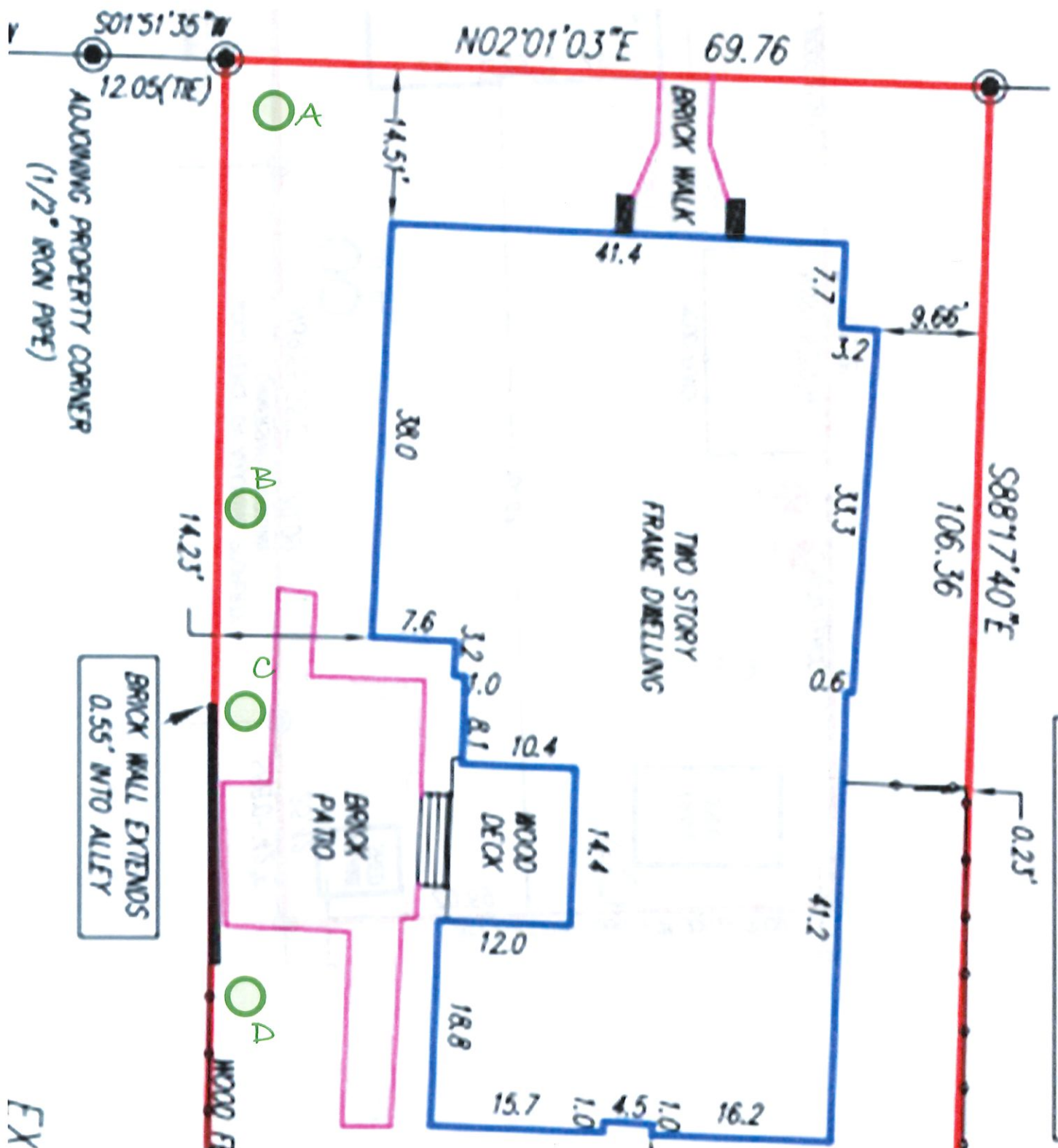
Tree	Status	DBH @ 4.5 ft	Tree	Status	DBH @ 4.5 ft
E. Pin Oak	Keep	18"	H. Sugar Maple	Keep	11"
F. Pin Oak	Keep	21 1/3"	I. Cryptomeria	Remove	11"
G. River Birch	Keep	13"	J. Hackberry volunteer	Remove	11"





# Front of House Tree Plan (5/22)

Tree	Status	DBH @ 4.5 ft	Tree	Status	DBH @ 4.5 ft
A. Pin Oak	Keep	~37"	C. Pecan	Keep	22 "
B. Pin Oak	Keep	~41"	D. Pecan	Keep	19 "





# Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



## DEVELOPMENT SERVICES DEPARTMENT

Development Services  
Customer Service Center  
One Exchange Plaza  
1 Exchange Plaza, Suite 400  
Raleigh, North Carolina 27601  
Phone 919-996-2495  
eFax 919-996-1831



- ☐ Minor Work (staff review) – **1 copy**
- ☒ Major Work (COA Committee review) – **10 copies**
- ☐ Additions Greater than 25% of Building Square Footage
- ☐ New Buildings
- ☐ Demo of Contributing Historic Resource
- ☒ All Other
- ☐ Post Approval Re-review of Conditions of Approval

### For Office Use Only

Transaction # \_\_\_\_\_

File # \_\_\_\_\_

Fee \_\_\_\_\_

Amount Paid \_\_\_\_\_

Received Date \_\_\_\_\_

Received By \_\_\_\_\_

**Property Street Address:** 412 N East St, Raleigh, NC 27604

**Historic District:** Oakwood

**Historic Property/Landmark name (if applicable):** William Fenner McDowell House c.1888

**Owner's Name:** Robert "Scott" and Amanda Morgan

**Lot size:** 0.31 acres

**(width in feet)** 69.76 ft

**(depth in feet):** 201.88 ft

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
409 N East St	411 ELM ST
411 N EAST ST	413 N EAST ST
408 N EAST ST	415 N EAST ST
410 N EAST ST	408 POLK ST
511 OAKWOOD AVE	414 N EAST ST
515 OAKWOOD AVE	500 POLK ST
517 Oakwood Ave	502 Polk St
519 OAKWOOD AVE	510 POLK ST
415 ELM ST	See appendix 1 for owner mailing list



I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

**Applicant:** Robert "Scott" Morgan and Amanda Morgan

**Mailing Address:** 412 N East St

**City:** Raleigh

**State:** NC

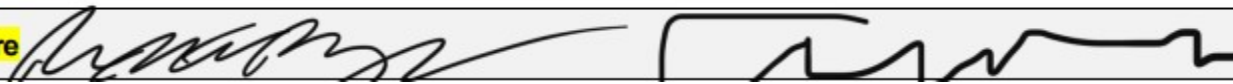
**Zip Code:** 27604

**Date:** February 6, 2019

**Daytime Phone:** 202-243-9975

**Email Address:** [rscottmorgan@gmail.com](mailto:rscottmorgan@gmail.com), [amandach786@gmail.com](mailto:amandach786@gmail.com)

