



APPLICANT:
LAURIE JACKSON FOR
MAURER ARCHITECTURE

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

COA-0014-2019 407 N BLOUNT STREET

Applicant: LAURIE JACKSON FOR MAURER ARCHITECTURE

Received: 1/16/19

Meeting Date(s):

Submission date + 90 days: 04/16/19

1) 02/28/2019 2) 3)

INTRODUCTION TO THE APPLICATION

Historic District: BLOUNT STREET HISTORIC DISTRICT

Raleigh Historic Landmark: ANDREWS-DUNCAN HOUSE

Zoning: HOD-G

Nature of Project: Remove non-historic addition and stairs; construct additions on south and west facades; construct new side porch; enlarge parking area; add new rear walk

Staff Notes:

- COA cases mentioned are available for review.

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<u>Sections</u>	<u>Topic</u>	<u>Description of Work</u>
1.3	Site Features and Plantings	Enlarge parking area; construct additions on south and west facades
1.5	Walkways, Driveways, & Off-street Parking	Enlarge parking area
2.8	Entrances, Porches, and Balconies	Construct porch on south facade
3.2	Additions	Remove non-historic addition; Remove exterior stairs; Construct additions on south and west facades

STAFF REPORT

Based on the information contained in the application and staff's evaluation:

- A. Removing a non-historic addition; constructing additions on the south and west facades; removing exterior stairs; and enlarging a parking area are not incongruous in concept according to *Guidelines* 1.3.1, 1.3.2, 1.3.6, 1.3.7, 1.3.8, 1.3.13, 1.5.5, 1.5.6, 1.5.7, 2.8.6, 3.2.1, 3.2.2, 3.2.6, 3.2.7, 3.2.8, 3.2.9, 3.2.10, 3.2.11, 3.2.12; however, the lack of a tree protection plan is incongruous according to *Guidelines* 1.5.9, 3.2.4, 3.2.5, and the following suggested facts:

- 1* The National Register of Historic Places nomination for the Blount Street Historic District describes the house as: "Built for Alexander Boyd Andrews about 1873, this boxy, two-and-

a-half-story Victorian Italianate frame dwelling has broad gables and cross-gables with long returns and deep eaves. Supporting the eaves are pairs of highly sculptural brackets. Two large, paneled chimneys with corbelled stacks figure prominently in the building's silhouette. A rectangular porch with paired, and at the corners tripled, posts fronts and central three bays of the house. The windows have segmental-arched hood moldings, except for the central windows of the front elevation on the second and third levels, which are pairs of Roman-arched openings under a single broad hoodmolding."

- 2* The applicant proposes the removal of a non-historic addition on the south façade and the removal of the deck and stairs on the east façade.
- 3* First floor windows on the south and west sides were converted to doors at some point. The application proposes to remove the doors and reinstall windows "to match existing"; specifications are not included in the application.
- 4* The elevations note that four non-historic infill windows on the north façade will be removed and replaced "to match existing." Photographs of the north façade were not provided. Window specifications were not provided.
- 5* The proposed addition on the south façade is to be constructed on the extant historic stone foundation that remains from the original porch. The addition has the appearance of an enclosed reconstruction of the original porch design.
- 6* A new porch built on brick piers is proposed to extend from the addition along the south façade. The proposed porch design visually complements the historic structure by using simplified elements of the original porch design – specifically balustrades that resemble a lengthened version of the historic balustrade and columns – but does not present itself as a false historic addition.
- 7* A one-story ~100 SF addition with rooftop balcony is proposed for the west façade. Details on the balcony railing were not provided.
- 8* The west façade addition is inset 8" from the rear wall of the structure.
- 9* The form of the rear addition is simple and boxy.
- 10* The additions are proposed to be sheathed in wood siding and trim that matches the existing.
- 11* A flat-pan metal roof is proposed for the additions and to replace the existing membrane roof on the one-story additions.

12* **Built area to open space analysis:** According to the applicant, the lot is 13,045 SF. Sanborn maps from 1914-1950 show approximately 3,450 SF of built area, with a ratio of built area to open space of 26%. The existing built area is 3,853 SF, with a ratio of built area to open space of 29%. The proposed built area is 5,073 SF, with a ratio of built area to open space of 39%.

13* Four gravel parking spaces are proposed from the recently created driveway/easement across the rear of the property. The proposed spaces are located behind the house with limited visibility from N. Blount Street.

14* A brick paved walkway is shown on the site plan. Details were not provided.

15* Several mature trees were identified on a site plan; however, their critical root zones were not identified and no tree protection plan was provided.

Staff suggests that the Committee defer the application until a tree protection plan prepared by an arborist certified by the International Society of Arboriculture (ISA) or by a North Carolina licensed landscape architect that addresses the critical root zones and provides staging areas for construction activity and material storage is provided.

Should the Committee choose to make a decision staff suggests the committee approve the application with the following conditions:

1. That a tree protection plan be implemented and remain in place for the duration of construction.
2. That porch footings be dug by hand and located to avoid damage to tree roots, should any be encountered during construction of the fence. Roots larger than 1" caliper will be cut cleanly using proper tools such as loppers.
3. That details and specifications for the following be provided to and approved by staff prior to construction or installation:
 - a. Window specifications;
 - b. Balcony railing details;
 - c. Brick walkway details.

Staff Contact: Collette Kinane, collette.kinane@raleighnc.gov

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- ☐ Minor Work (staff review) – **1 copy**
- ☒ Major Work (COA Committee review) – **10 copies**
- ☐ Additions Greater than 25% of Building Square Footage
☐ New Buildings
☐ Demo of Contributing Historic Resource
☐ All Other
- ☐ Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 583137
 File # COA-0014-2019
 Fee _____
 Amount Paid \$152
 Received Date 1/16/19
 Received By McCoey

Property Street Address 407 North Blount St.

Historic District North Blount St. Historic District

Historic Property/Landmark name (if applicable) Andrews Duncan House

Owner's Name State of North Carolina

Lot size .03 acres (width in feet) 94 feet (depth in feet) 140 feet

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
See Attached	

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant **Maurer Architecture**

Mailing Address 115.5 E. Hargett St. Ste 300

City Raleigh

State NC

Zip Code 27601

Date 01.16.19

Daytime Phone 919.829.4969

Email Address laurie@maurerarchitecture.com

Applicant Signature

Office Use Only

Will you be applying for rehabilitation tax credits for this project? ☒ Yes ☐ No

Did you consult with staff prior to filing the application? ☒ Yes ☐ No

Type of Work

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

[illegible]

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. <u>Minor Work</u> (staff review) – 1 copy <u>Major Work</u> (COA Committee review) – 10 copies			✓		
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		✓		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		✓		
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>		✓		
4. <u>Paint Schedule</u> (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>			✓
5. <u>Plot plan</u> (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Drawings showing existing and proposed work <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
8. Fee (<u>See Development Fee Schedule</u>)	<input checked="" type="checkbox"/>		✓		

1704707799
NORTH CAROLINA STATE OF
STATE PROPERTY OFFICE
116 W JONES ST
RALEIGH NC 27603-1300

1704707867
EBW-RALEIGH, LLC
410 S SALISBURY ST STE 200
RALEIGH NC 27601-1780

1704800810
NORTH CAROLINA STATE OF
STATE PROPERTY OFFICE
116 W JONES ST
RALEIGH NC 27603-1300

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STATE PROPERTY OFFICE
116 W JONES ST
RALEIGH NC 27603-1300

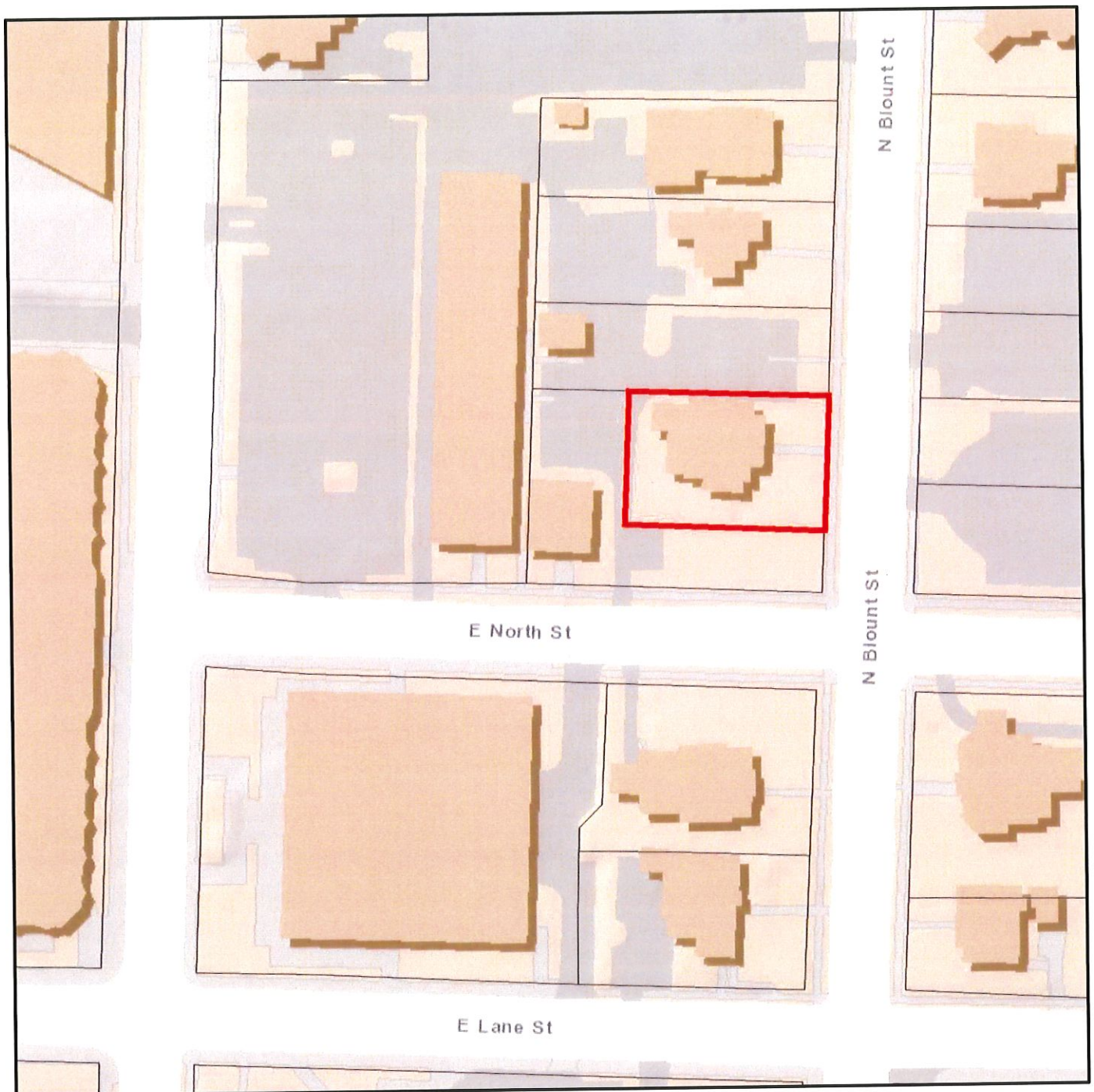
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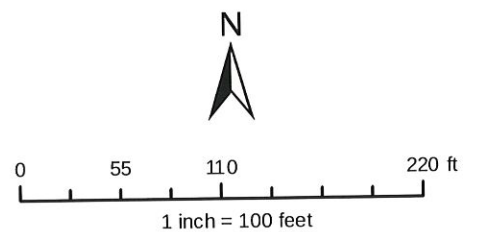
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RALEIGH NC 27603-1300



