



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Remove existing shed; remove existing wood fence; enclose rear porch; remove and relocate existing rear window and trim; relocate existing rear door; remove non-historic side concrete stair; alter non-historic accessory structure with installation of composite lap siding and new door; install front flagstone pathway; repaint with no change in colors

914 W Cabarrus St

Address

Boylan Heights

Historic District

Historic Property

COA-0015-2023

Certificate Number

3/6/2023

Date of Issue

9/6/2023

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Kim Morton

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:		
Applicant name: Lynn Sears (Sears Family LLC)		
Mailing address: P O Box 33483		
City: - Raleigh	State: NC	Zip code: 27636
Date: 2-2-2023	Daytime phone #: 919-427-0045	
Email address: lsears@searscontract.com		
Applicant signature:		
<div style="border: 1px solid red; padding: 2px;">Minor work (staff review) – one copy</div> Major work (COA committee review) – ten copies Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval		<p style="text-align: center;">Office Use Only</p> Transaction #: _____ File #: <u>COA-0015-2023</u> Fee: _____ Amount paid: _____ Received date: _____ Received by: _____ _____
Property street address: 914 W. Cabarrus Street		
Historic district: Boylan Heights		
Historic property/Landmark name (if applicable):		
Owner name: Sears Family LLC		
Owner mailing address: P O Box 33483 Raleigh, NC 27636		

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Office Use Only Type of work: 9, 15, 29, 35, 57, 66, 83, 84
Did you consult with staff prior to filing the application? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
		Infill rear porch, remove stair, replace window, replace door on workshop, install siding on workshop
		Remove existing fence, remove existing shed (no foundation), Install flagstone stepping stones
		See attached project description

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>09/06/2023</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Eri Martin</u>	Date <u>03/06/2023</u>



Rev 1: 2-22-2023

914 W. Cabarrus St.
Boylan Heights

Project Description and Description of Materials

Main House:

House is a one-story bungalow with an attached front porch circa 1922 according to the National Register Nomination of Boylan Heights.

1- An existing rear porch not visible to street is proposed to be enclosed with new walls wrapped with **4" wood siding** and 4" corner trim to match existing. No drip cap on foundation exists at rear of house. No drip cap shall be installed at rear enclosed porch. Existing wood floor and brick foundation to remain. Existing concrete stairs to remain. Existing rear half glass wood door at rear of house will be relocated to enclosed mud room rear façade (not a character defining façade). Existing roof and exposed rafter tails to remain. Existing window in rear façade inside existing screen porch **to be relocated** and will be filled in with siding. *See National Historic Trust for Preservation Brief below.

2- Remove existing non-original concrete stair to the right of front porch. This stair protrudes into driveway and needs to be removed to allow for vehicles to park.

3- Patch and repair parging on foundations. Patch and repair any rotten wood siding or other elements. Repaint all surfaces (colors to be selected at a later date)

4- **Relocate rear window to East elevation and replace trim to match original.**

Workshop:

5- Install new glass and wood door at existing workshop circa 1988 according to tax records. Install 4" exposure composite smooth faced siding over CMU at workshop. All elements to be painted to match main house.

Site:

6- Remove existing wood fence on either side of house.

7- Install flagstone stepping stones in front yard.

8- Repair existing brick pavers in rear yard.

Massing/Demolition:

9- Remove existing deteriorated potting shed (no existing floor or foundation). Built mass will be reduced with removal of shed.



Cited Design Guidelines:

1.5 Walkways

- .4 If a walkway or a driveway is completely missing, replace it with a new feature based on accurate documentation of the original design or a new design compatible in location, configuration, dimension, scale, materials, and color with the historic building site, streets, and district.
- .5 Design new walkways, driveways, and off-street parking areas to be compatible in location, patterns, spacing, configurations, dimensions, materials, and color with existing walkways, driveways, and off-street parking areas that contribute to the overall historic character of the district.

1.6 Garages and Accessory Structures:

- .7 Select materials and finishes for proposed garages or accessory buildings that are compatible with the principal structure or other historic garages and accessory buildings in the district in terms of composition, scale, module, pattern, detail, texture, finish, color, and sheen.
- .8 Select windows and doors for new garages and accessory buildings that are compatible in material, subdivision, proportion, pattern, and detail with the windows and doors of the principal structure or other historic garages and accessory buildings in the district.

2.7 Windows and Doors:

- .6 If a historic window or door unit is deteriorated beyond repair, replace the unit in kind, matching the design and the dimension of the original sash or panels, pane configuration, architectural trim, detailing, and materials. Consider compatible substitute materials only if using the original material is not technically feasible.
- .9 If additional windows or doors are necessary for a new use, install them on a rear or non-character-defining facade of the building, but only if they do not compromise the architectural integrity of the building.
- .11 It is not appropriate to remove original doors, windows, shutters, blinds, hardware, and trim from a character-defining facade.