**Applicant Signature**



Will you be applying for rehabilitation tax credits for this project? ☒ Yes ☐ No

Did you consult with staff prior to filing the application? ☒ Yes ☐ No

Office Use Only

Type of Work \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Design Guidelines** - Please cite the applicable sections of the design guidelines ([www.rhdc.org](http://www.rhdc.org)).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
1.3	Site Features and Plantings	<i>See attached description and drawings</i>
1.4	Fences and Walls	
1.5	Walkways, Driveways, and Off-street Parking	
1.7	Lighting	
2.3	2.3 Architectural Metals (Gutters)	

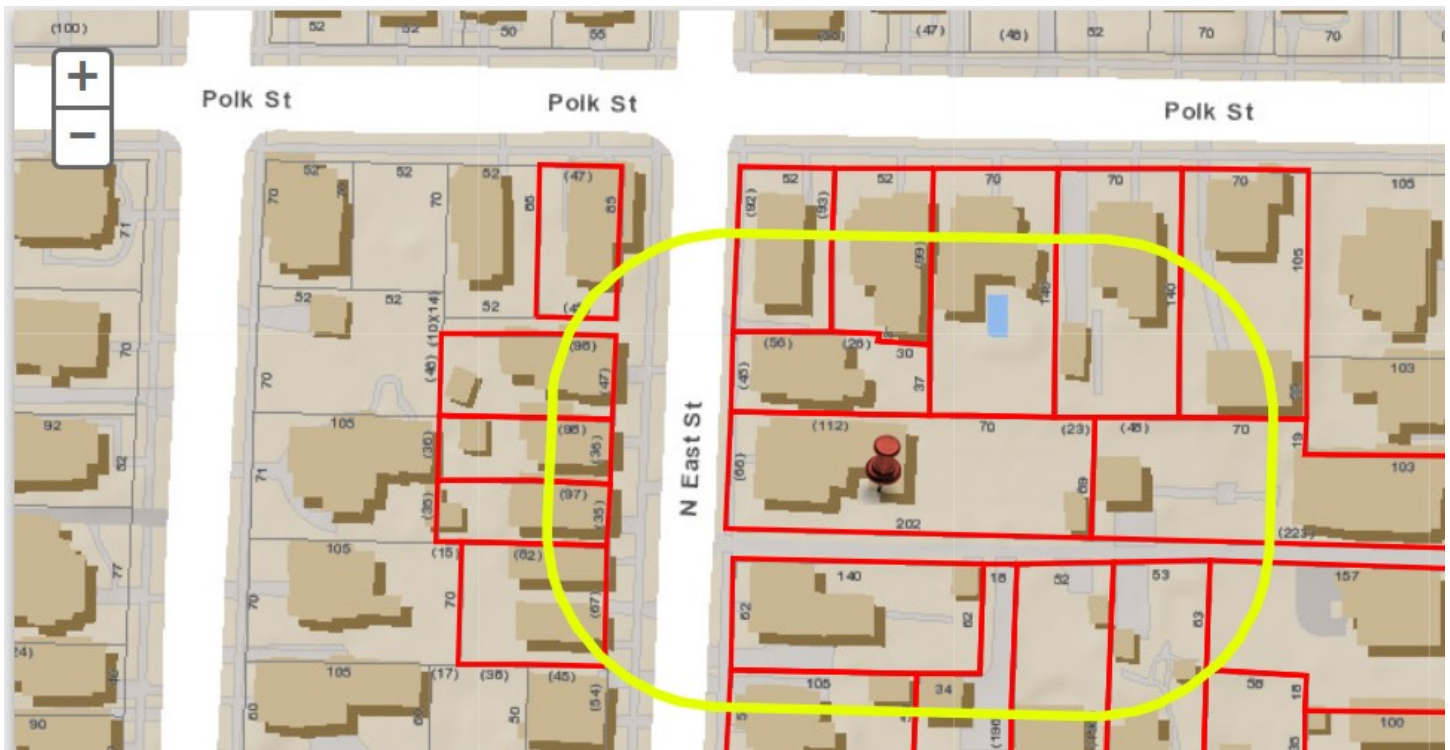
### Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until \_\_\_\_\_. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) \_\_\_\_\_ Date \_\_\_\_\_

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.  <a href="#">Minor Work</a> (staff review) – 1 copy  <a href="#">Major Work</a> (COA Committee review) – 10 copies					
1. <b>Written description.</b> Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. <b>Description of materials</b> (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. <b>Photographs</b> of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. <a href="#">Paint Schedule</a> (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. <a href="#">Plot plan</a> (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. <b>Drawings</b> showing existing and proposed work <input checked="" type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <a href="#">Label Creator</a> to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
8. <b>Fee</b> ( <a href="#">See Development Fee Schedule</a> )	<input checked="" type="checkbox"/>				

## Impacted Properties and Owners



Impacted Property	Owner	Owner Mailing Address 1	Owner Mailing Address 2
409 N East St	HINTE, JAMES R HINTE, GAIL A	9650 STRICKLAND RD STE 103-369	RALEIGH NC 27615-1902
411 N EAST ST	KINDER, HEATHER	411 N EAST ST	RALEIGH NC 27604-1233
408 N EAST ST	BENITO, JUAN ROYSTON	408 N EAST ST	RALEIGH NC 27604-1234
410 N EAST ST	HAZELTON, JOHN F III HAZELTON, RACHEL L	410 N EAST ST	RALEIGH NC 27604-1234
511 OAKWOOD AVE	WOODY, CHRISTOPHER L II	511 OAKWOOD AVE	RALEIGH NC 27601-1157
515 OAKWOOD AVE	PINTHER, GEORGE C II PINTHER, ANITA BLOMME	515 OAKWOOD AVE	RALEIGH NC 27601-1157
517 OAKWOOD AVE	BERRY, RICHARD D MURPHREY, TINA LOUISE	1140 WATER PLANT RD	ZEBULON NC 27597-8609
519 OAKWOOD AVE	SALDI, JENNY E TEAL, BRUCE SANFORD	519 OAKWOOD AVE	RALEIGH NC 27601-1157
415 ELM ST	MORROW, RONALD G	415 ELM ST	RALEIGH NC 27604-1931
411 ELM ST	BAXTER, CAROLE H	411 ELM ST	RALEIGH NC 27604-1931
413 N EAST ST	SHOLAR, MICHAEL JOHN SHOLAR, CINDY MICHELLE	413 N EAST ST	RALEIGH NC 27604-1233
415 N EAST ST	LAWLER, VIRGINIA TEMPLE	415 N EAST ST	RALEIGH NC 27604-1233
408 POLK ST	TAYLOR, SABRA B	408 POLK ST	RALEIGH NC 27604-1252
414 N EAST ST	HOBART, JOHN DONALD JR HOBART, KAY LINN	414 N EAST ST	RALEIGH NC 27604-1234
500 POLK ST	DAVID, ERIC M DAVID, SARAH W	500 POLK ST	RALEIGH NC 27604-1960
502 Polk St	WALLACE, LEESA LANE	508 S FULTON ST	SALISBURY NC 28144-5338
510 POLK ST	PACOFISKY, GREGORY J PACOFISKY, B MICHELLE	510 POLK ST	RALEIGH NC 27604-1960
516 POLK ST	GALIFIANAKIS, JON MARK	516 POLK ST	RALEIGH NC 27604-1960
520 POLK ST	FLOURNOY, WILLIAM L JR	520 POLK ST	RALEIGH NC 27604-1960

**Robert “Scott” and Amanda Morgan**  
**Certificate of Appropriateness (COA) Application: 412 N. East St**

**Summary description: Master landscape plan; install driveway; install lighting.**

**1. Written description:**

The **412 N. East St.** renovation and landscape master plan is designed with intent to restore and conserve the **William Fenner McDowell** historic home (c.1891) while providing the Morgan family with safe and enjoyable use. The Morgan family have two very young children and active parents (grandparents) that look forward to enjoying this historic home with friends and family.