Andrews-Duncan House



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Andrews Duncan House

407 N. Blount St.

Summary of Work- Certificate of Appropriateness Major Works application (REVISED)

Built in 1879, the Andrews Duncan House is a Raleigh Historic Landmark (1972), located in the North Blount St. HD and was individually listed on the National Register of Historic Places in 1971. The building sits on a 0.03 acre parcel and has had modifications made to two porches on the south and west elevations. It is currently owned by the State of North Carolina. The building has been unoccupied for several years after being used as offices for the State; the prospective buyers plan to restore the property according to the Secretary of the Interior's Standards and retain the original use of a single-family residence. There are also covenants on the property held by the State of North Carolina that ensure the protection of historic, character-defining elements on the exterior and interior of the building upon its sale. As part of the sale of buildings along the 400 block of N. Blount St., a 12' easement was created to provide access to the block interior.

An existing, non-original addition is to be removed along with its brick foundation walls on the south elevation. The cut stone foundation of the original side porch is intact inside the newer brick foundation, and will be retained. Rebuilding a small addition on the existing cut stone foundation in this location is proposed. The design for the addition is based on a documentary image of the original porch and matches the existing porch details on the east elevation, see attached. A covered porch is proposed off of the south addition at the southwest corner of the building. Modifications have also been made to the west elevation of the building. The National Register nomination references a porch on the rear or west elevation similar to the porch on the front or east elevation. A door has been converted to a window (although the original architraves remain) and wooden stairs have been added to provide access to a first floor door. A separate set of wooden stairs provides access to a second floor door. The stairs and landings are to be removed, and a small, one-story addition is proposed for the west elevation of the building. The remainder of the building will be undisturbed and repaired/restored as required.

1.5 Walkways, Driveways and Offstreet Parking

1.5.5 An existing gravel parking area is located along the easement access to the block interior and is to be enlarged. Four parking spots measuring 9'-0" by 18'-0" are proposed. A 3'-0" paver walk providing circulation from the parking areas is proposed. The location of parking is based on the presence of a mature tree to be retained.

2.1 Wood

2.1.1 Existing lap siding is to be retained, repaired and replaced as required to match the existing.



2.1.3 Existing wood trim and other decorative features are to be retained, repaired and replaced as required to match the existing.

2.2 Masonry

2.2.1 Remove non-original brick foundation on the south elevation and restore existing cut stone foundation behind it.

2.2.5 The existing cut stone foundation is to be repaired as necessary.

2.5. Roofs

2.5.5 The existing slate roof is damaged but not beyond repair. The built-in gutter system will be repaired along with any structural damage sustained by roof members. Existing downspouts will be replaced in kind. The existing lower roofs are all membrane and are damaged beyond repair. A new flat pan metal roof (no striations) is proposed for the new additions and the existing lower roof structure of the main house.

2.7 Windows and Doors

2.7.1-2.7.2 Two non-original doors installed in modified window openings will be removed on the south and west elevations. Where possible, existing windows will be restored to these locations.

2.7.4 All existing original windows and door are to be repaired. Any new window will match the existing in design, dimension, material and quality of material.

2.8 Entrances, Porches and Balconies

2.8.6 A new covered porch will be built at the southwest corner of the building matching in concept the details of the documentary photograph and the existing historic porch on the east elevation.

2.10 Sustainability and Energy Retrofit

2.10.3 The existing mechanical units will be removed from the north side of the building. New exterior mechanical units will be placed in the same general location.

3.2 Additions

3.2.4-3.2.5 A tree protection plan will be provided that shows the critical root zone for individual trees to be retained and the location of tree protection fencing. There is a mature oak tree in close proximity to the building; due to the location of the existing parking area, the soil has likely been compacted within the critical root zone of this tree. In the material choice of gravel for the enlarged parking area and with the intention of hand digging to excavate for the new covered porch pier foundations, the future owners plan to retain this tree and protect it during construction activities.

3.2.8 The new addition on the south elevation is located where the original side porch was located, and the intent is to rebuild on the existing cut stone foundation of the original porch. The new addition on the west or rear elevation is set back from the existing building wall to differentiate the new construction. It is single story and is to sheathed in wood siding to match the existing. Trim details of the additions will match existing trim details.

ANDREWS-DUNCAN
407 NORTH BLOUNT ST
RALEIGH NC

Certificate of Appropriateness Application

01.16.19



01- Existing East or Main Elevation



02 - Existing Southeast Corner of Building

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407 NORTH BLOUNT ST
RALEIGH NC

Certificate of Appropriateness Application

01.16.19



03- Existing Side Porch on South Elevation



04 - Existing Side Porch on South Elevation

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Certificate of Appropriateness Application

01.16.19



05- Existing Side Porch at Southwest Corner of Building



06 - Existing West Elevation

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407 NORTH BLOUNT ST
RALEIGH NC

Certificate of Appropriateness Application

01.16.19



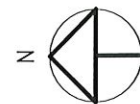
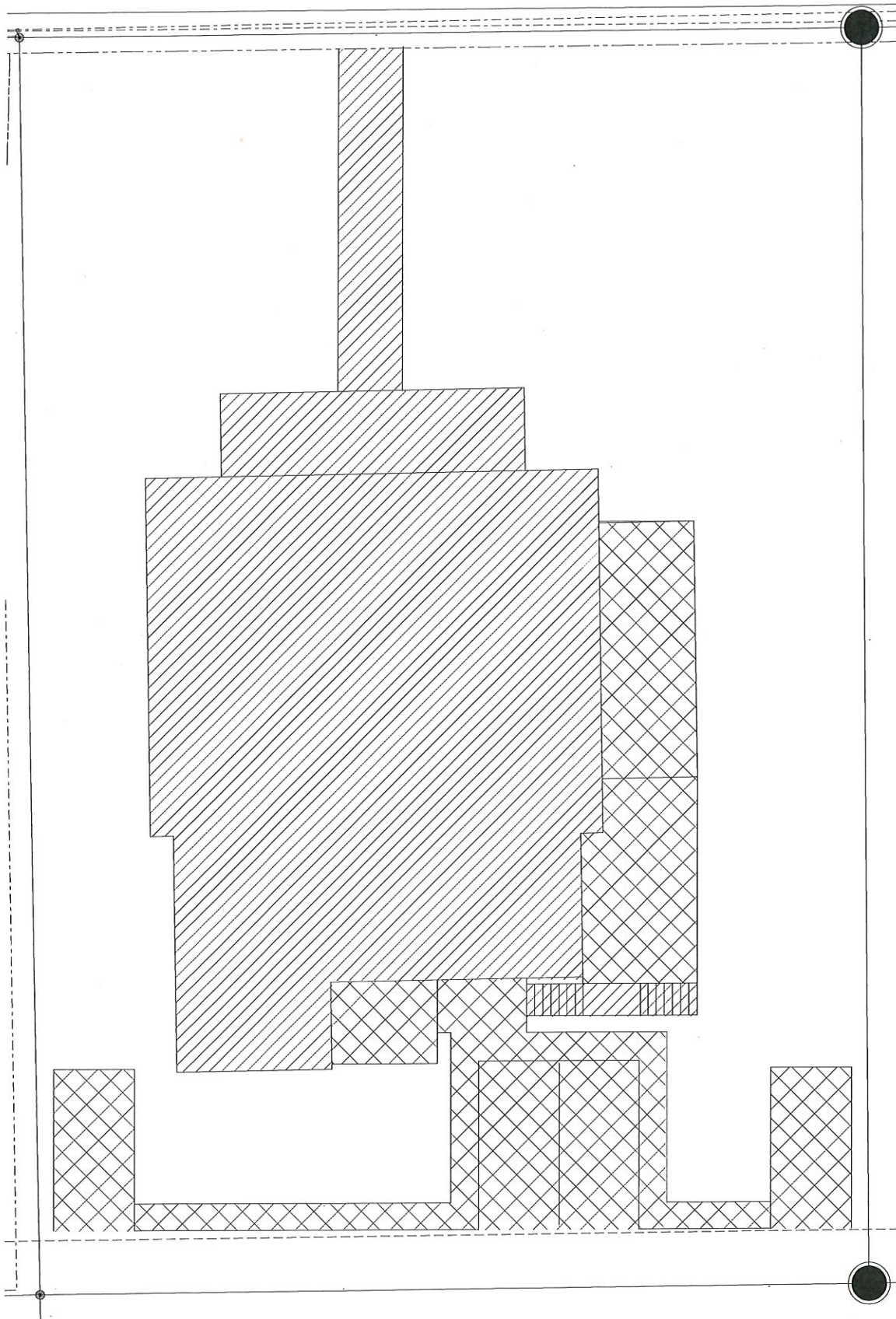
06- Henry Clay Oak c. 1917

Original porch on south elevation can be seen.