2.8 Entrances, Porches, and Balconies:

- .7 Consider the enclosure of a historic porch to accommodate a new use only if the enclosure can be designed to preserve the historic character of the porch and the building. It is not appropriate to enclose a front porch or a front balcony.

3.2 Additions:

- .6 Locate a new addition on an inconspicuous face of the historic building, usually the rear one.

*Reference:

National Park Service Preservation Briefs: #45 Preserving Historic Wood Porches

Regarding enclosure of porches, the text states: ...

"History has shown that the enclosure of a portion of a porch on a secondary elevation does not always alter the character of a building. In the past as indoor plumbing was introduced to old buildings, the partial enclosure of a one or two-story porch on a secondary elevation was a convenient means of providing new bathroom space while limiting disruption to the building's interior. ... This also provides us with an approach that may be appropriate for a particular project today."

"Unless the historic porch is so deteriorated that it is beyond repair, any consideration of enclosing all or part of a porch should incorporate retention of historic fabric. This may mean that the existing structural system needs to be augmented but generally not replaced."

914 W CABARRUS EXISTING CONDITIONS PHOTOS



STREETSCAPE-FRONT ELEVATION



LEFT-FRONT ELEVATION



RIGHT-FRONT ELEVATION - VIEW FROM STREET



CONCRETE STAIRS TO BE REMOVED



RIGHT ELEVATION, VIEW OF EXISTING FENCE, SHED, WORKSHOP



VIEW OF WINDOW TO BE REPLACED ON RIGHT ELEVATION



REAR ELEVATION- EXISTING SCREEN PORCH TO BE INFILLED



ALTERNATE VIEW OF SCREEN PORCH FROM NEIGHBORS YARD



EXAMPLE OF ROTTEN DRIP CAP/SIDING TO BE REPLACED IN KIND



VIEW OF WORKSHOP FRONT ELEVATION, POTTING SHED, EXISTING SCREEN PORCH ON LEFT



VIEW FROM INSIDE SCREEN PORCH LOOKING AT REAR WORKSHOP



RIGHT SIDE ELEVATION OF WORKSHOP FROM NEIGHBORS YARD



VIEW REAR YARD, 6'4" H EXISTING FENCE, LEFT ELEVATION WORKSHOP



BRICK PATIO IN REAR YARD TO BE REPAIRED



EXISTING FENCE ON LEFT SIDE

PRECEDENTS OF ENCLOSED PORCHES WITH SIDING - BOYLAN HEIGHTS



**PRECEDENT OF APPROVED ENCLOSED FRONT PORCH (COA-146-17-MW AND
COA-142-17 MW)**

317 S. Boylan Before



FRONT

317 S. Boylan After Enclosure of Side Porches ↓



NO CHANGE IN
IMPERVIOUS SURFACE

BUILT MASS DECREASES
BY 32 SF WITH REMOVAL
OF SHED

REPAIR EXISTING BRICK
PATIO AS REQUIRED

NEW HVAC UNIT ON
EXISTING PAD

REMOVE EXISTING 36"
WOODEN FENCE

EXISTING 25"
DBH HARDWOOD
TREES TO
REMAIN

EXISTING 6'-4" H FENCE ON
NEIGHBORING PROPERTY

EXISTING WORKSHOP

INFILL EXISTING PORCH

REMOVE 4'X8' SHED (NO FOUNDATION)

EXISTING 4" BRICK WALL TO REMAIN

REMOVE EXISTING 36" WOODEN FENCE

EXISTING HOUSE

EXISTING DRIVEWAY TO REMAIN

REMOVE EXISTING NON- ORIGINAL
CONCRETE STAIR

INSTALL FLAGSTONE PAVERS

1

ARCHITECTURAL SITE PLAN- PROPOSED

SCALE: 1" = 20'-0"

AS-0
01.31.23

914 W. Cabarrus St.
SITE PLAN

SEARS FAMILY LLC

M
MAURER
architecture
919 829 4969

NOTES

ALL DIMENSIONS TO BE VERIFIED IN FIELD.

1080 SF- EXISTING HEATED SF
210 SF- EXISTING COVERED PORCH
60 SF - EXISTING REAR PORCH (NEW MUD ROOM)

RELOCATE EXISTING BACK KITCHEN DOOR
TO MUD ROOM EXTERIOR
BUILD NEW EXTERIOR WALLS TO ENCLOSE
SCREEN PORCH FOR MUD ROOM ON
EXISTING FOUNDATION
INFILL EXST'G WINDOW W/ WOOD SIDING;
EXISTING TRIM TO REMAIN

SHADED WALLS
ARE PROPOSED
NEW PRIMARY
BATH & WIC

2X6 WALL

INSTALL NEW
FLAGSTONE
PAVERS TO
SIDEWALK

MUD

KITCHEN

FAMILY

GUEST BEDROOM

P. BATH

PRIMARY BEDRM

PARLOR/OFFICE

COV PORCH

REMOVE ALUM.
CRANKOUT WINDOW
AND RELOCATE
ORIGINAL REAR
KITCHEN WINDOW
DOUBLE-HUNG HERE

1 MAIN FLOOR PLAN-

SCALE: 1/8" = 1'-0"