When the Morgan family purchased the home in 2018, it was in need of both functional and aesthetic restorations. While they intend to work with the RHDC and State Historic Preservation Office on additional restoration projects for the home, they submit *this* COA application with the following scope:

- a) **Grading and water management** – In its current state the home is in *urgent need* of water management.
- 1) **Gutters:** existing **gutters** are minimal and of insufficient size to adequately capture and drain water away from the **home**, leading to significant overflow and splashing onto the wood siding. The Morgan family proposes installing new gutters on the north and south sides of the home, to catch and convey water away from the home. The proposed new gutters and downspouts match trim color and would be consistent in design, color, etc. with existing gutters on the home.
  - 2) **Grading:** File photos of the home indicate the yard was at one time, relatively flat (see photo dated 1982). Swales and berms added by previous owners disrupt the flow of water away from the home. The current grading is dysfunctional and leads to pooling water in the yard and along the foundation. The inadequate drainage is compounded by downspouts from neighboring 414 N East St, which terminate on the property line without adequate drainage away from the home.

The above factors (inadequate gutters, dysfunctional grading) all contributed to standing water, water incursion in the crawlspace, moisture in the house (with associated moisture issues). They also contribute to the erosion and settling of the northeast corner of the home which has settled 3.25 inches down from level. Remediation of the drainage is a top priority for the Morgan family.

In developing the landscape master plan for 412 N. East St, the Morgan family considered the conservation of the home (i.e., adequate drainage to prevent water incursion, further settling, and wood rot), environmental conservation (i.e., reducing nonpoint source (NPS) pollution), and consistency with the character, pattern, and rhythm of plantings throughout Historic Oakwood.

- 3) **French Drain:** on the north side of the home, the Morgan’s propose adding a gravel covered French drain to catch and convey water away from the home (through submerged corrugated pipes, to the proposed rain garden). This French drain would be flush with the ground and should not be visible from the street once the surrounding landscaping has matured. The French drain should help convey water away from the home and disperse it naturally without sending water to storm drains under normal conditions.
- 4) **Rain Garden:** the proposed rain garden would be located within the interior radius of the proposed circle drive, at the lowest grade point on the yard. Construction of this proposed rain garden and driveway would require 2 trees with greater than 8 inch DBH at 4.5 feet, to be removed (one is a sickly evergreen and the other is a volunteer Hackberry tree).

- b) **Lighting and driveway for safe access to premises** – In its current state the dirt parking pad is located on the alley, outside of the perimeter fence, and is not lit (neither is the city alley). The dirt parking pad is inadequately drained; in rain and snow the unpaved parking pad floods and becomes a “mud pit” in which vehicle traction is compromised and safe footing impossible.

The landscape master plan proposes removing a portion of the existing 6 foot **wood fence** and replacing the existing dirt parking pad with an interior, gated, and adequately lighted paved drive accessed by the city alley. **Permeable cobblestone pavers** with granite or cobblestone edging and a **black sliding gate** are proposed for this new driveway. A **~2 foot fieldstone retaining wall** combined with low hedges is proposed to allow grading and visual separation of the driveway from the turf yard.

The form of this circular driveway is consistent with other examples in Historic Oakwood (e.g., 801 N Bloodworth St). The proposed driveway and retaining wall material and aesthetic will be consistent with other examples in Oakwood (e.g., 501 Oakwood Ave) while complementing existing materials at 412 N East St. (e.g., cobblestone footpath on the south side of the home).

The Morgans also propose adding **motion sensing lights** to the south patio and **discreet overhead recessed LED lighting** to the wraparound porch. The south side has no lighting at all and includes direct access to the master bedroom (via 2 French doors) and private side patio (with access to the children’s rooms). The existing porch light on the southwest corner is inoperable. The Morgan family proposes repairing the existing porch light while adding recessed LED lighting to the porch in the spirit of both security and enjoyment. This lighting would be consistent with other examples in Oakwood (e.g., 403 E. Edenton St., 100 N. Bloodworth St., 409 E. Jones, 501 Oakwood Ave, et al).

- c) **Landscaping for enjoyment of the yard** – At the front of the home, the Morgan’s propose replacing two existing bushes flanking the steps with Sky Pencil Hollies of smaller size (this is consistent of historic photos of the home on file with the RHDC). Off the northwest corner of the porch, the Morgan’s propose removing an existing Holly tree (DBH < 8 inches) that is inhibiting the growth of an existing Crepe Myrtle which occupies essentially the same space. Existing brush along the west (East Street) and south porch rails would also be replaced with a mix of azaleas and regionally appropriate landscaping in a mulch bed, with room for annual planting beds.

**Brick veneer** is proposed for the front steps of the home to match the brick path leading to the front steps (brick is also used on the south patio and decorative wall along the alley). This veneer on the front steps is consistent with multiple properties on N. East St. including both neighbors.

In addition to the French drain on the north side of the home, Italian Cypress trees (or similar natural screening) will be planted to afford privacy and screen direct viewing through the home’s windows. These screening trees will be pruned below 20ft and should be minimally visible from the street.

At the rear of the home, a **patio paved with slate** and including a **4 ft fire pit** and **~2 foot field stone “sitting wall”** on one side, is proposed to provide hardscaped space in the back yard off the east side of the house. The existing brick patio off the south side of the home does not have a sight line to the back yard; once the back yard is graded and landscaped, we envision this proposed east patio as an anchoring feature in which parents can sit and watch children playing in the back yard.

Additional footpaths connecting the front walk with the side yard are proposed, to be paved with irregular slate consistent with existing paths and material uncovered in the yard.



**2. Description of materials:** Landscape features that include plants, wood, and stone, all of which are prevalent in Historic Oakwood and already in use at 412 N. East St, are reflected in the proposed landscaping master plan.

At the front (west) of the home, existing brush will be replaced with comparable perennial bushes. The brick veneer for the steps will be selected to match in color and style, the existing brick walk in front of the home. (our intent is for there to be no significant difference between the look of the walk and the steps). The recessed LED lights will be painted to match existing trim and will be installed in a manner consistent with other examples in Historic Oakwood.

No changes are proposed for the existing deck and brick patio on the south side of the home, although perennial bushes will be planted in empty beds.

Moving to the back of the property, an existing 6' wood fence will remain along most of the southern property line (adjacent the city alley) from East Street, past the existing brick patio, up until the existing parking pad perimeter. The existing wood fence enclosing the parking pad will be removed to make way for construction of a new, gated drive. The existing wood fence will resume towards the rear (east) boundary of the property after the apron of the proposed new drive and gate.

The proposed driveway will be paved with permeable cobblestone pavers edged with granite cobblestones in a manner consistent with existing properties in Historic Oakwood. A ~2' wall built of fieldstone and flanked by baby gem boxwoods will serve to separate the more active driveway from the proposed patio and existing turf yard (play area), while also allowing the yard to be graded to level (to better accommodate pickup soccer with the children). The existing flagstone walkway will be extended and (same material) ramped to connect the new driveway to the south patio.