From the Albert Barden Collection, courtesy State Archives of NC. N.53.15.1653

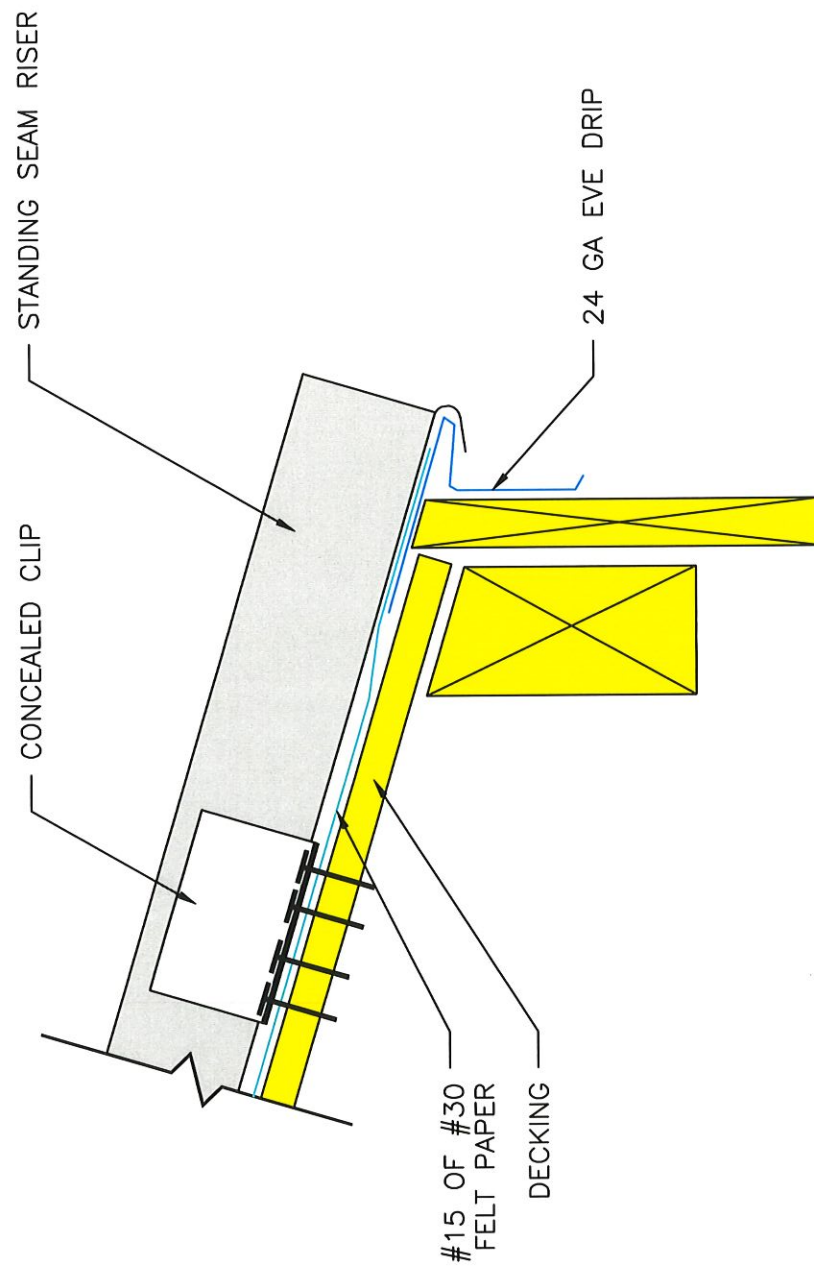


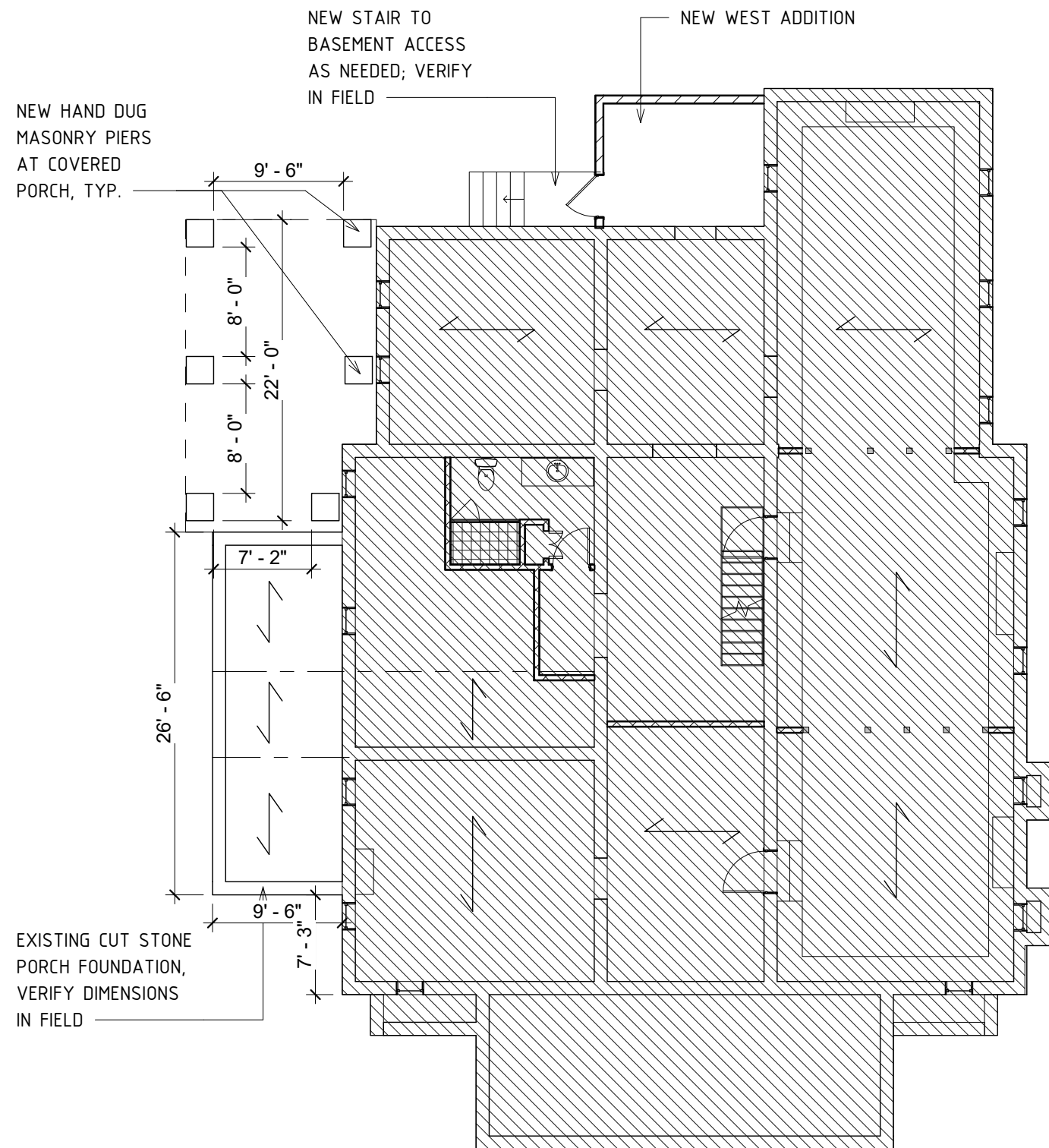




MA
MAURER
 architecture
 919 829 4969

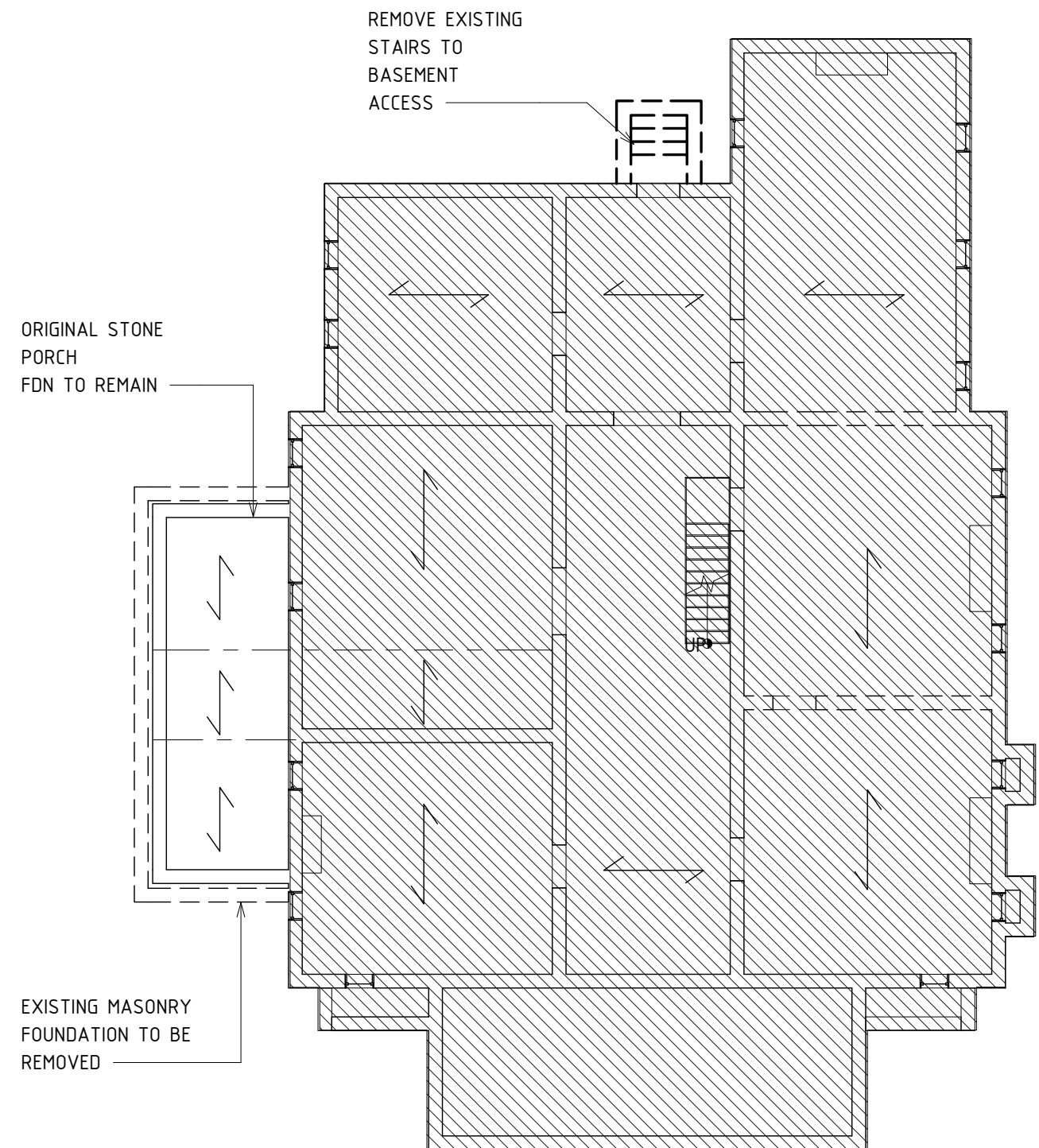
EXISTING TO PROPOSED BUILT AREAS		SF	% OF 13045 SF SITE
	EXISTING, INCLUDING SOUTH PORCH	3853 SF	29%
	PROPOSED	5073 SF	39%