The area previously occupied by the dirt parking pad, will be updated to include a rain garden and "water hungry" landscaping to assist with water management. This feature will be designed to capture and diffuse runoff from both 412 N. East St and the neighboring uphill property that up until this point, ran unchecked into the alley and contributed to erosion of neighboring downhill properties. The Morgan family intends this feature to be environmentally friendly, reducing nonpoint source (NPS) pollution in a manner consistent with the City of Raleigh Rainwater Rewards program. The rain garden will be mostly under ground and the top should be covered in river rocks and mostly obscured by plantings.

Plant beds offering sunny spaces as well as some shady ones for herbaceous perennials and woody ornaments, generously surround the turf lawn in the rear of the home. Understory trees, none of which will exceed 20 feet, will be planted to add shade and visual interest to the yard. 2 trees of more than 8 inch stem girth will be cleared from the east boundary of the property; these trees threaten existing shed and garage of neighboring 415 Elm St. Tall and narrow growing evergreen are being considered for privacy screening along the southeast, east, and northeast boundaries of the rear yard.

Along the north side of the home, existing mature trees will be preserved and incorporated into the landscape. A gravel French drain will be added along the north border of the house to convey water to the proposed rain garden. This drain will be topped with gravel in a manner consistent with other drains in Oakwood and will be visible to the street.

## **Photographs of Existing Conditions**

*(See existing plot plan on page 33)*

### 3. Photographs of existing conditions:

#### a. Grading and water management

The current grading (or lack of) in the yard leads to incursion and pooling in the crawlspace and along the foundation of the house, contributing to the erosion and settling of the home.

On the north side of the home, the existing down spouts of neighboring 414 N East St terminate immediately along the property line without draining away from either home. As a result of the downhill grade, all water from these downspouts runs directly onto the side yard and foundation of 412 N East St where it stands and pools, inches deep.

The black corrugated piping shown below was added as a *temporary solution* by the Morgan family immediately prior to Hurricane Michael in an effort to route water away from the home.

The Morgan family proposes adding a French drain to the north side of the home to convey water to the proposed rain garden on the south east property line (within the proposed circle drive).

*Photo: topography map showing grade and drop in elevation from 332 to 326 (-6 ft)*

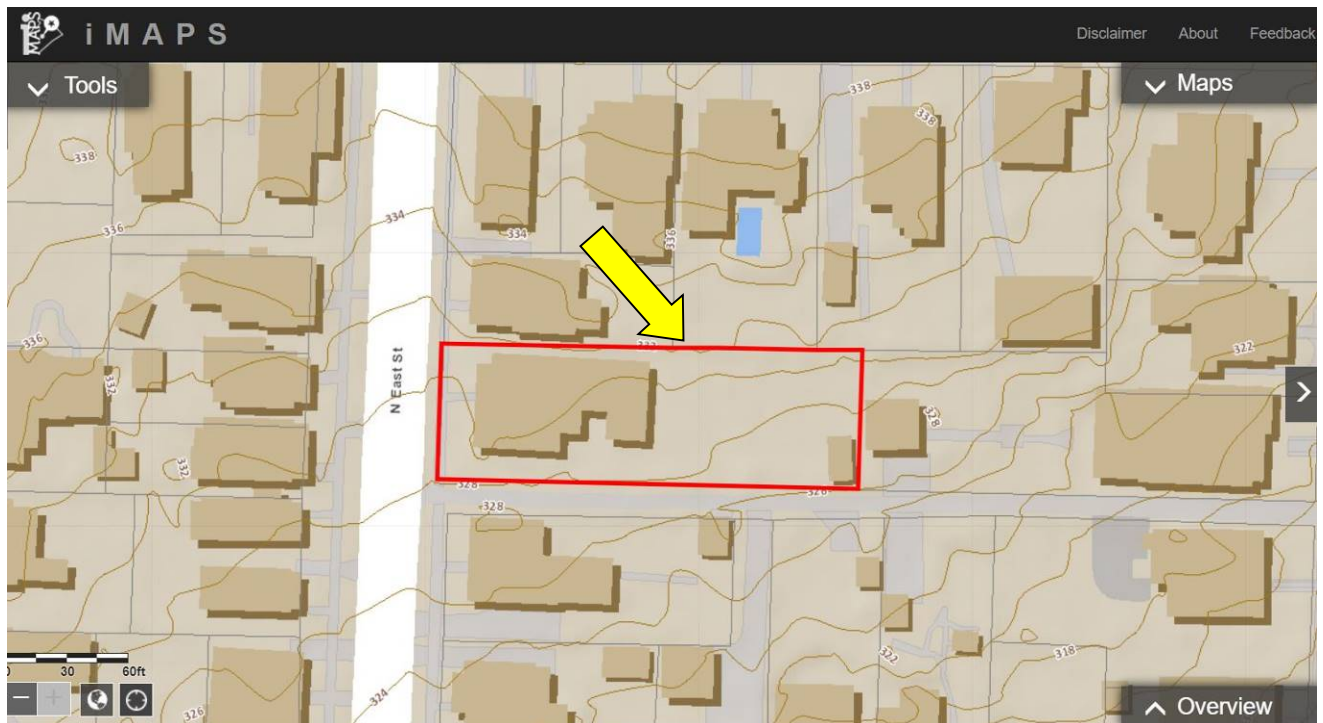




Photo: standing at northeast corner, between 412 and 414 N East St, looking west towards East Street (proposed location of French drain). Note standing water to right of HVAC.