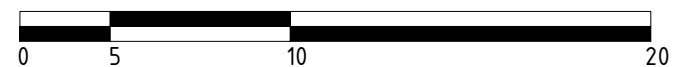
407 N. BLOUNT STREET PROPOSED BASEMENT PLAN

SCALE: 3/32" = 1'-0"

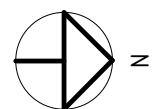


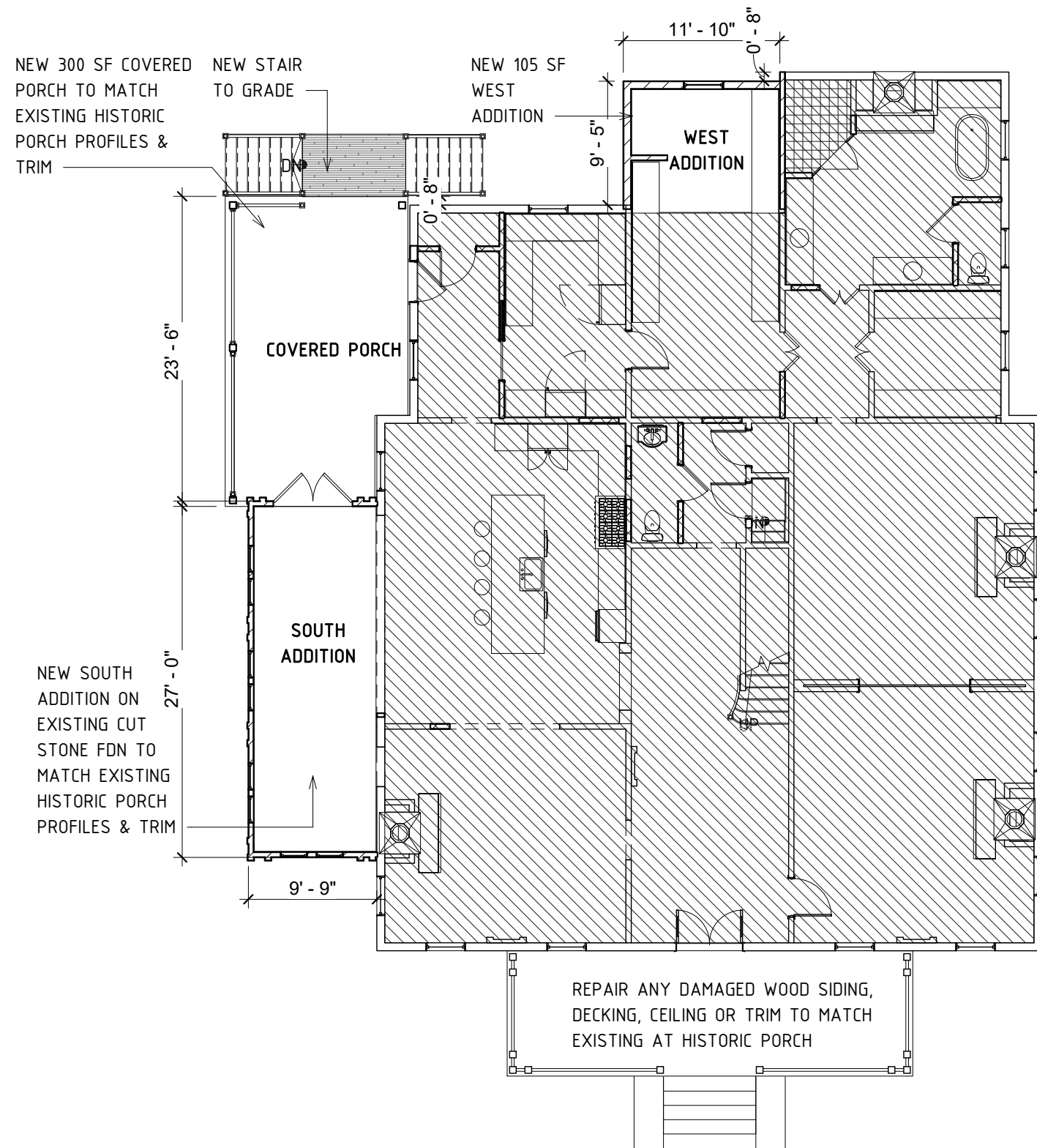
407 N. BLOUNT STREET EXISTING BASEMENT PLAN

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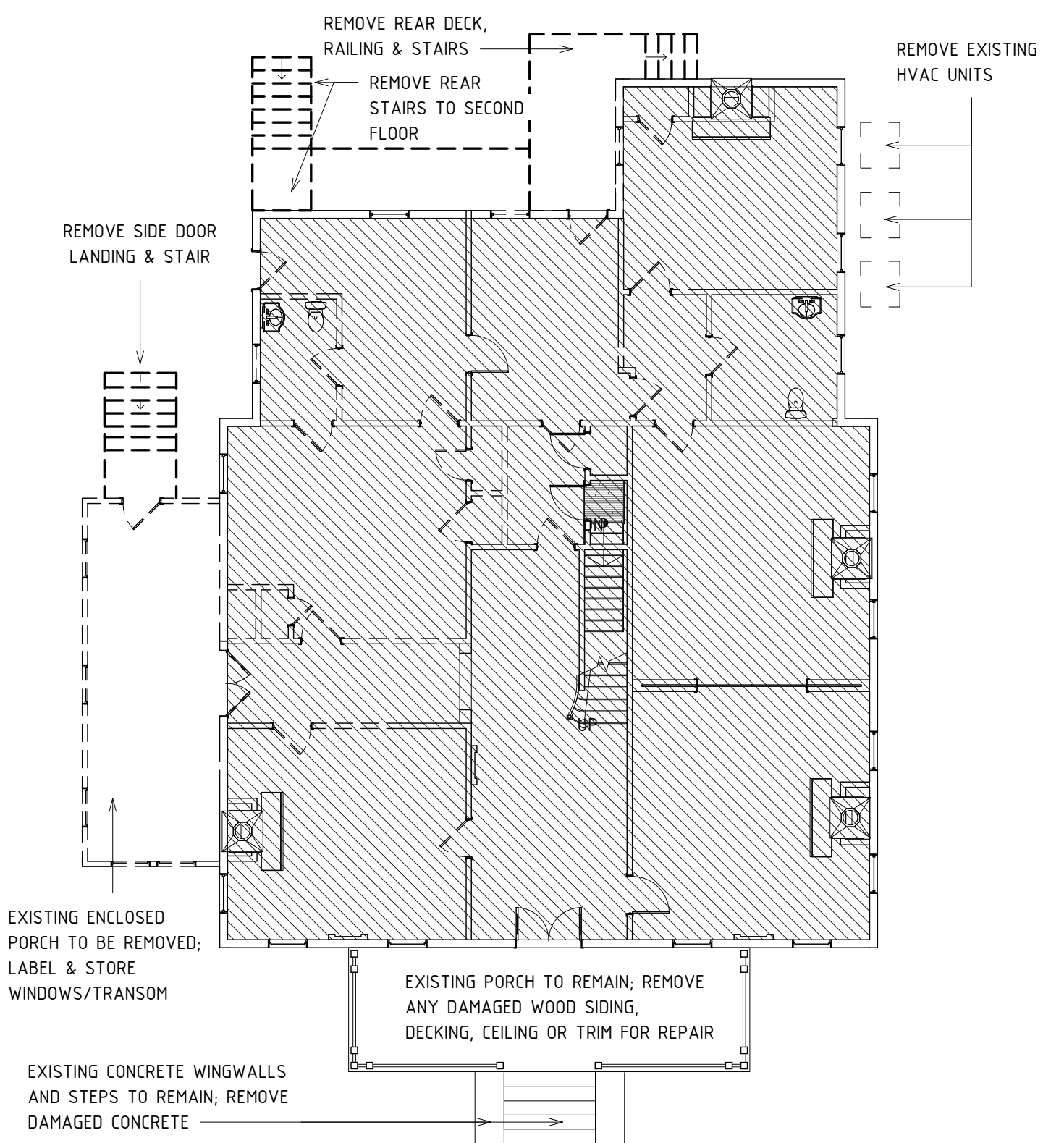
DEMOLITION PLAN KEY	
	INDICATED WALLS, DOORS, FINISHES, ETC. TO BE REMOVED
	ALL INTERIOR CHANGES TO BE APPROVED BY NC SHPO