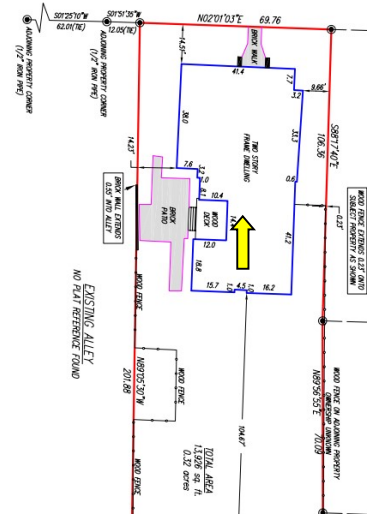
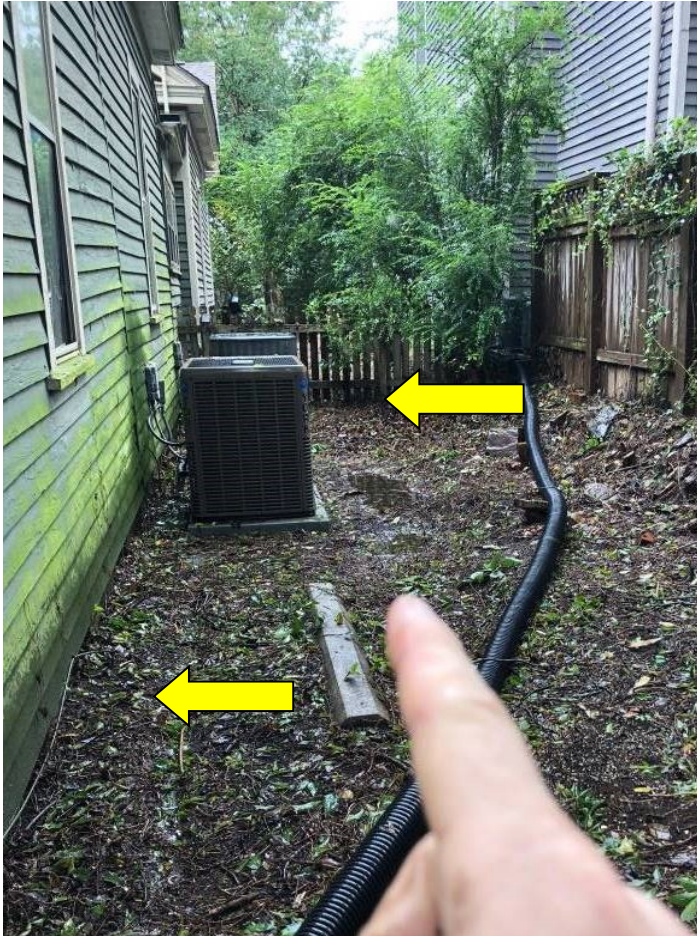
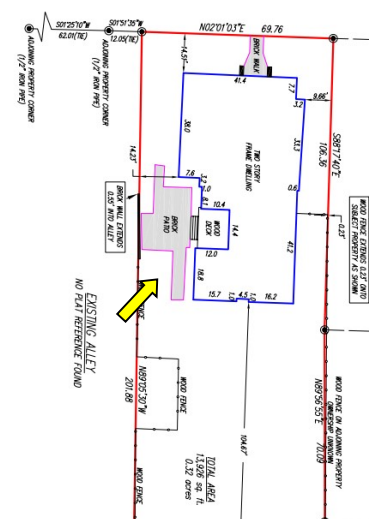
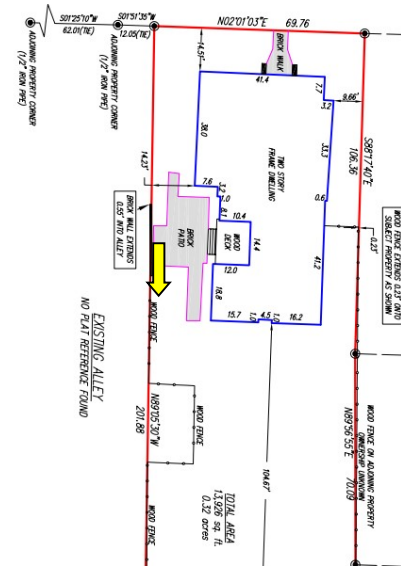


Photo: standing in back yard looking north west towards the house. Note slate foot path that had been buried by runoff (unearthed by the Morgans and proposed for re-use in new patio). Also note green PVC drainage pipe under fence that will need to be relocated as part of the water management proposal.





*Photo: standing off the southeast corner of the home looking east into the back yard, showing drainage issues. This is at the lowest grade of the lot at the same level as proposed rain garden.*



*Photo: location of proposed French drain along north side of home should not be visible from the street once completed; it will be low profile and screened by landscaping along front of the home.*





Photo: existing square gutters and downspouts on south side of home.

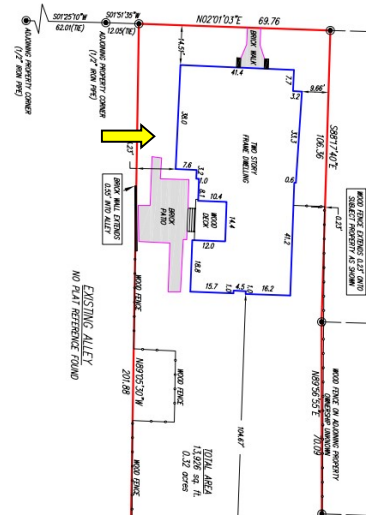




Photo: proposed location of new gutters along northwest side of home

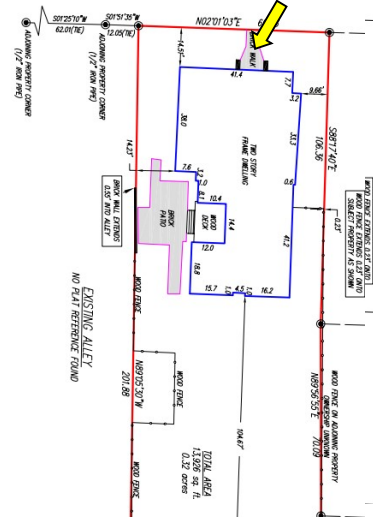
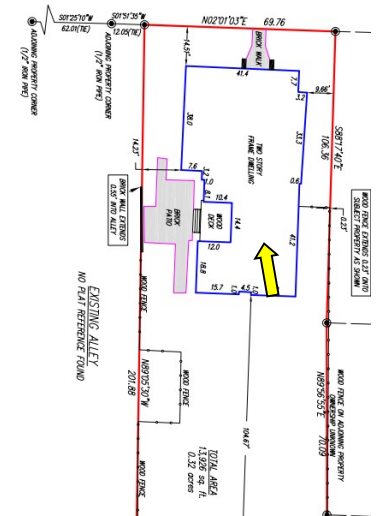
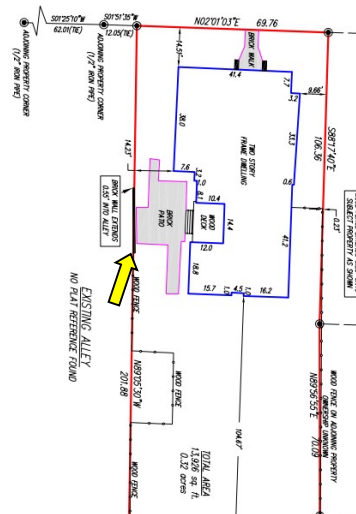


Photo: proposed location of new gutters along north east side of home

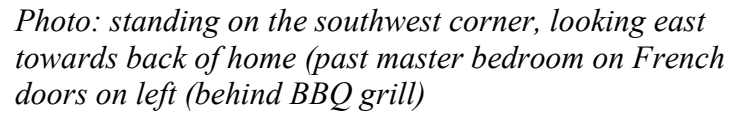




A photograph of a green house with yellow lines highlighting the roofline and corner trim. The house has green horizontal siding and white trim around the windows and doors. A yellow line runs along the roofline, and another yellow line runs vertically down the corner of the house. The house is surrounded by trees and a lawn.



**b) Lighting and driveway for safe access to premises** –In its existing state, the wraparound porch is inadequately lit. The southern side has no lighting at all and includes direct access to the master bedroom (via 2 French doors) and private side patio (which further accesses the children’s rooms). The existing porch light on the southwest corner is inoperable and needs to be repaired

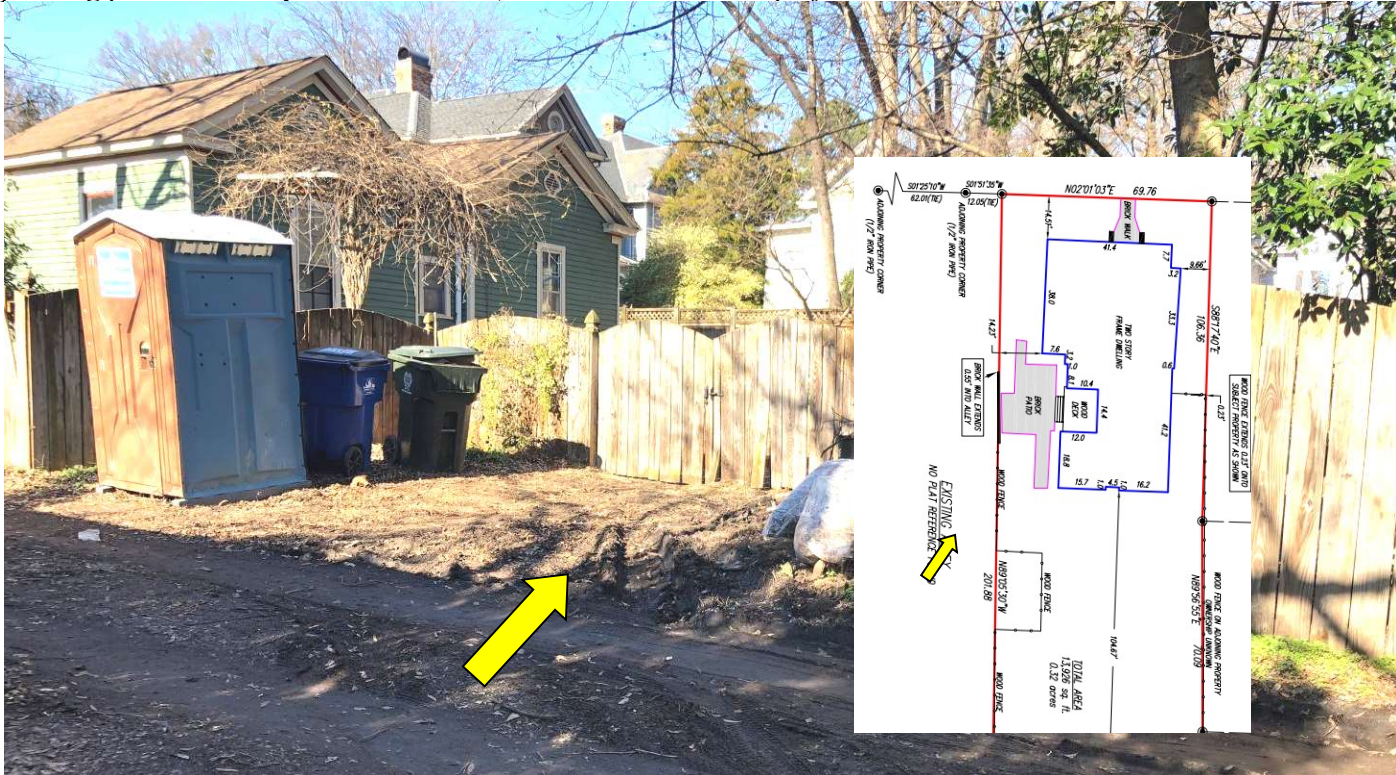


*Photo: same location as above, taken at night to show lack of lighting at night. Existing hanging porch light in foreground is not functional.*



In its current state the dirt parking pad is located on the alley, outside of the perimeter fence, and is not lit (neither is the city alley). The dirt parking pad / driveway is inadequately drained; in rain and snow the unpaved parking pad floods and becomes a “mud pit” in which vehicle traction is compromised and safe footing impossible.

*Photo: standing in city alley along southern property line, looking northwest back towards the dirt parking pad / driveway and the house (wide view and closeup of mud issues)*

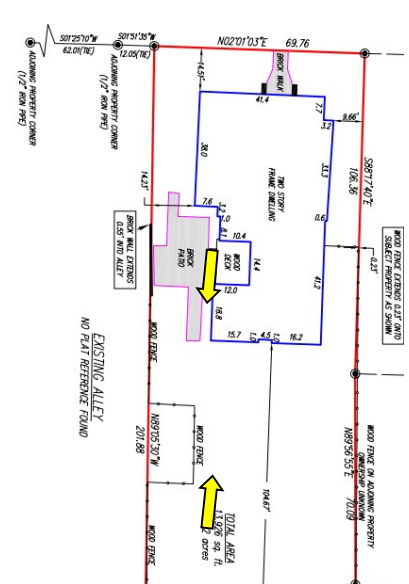




**Photographs of existing conditions (continued):**

- d) **Landscaping for enjoyment of the yard** – at the time of purchase, the back yard was dramatically overgrown. The Morgans cleared brush and debris from the yard after purchasing the home.

*Photo: standing at East property line looking west towards house through back yard. Arrow points to location of circle drive and fence section that would be removed.*



*Photo: same view of yard, taken in the 1970s (circa); note the flat grading of the yard without swales or berms of any kind.*







*Photo: standing at back of house looking east into the back yard*

On the North side of the home, the Morgan's propose replacing existing perennials with similar/like kind perennials.

*Photo: standing on N. East St. looking at home. Holly Tree & Crepe Myrtle are on the left (propose removing Holly tree and keeping Crepe Myrtle). Two Holly bushes flank the steps, which we propose replacing with sky pencil Hollies.*



**Description of Materials  
and  
Existing Examples in Oakwood (photos)**



## Description of Materials (Continued):

### French Drain

*Photo: comparable materials in use at 409 E Jones St*

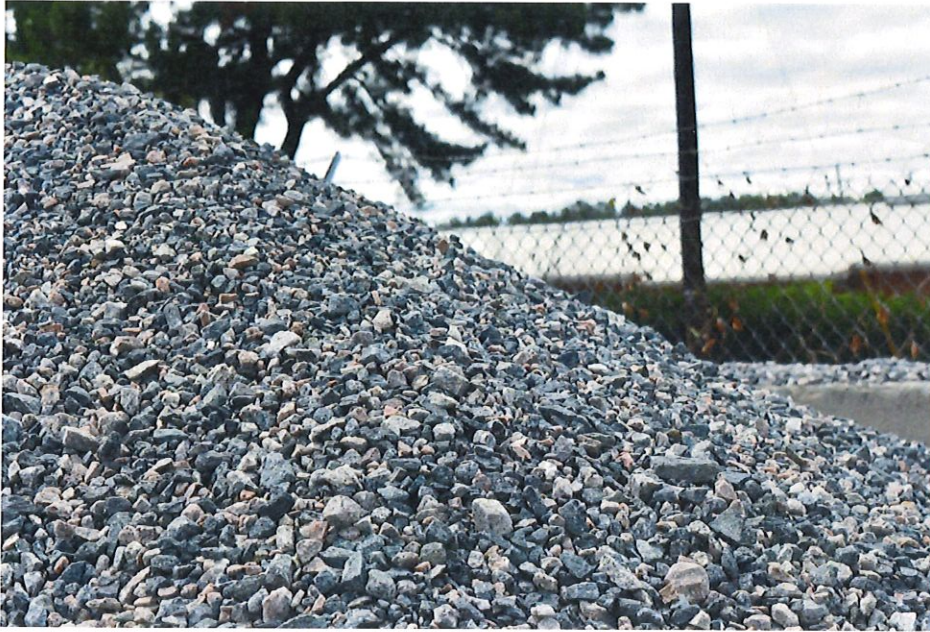


### Rain Garden

*Photo: comparable materials in use in rear/side yard of offices at 222 N Bloodworth St*



**French drain ground cover along north side of home**  
*#57 Wash Stone (approx. size 1")*





## Proposed Materials (continued):

### Driveway

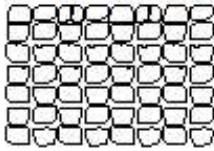
Techo-bloc “Antika” permeable pavers styled to mimic cobblestone. Color selection is “shale grey.”