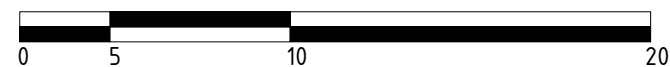
407 N. BLOUNT STREET PROPOSED FIRST FLOOR PLAN

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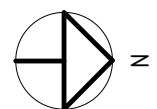


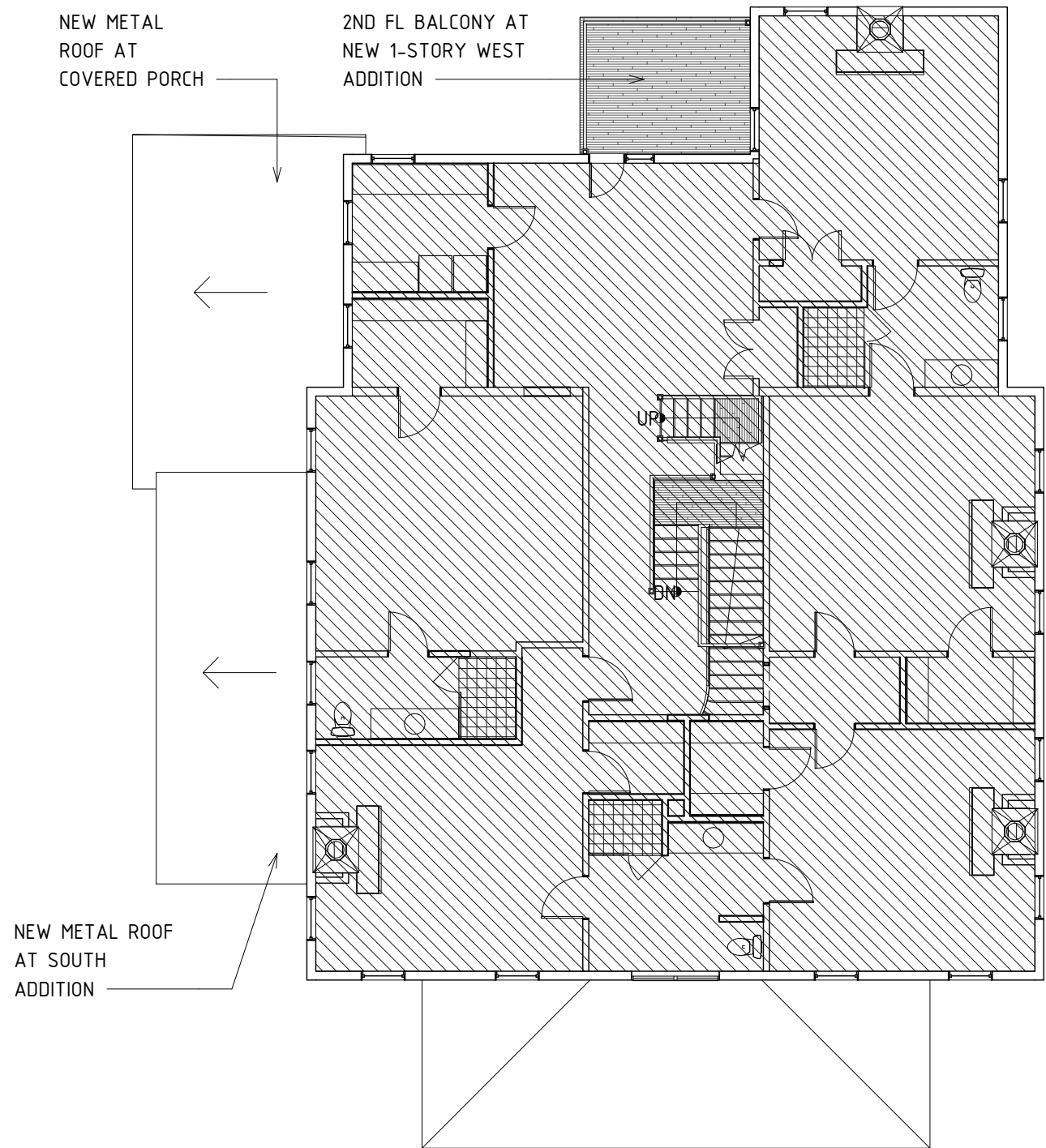
407 N. BLOUNT STREET EXISTING FIRST FLOOR PLAN

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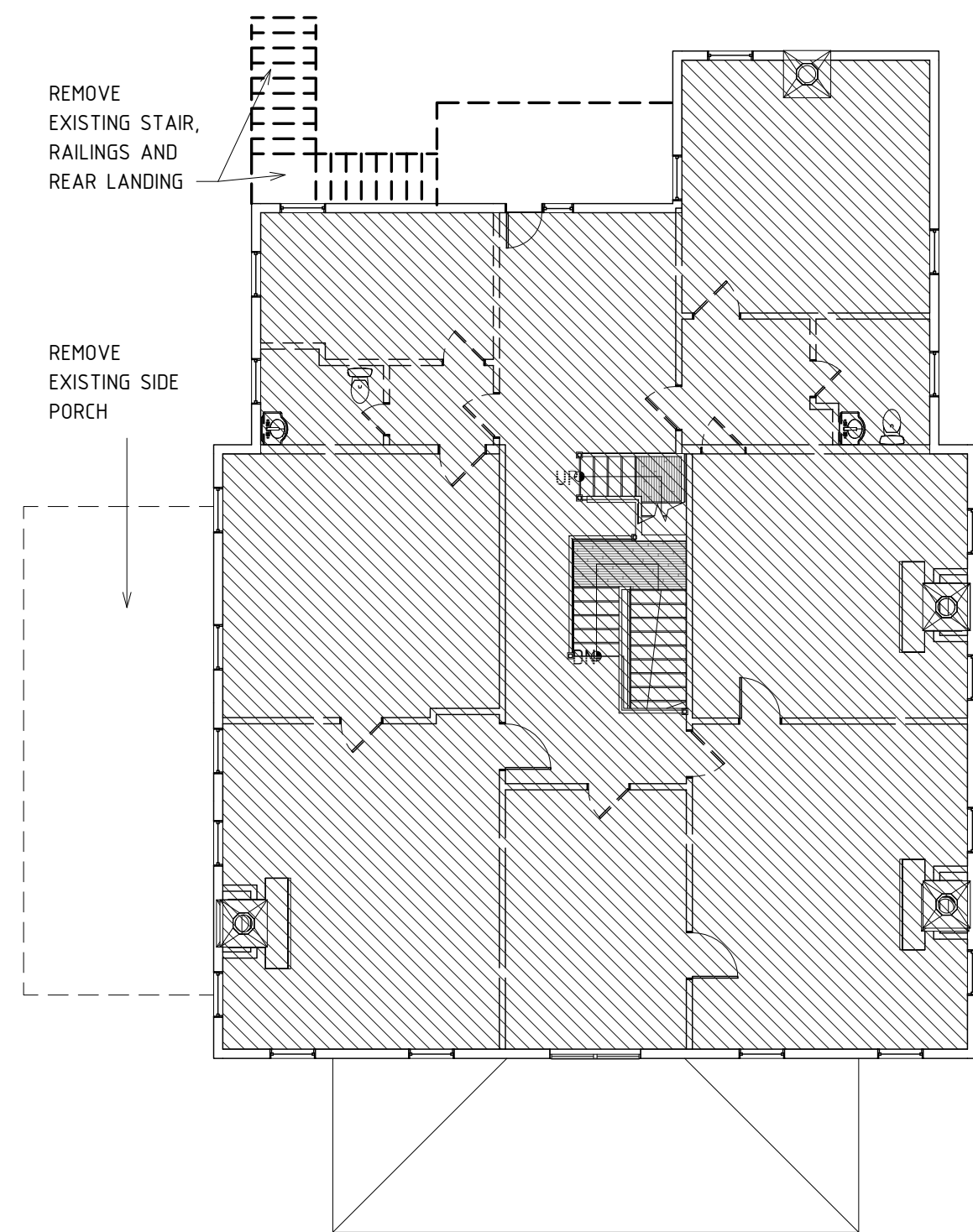


DEMOLITION PLAN KEY	
---	INDICATED WALLS, DOORS, FINISHES, ETC. TO BE REMOVED
///	ALL INTERIOR CHANGES TO BE APPROVED BY NC SHPO

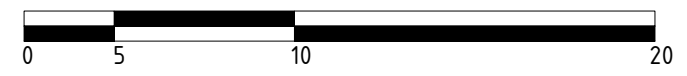




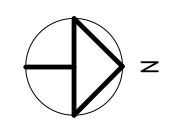
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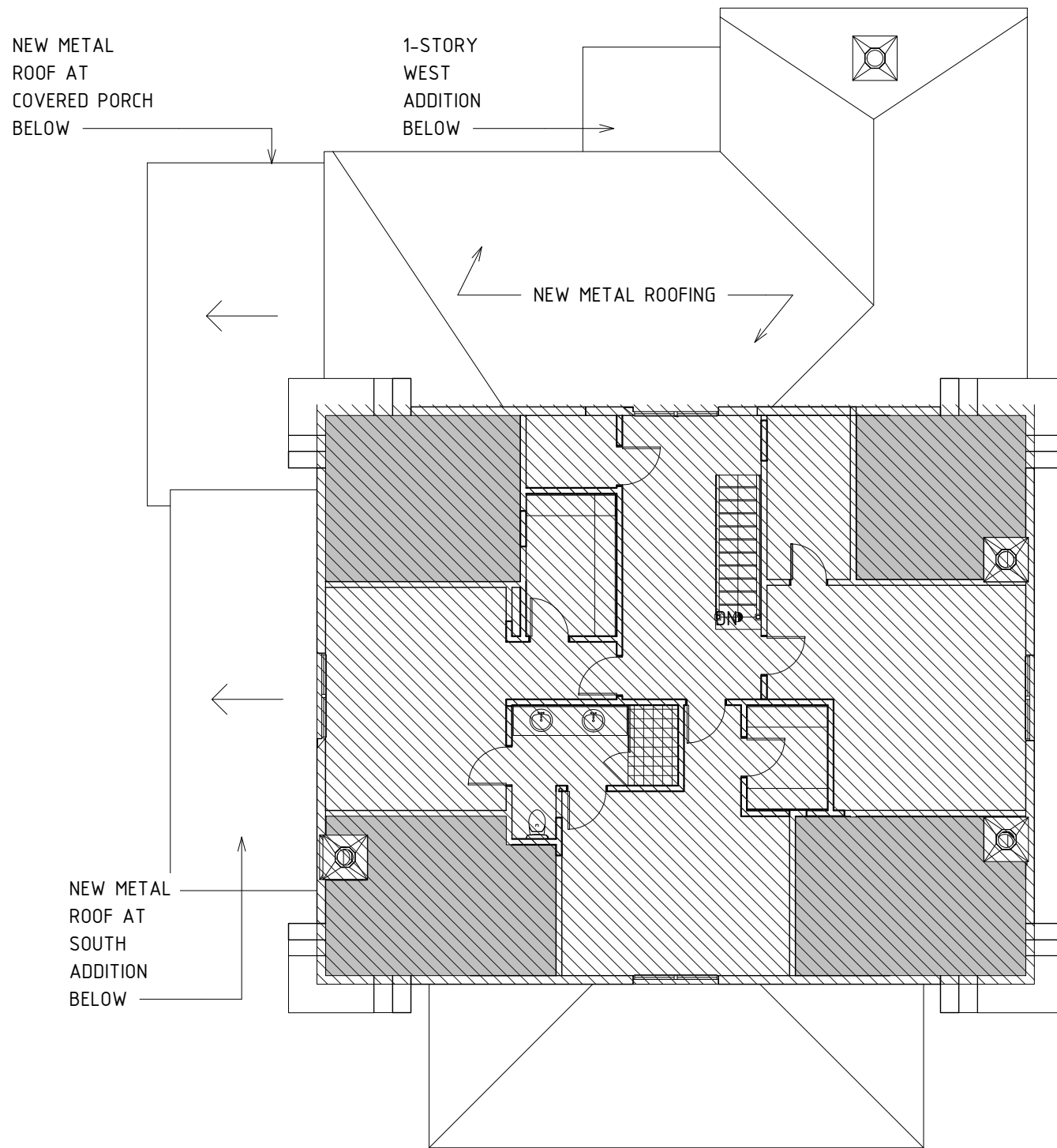


407 N. BLOUNT STREET EXISTING SECOND FLOOR PLAN
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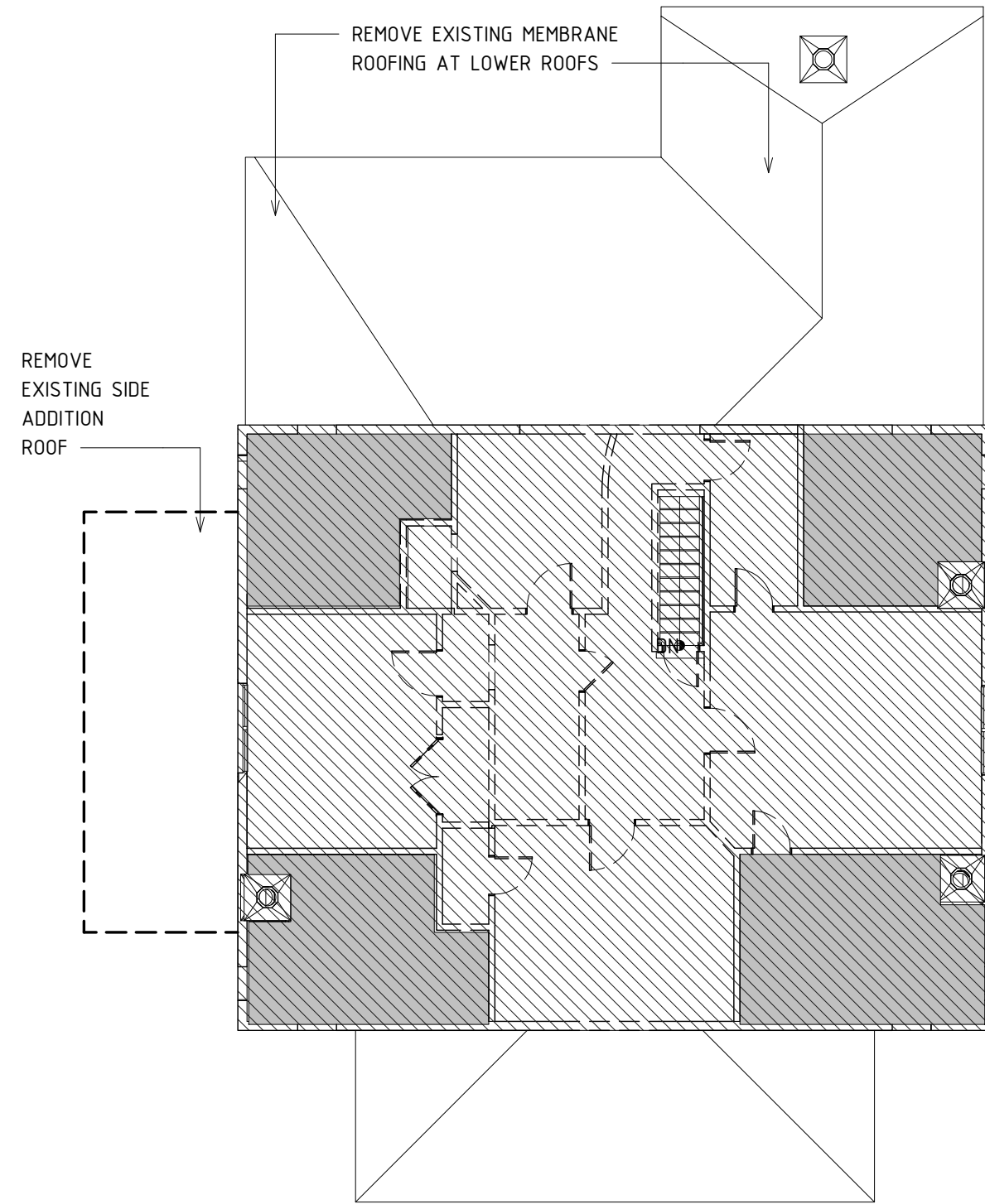


DEMOLITION PLAN KEY	
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///	ALL INTERIOR CHANGES TO BE APPROVED BY NC SHPO

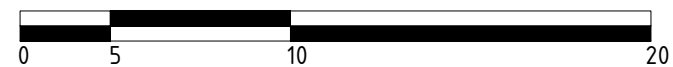




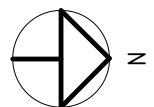
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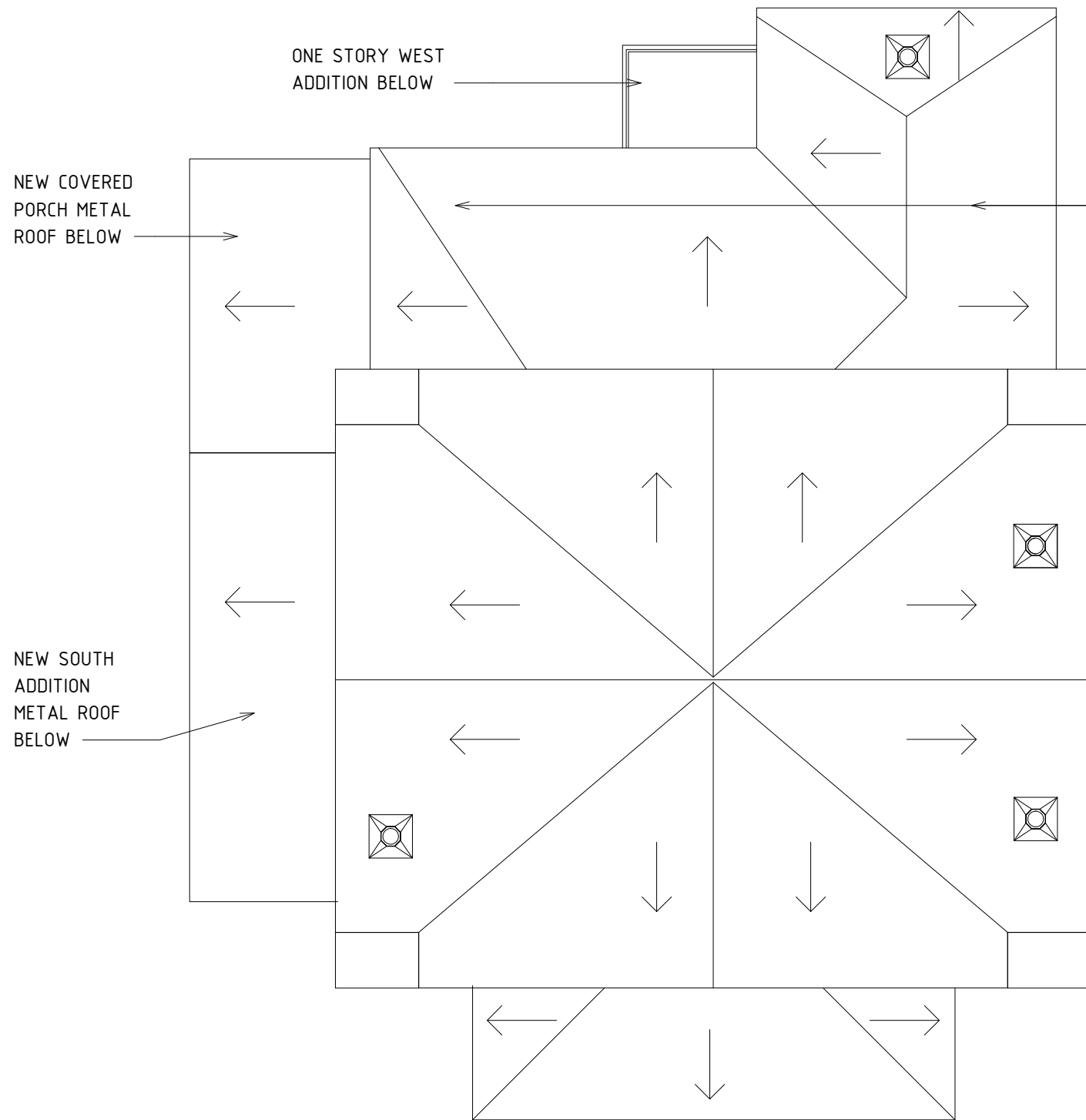