## ANTIKA

DESCRIPTION: Paver TEXTURE: Smooth and aged

### PALLET OVERVIEW\*



The Antika paver is perfect as a filler in a circle, around a fan design or on a winding pathway. Antika can also be used as a mosaic frame around any design.

### NOTES

See page 44 to 47 for more technical information. When used in a permeable pavement application, see page 83 to 89 for more technical information.

JOINT WIDTH: VARIABLE

% OF SURFACE OPENING: VARIABLE

\*Pallet layout may vary.

### 01 | Random pattern



Patterns are for design inspiration only. The installer is responsible to calculate & purchase the correct amount of material.



Specifications per pallet	Imperial	Metric
Cubing	87 ft <sup>2</sup>	8.10 m <sup>2</sup>
Weight	2 183 lbs	990 kg
Number of rows	9	
Coverage per row	9.67 ft <sup>2</sup>	0.90 m <sup>2</sup>

Unit dimensions	In	mm
Height	2 3/4	60
Depth	-	-
Length	-	-
Height	2 3/4	60
Depth	-	-
Length	-	-
Height	2 3/4	60
Depth	-	-
Length	-	-
Height	2 3/4	60
Depth	-	-
Length	-	-
Height	2 3/4	60
Depth	-	-
Length	-	-
Height	2 3/4	60
Depth	-	-
Length	-	-

PAVERS

techo-bloc.com



## Driveway (continued)

*Photo: iMAPS showing circle drive in rear of 801 N Bloodworth St*



*Photo: Real estate listing photo of 801 N. Bloodworth showing “landscaped circular drive and 3 parking spots hidden behind the house” Note the decorative wall bordering the driveway, as proposed at 412 N East St.*



Two sets of doors lead to a landscaped circular drive and 3 parking spots hidden behind the house. There is an old planting shed tucked away at the back of the lot that is being sold as is.

## Driveway (continued)

*Photo: Google street view showing circle drive in rear yard of 801 N Bloodworth St. Note the drive access is located off of Franklin St (photo is on Franklin looking north into the rear yard of 801 N Bloodworth)*



*Photo: Additional street view of circle drive at 801 N Bloodworth St, taken looking Northwest on Franklin St.*





## Driveway (continued)

*Correspondence with City of Raleigh Dept. of Transportation regarding proposed circle driveway. The Morgan's forward the enclosed plot plan with a request for input on whether permits were required and/or any concerns about adding 2 access points to the city alley.*



Scott Morgan <rscottmorgan@gmail.com>

---

### Quick question re: Driveway on gravel alley (no curb cut)

---

Shumaker, William <William.Shumaker@raleighnc.gov>  
To: "rscottmorgan@gmail.com" <rscottmorgan@gmail.com>

Fri, Jan 11, 2019 at 11:44 AM

Scott,

Daniel King forwarded me your question and asked me to touch base with you.

From what you have shown and stated as your proposed work, Transportation would not have any concerns or comments regarding your proposal.

That being said, other trades may have comments associated with your proposed work and would likely require a permit review. Planning/Zoning may need to look at the proposed work to ensure no issues with the fence or setbacks and Stormwater may need to review the proposed impervious change to ensure your lot remains within compliance. I'm not an expert on either of those trade review items, but those were immediate potential red flags that jumped out in my mind.

Hope this helps as you move forward and best of luck.

**Will R Shumaker**

Engineering Reviewer

City of Raleigh

Development Services Department

1 Exchange Plaza

Raleigh, North Carolina 27601

Office (919) 996-6804

[William.Shumaker@RaleighNC.gov](mailto:William.Shumaker@RaleighNC.gov)



## Driveway Gates

*Photo: comparable materials in use at 301 Linden Ave; in addition to the black driveway gate*

*Also note the extensive hardscaping of the rear yard of this corner lot in Historic Oakwood.*



*Photo: comparable materials in use at 511 Oakwood Ave, which is immediately across the alley from the proposed location of the Morgan driveway and driveway gates*



*Photo: proposed “Munich” style 12 ft wide (6 ft tall) sliding driveway gate by Aleko*



**Fieldstone retaining, sitting wall, and fire pit**

*Newline Hardscapes “Napa” wall and flat caps in “Fieldstone” color – for use on ~2 ft driveway retaining wall separating drive from turf yard, ~2ft seating wall, and fire pit on east patio. East patio would be paved with irregular slate unearthed from the property.*





*Photo: comparable materials in use at 501 Oakwood Ave; note natural slate pavers and stone “sitting wall” flanked by a low row of hedges. Gravel path trimmed with granite/cobblestone is also an inspiration for the proposed driveway at the Morgan home.*



*Photo: comparable materials in use at 523 N. Bloodworth. In addition to stone fire pit, note extensive hardscaping of the yard*





## Lighting

*Driveway lit by Hardy Island 12V 20 watt  
Matte Bronze Landscape Well Light (4 inch)*



*Porch lit by 6 inch recessed soft white LED  
lights*



*“Mr Beams” cordless motion sensing lights,  
Brown, 4.7 x 3.5 x 6.7 inches*



## Recessed Porch Lights

*Photo: comparable materials in use at 501 Oakwood Ave*



## Recessed Porch Lights

*Photo: comparable materials in use at 409 E. Jones*





## Brick steps to front porch

*Photo: comparable materials in use at 414 N East St*



*Photo: comparable materials in use at 410 N East St*



The Morgan's propose using bricks reclaimed from their home during structural work under the house, to veneer the front steps of their home.

If sufficient bricks are not available, the Morgans would purchase bricks to match their existing front walk.



*Green circle shows existing trees to be retained. Red circle shows existing trees to be removed/replaced. **Measurements are diameter in inches, measured at 4.5' from the ground (DBH).** Drawing only includes trees with greater than 8 inch DBH.*

Tree	Status	DBH @ 4.5 ft	Tree	Status	DBH @ 4.5 ft
A. Pin Oak	Keep	~37"	C. Pecan	Keep	22 ½"
B. Pin Oak	Keep	~41"	D. Pecan	Keep	19 ½"