407 N. BLOUNT STREET EXISTING THIRD FLOOR PLAN
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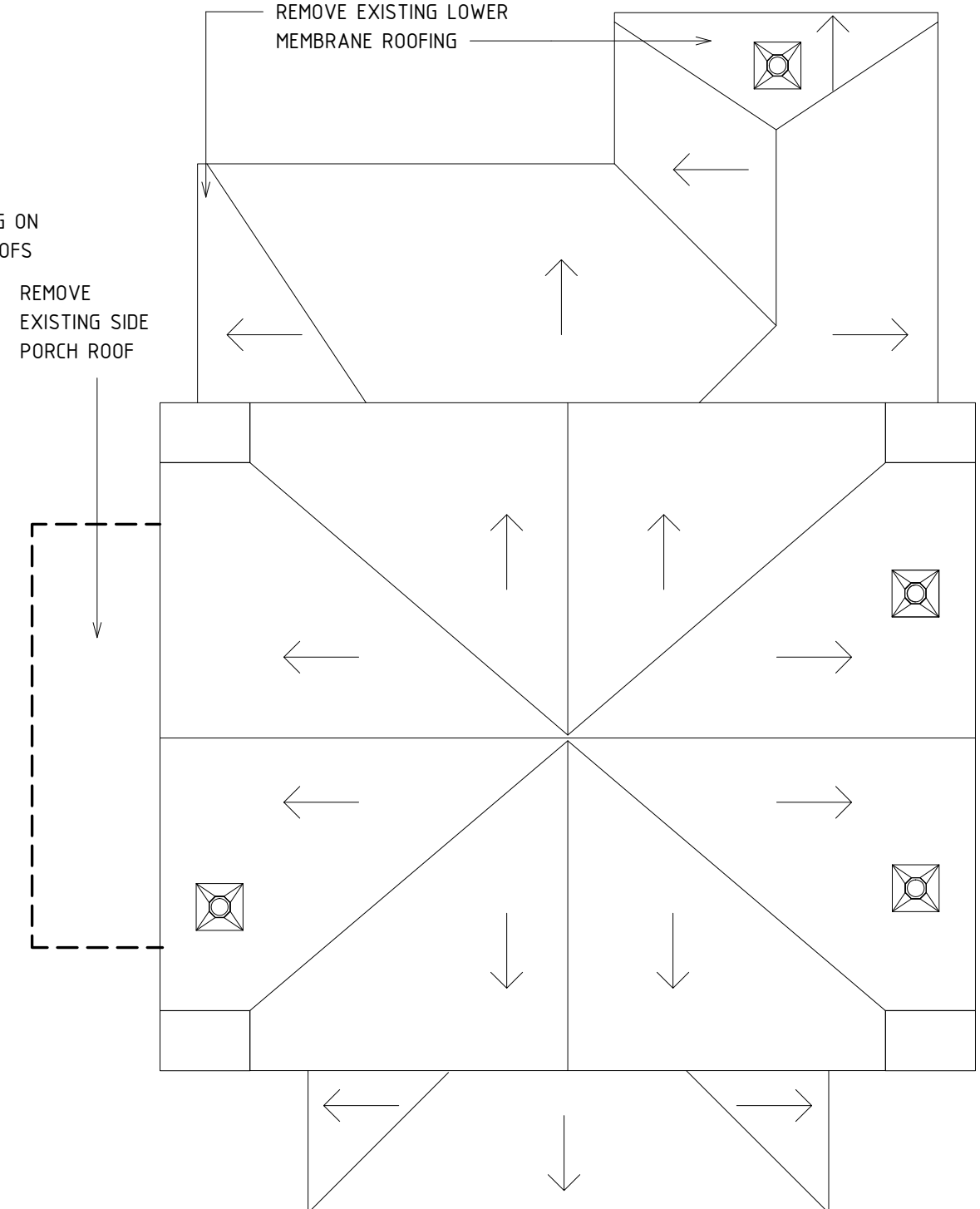


DEMOLITION PLAN KEY	
	INDICATED WALLS, DOORS, FINISHES, ETC. TO BE REMOVED
	ALL INTERIOR CHANGES TO BE APPROVED BY NC SHPO

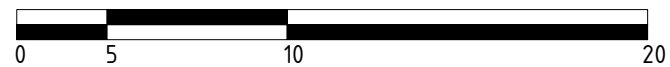




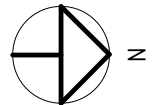
407 N. BLOUNT STREET PROPOSED ROOF PLAN
SCALE: 3/32" = 1'-0"



407 N. BLOUNT STREET EXISTING ROOF PLAN
SCALE: 3/32" = 1'-0"



DEMOLITION PLAN KEY	
---	INDICATED WALLS, DOORS, FINISHES, ETC. TO BE REMOVED



EXISTING

REMOVE ENCLOSED PORCH
& MASONRY FOUNDATION



407 N. BLOUNT STREET EAST ELEVATION

SCALE: 1/8" = 1'-0"



DEMOLITION PLAN KEY	
----	INDICATED WALLS, DOORS, FINISHES, ETC. TO BE REMOVED

PROPOSED

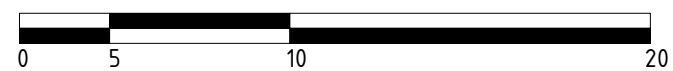
NEW SOUTH PORCH ADDITION
TO MATCH EXISTING
PORCH DETAILING, TYPICAL



REPAIR EXISTING CONCRETE
STEPS, WING WALL AND CAPS

407 N. BLOUNT STREET EAST ELEVATION

SCALE: 1/8" = 1'-0"

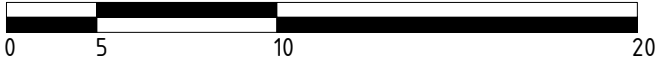


EXISTING



407 N. BLOUNT STREET NORTH ELEVATION

SCALE: 1/8" = 1'-0"



DEMOLITION PLAN KEY	
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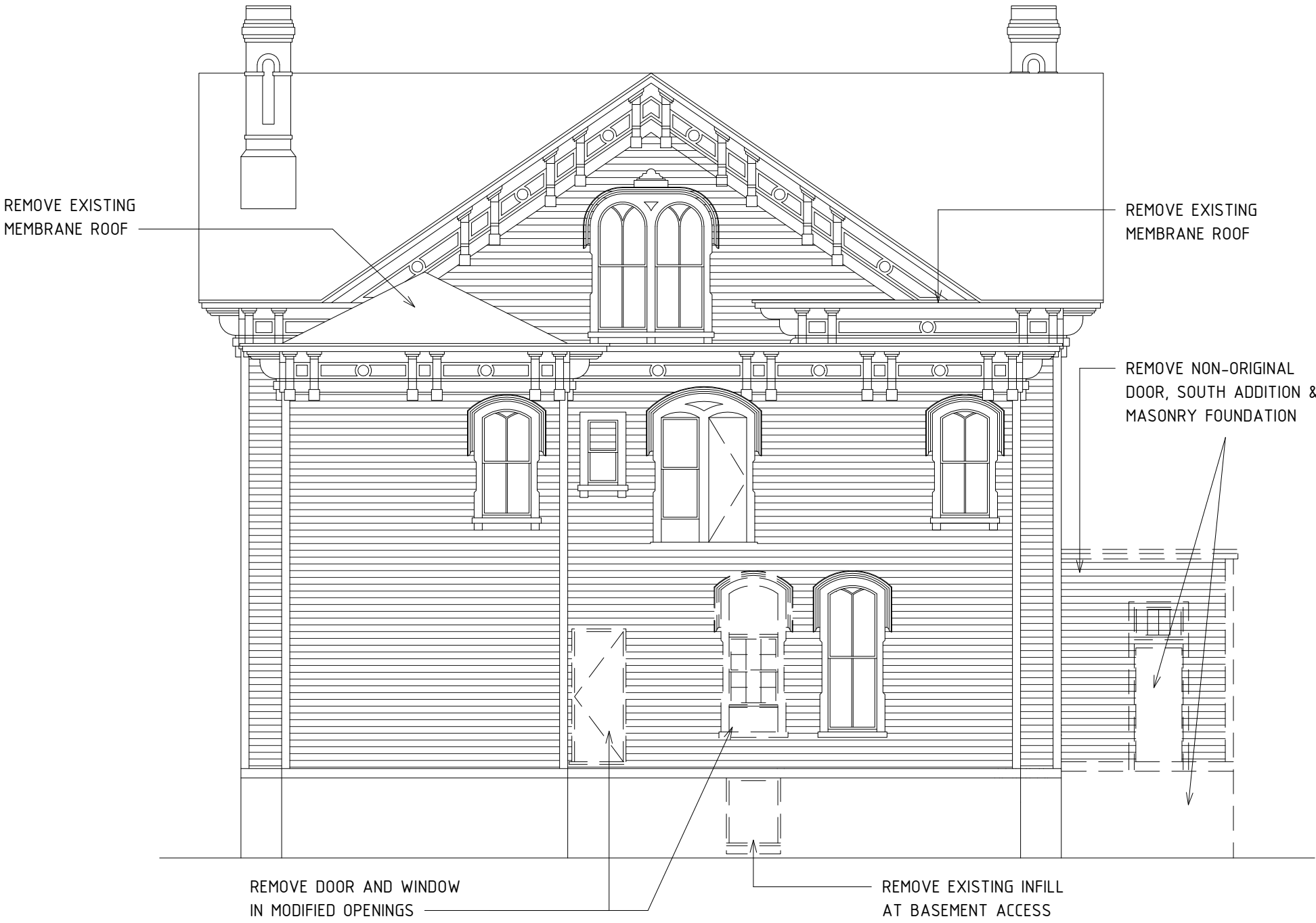
PROPOSED