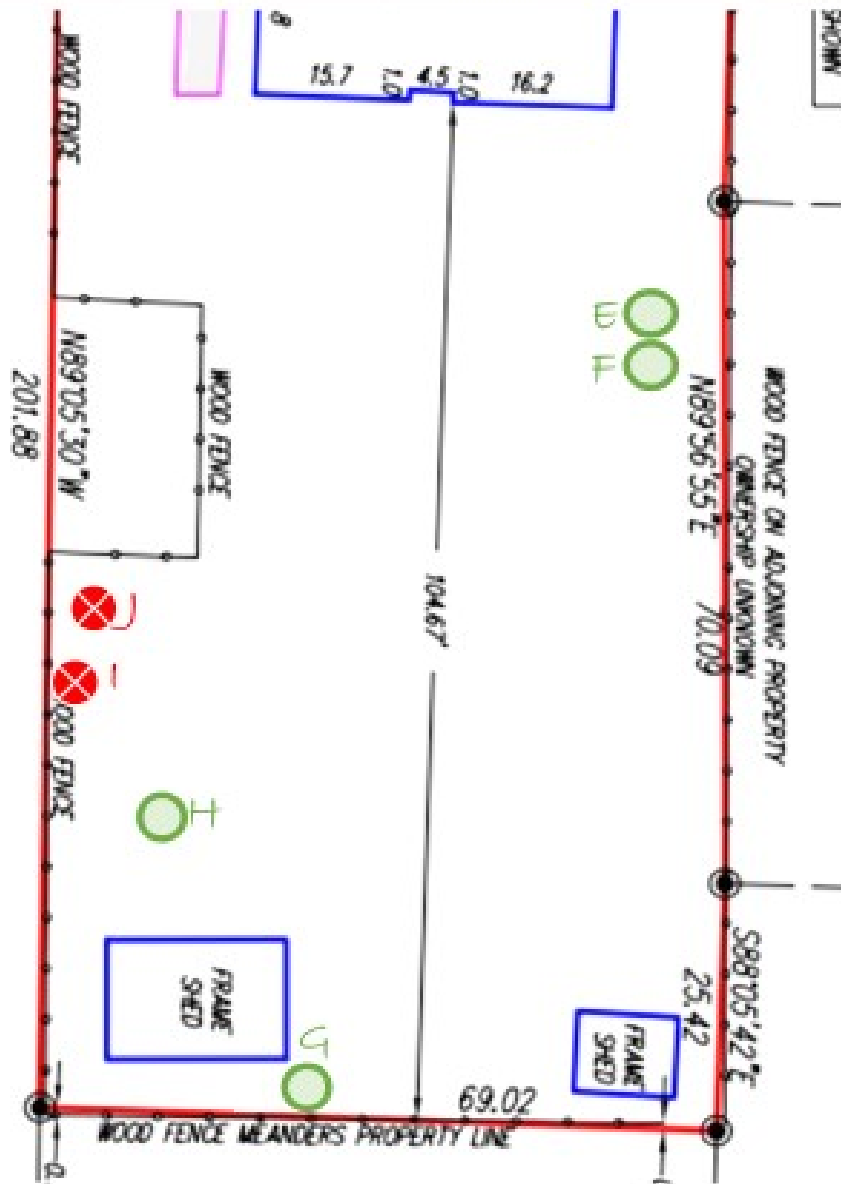


### Tree Plan (Rear of House):

Green circle shows existing trees to be retained. Red circle shows existing trees to be removed/replaced. Measurements are diameter in inches, measured at 4.5' from the ground (DBH). Drawing only includes trees with greater than 8 inch DBH.

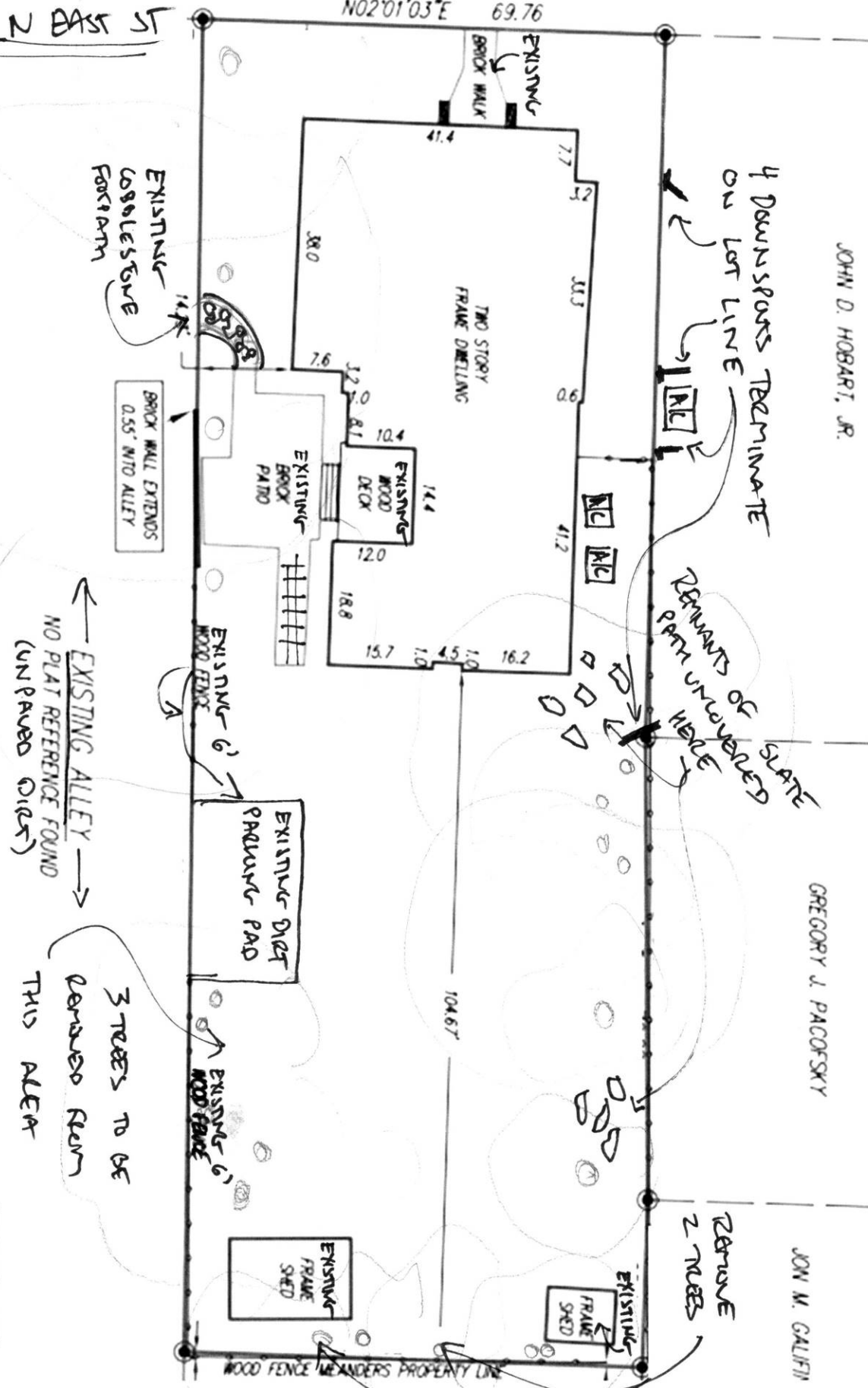
Back of House Tree Plan

Tree	Status	DBH @ 4.5 ft	Tree	Status	DBH @ 4.5 ft
E. Pin Oak	Keep	18"	H. Maple H	Keep	11 1/4"
F. Pin Oak	Keep	21 1/3"	I. Unknown Evergreen	Remove	9 1/4"
G. River Birch	Keep	13"	J. Hackberry	Remove	11 1/4"



EXISTING PLOT  
 PLAN C 412 N EAST ST

← EAST ST →





## Plot Plan Proposed