407 N. BLOUNT STREET NORTH ELEVATION

SCALE: 1/8" = 1'-0"

EXISTING



407 N. BLOUNT STREET WEST ELEVATION

SCALE: 1/8" = 1'-0"



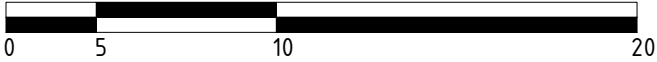
DEMOLITION PLAN KEY	
---	INDICATED WALLS, DOORS, FINISHES, ETC. TO BE REMOVED

PROPOSED

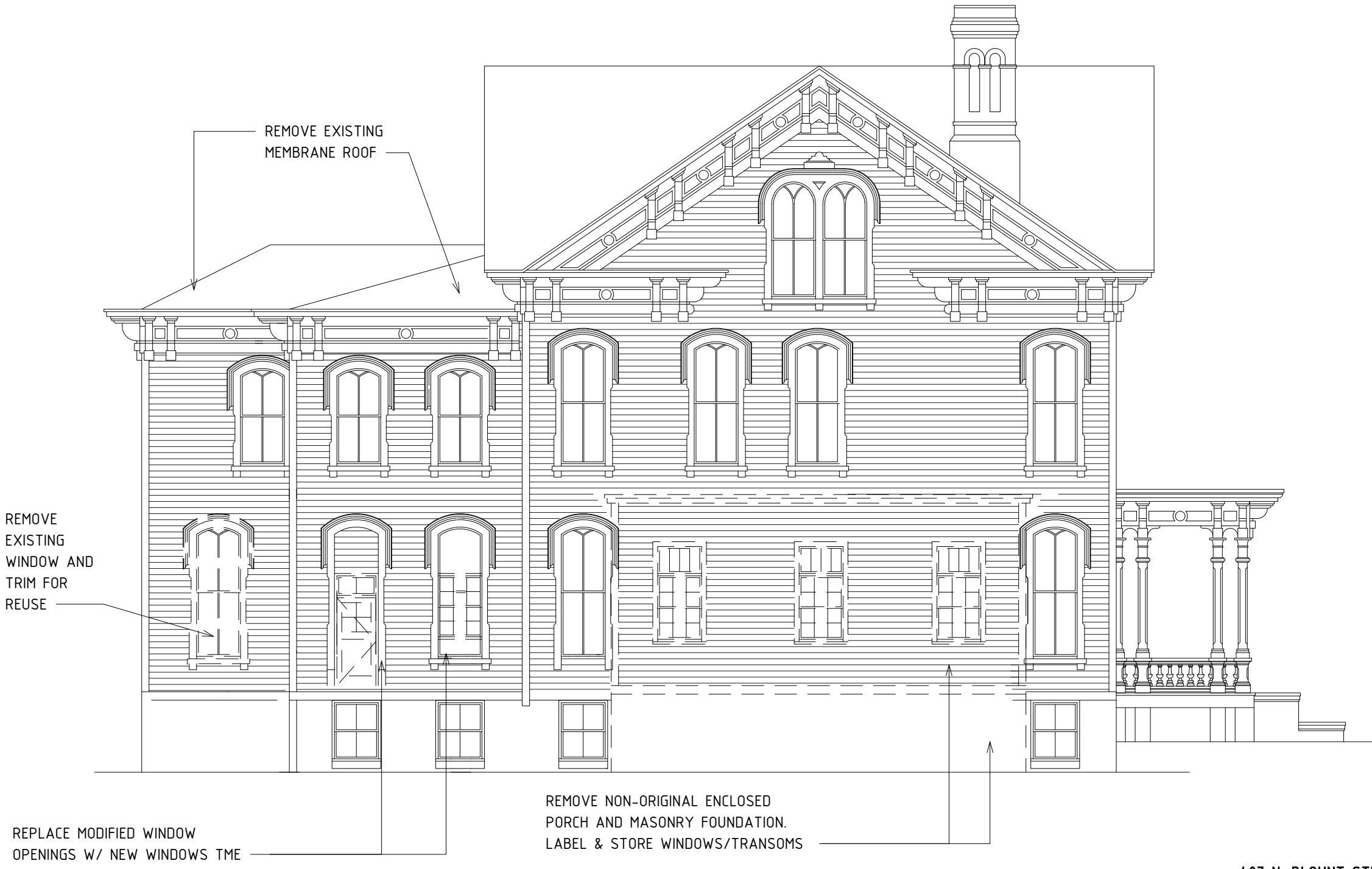


407 N. BLOUNT STREET WEST ELEVATION

SCALE: 1/8" = 1'-0"

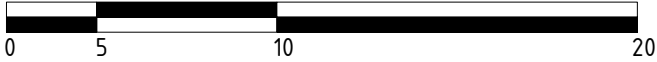


EXISTING



407 N. BLOUNT STREET SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

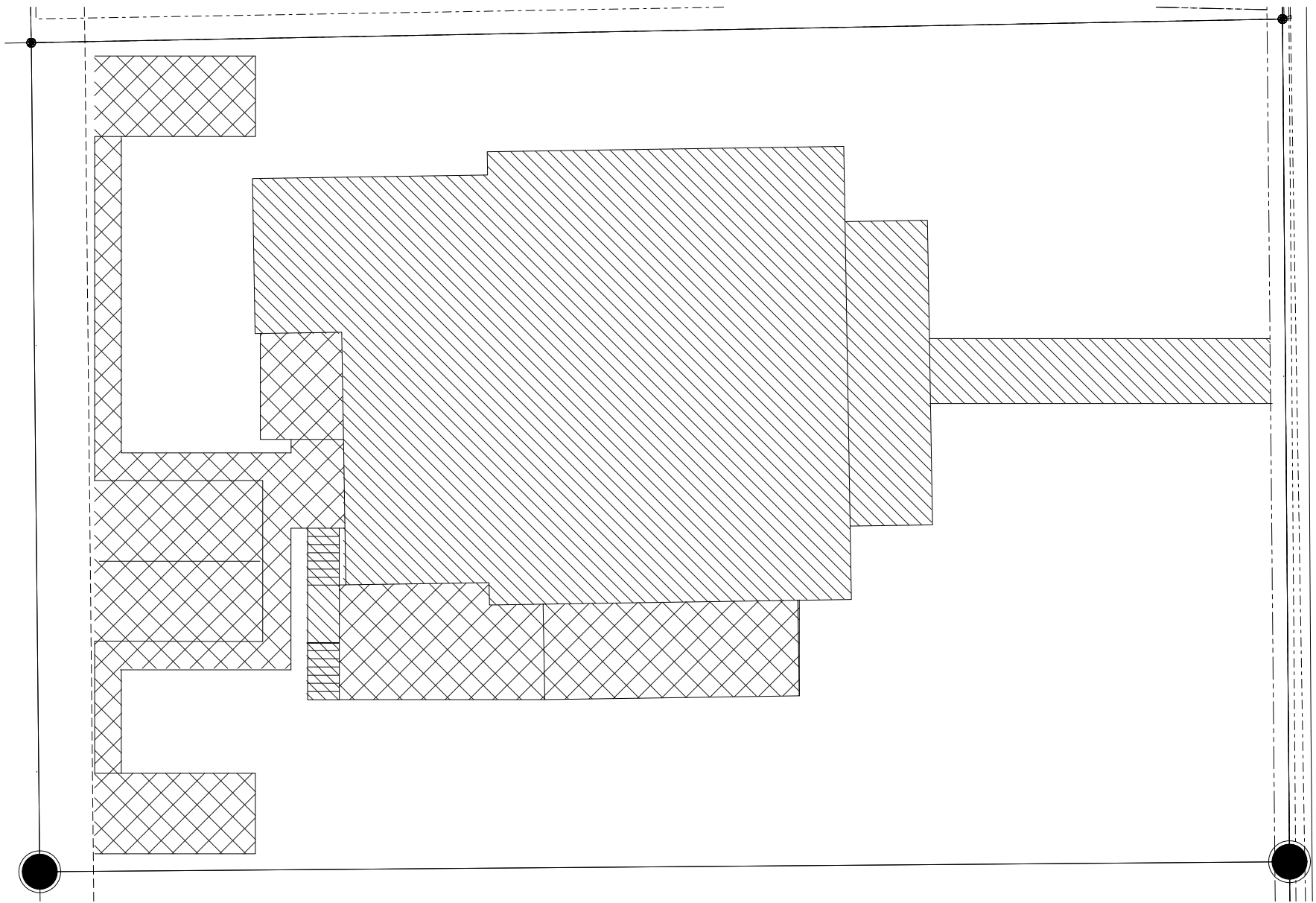




DEMOLITION PLAN KEY	
----	INDICATED WALLS, DOORS, FINISHES, ETC. TO BE REMOVED

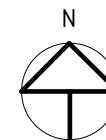
PROPOSED

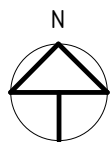


407 N. BLOUNT STREET SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING TO PROPOSED BUILT AREAS		SF	% OF 13045 SF SITE
	EXISTING, INCLUDING SOUTH PORCH	3853 SF	29%
	PROPOSED	5073 SF	39%





407 N. BLOUNT STREET SITE PLAN

SCALE: 1/16" = 1'-0"