914 W. Cabarrus St.

COA - PROPOSED PLAN

SD-1

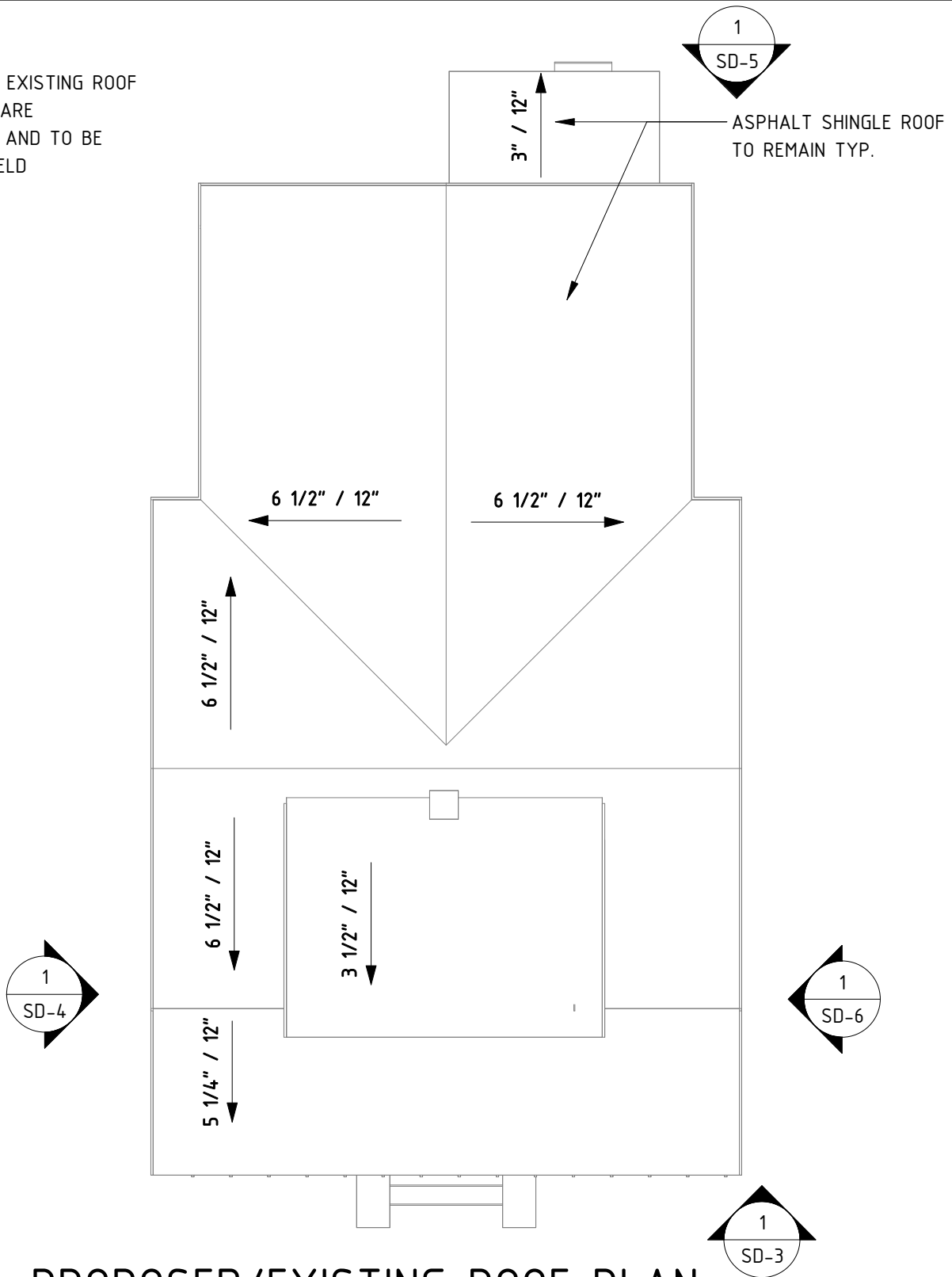
1-31-2023 REV 1: 2-22-2023

SEARS FAMILY LLC

M
MAURER
architecture
919 829 4969

NOTES:

-NO WORK ON EXISTING ROOF
-ALL SLOPES ARE
APPROXIMATE AND TO BE
VERIFIED IN FIELD



1

PROPOSED/EXISTING ROOF PLAN

SCALE: 1/8" = 1'-0"

SD-2

1-31-2023

914 W. Cabarrus St.

COA- ROOF PLAN

SEARS FAMILY LLC

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MAURER
architecture
919 829 4969

NOTE:

PATCH AND REPAIR ANY DAMAGED SIDING, TRIM, PARGING OR OTHER EXTERIOR ELEMENTS AS REQUIRED AT ALL EXTERIOR ELEVATIONS, TYP.



1

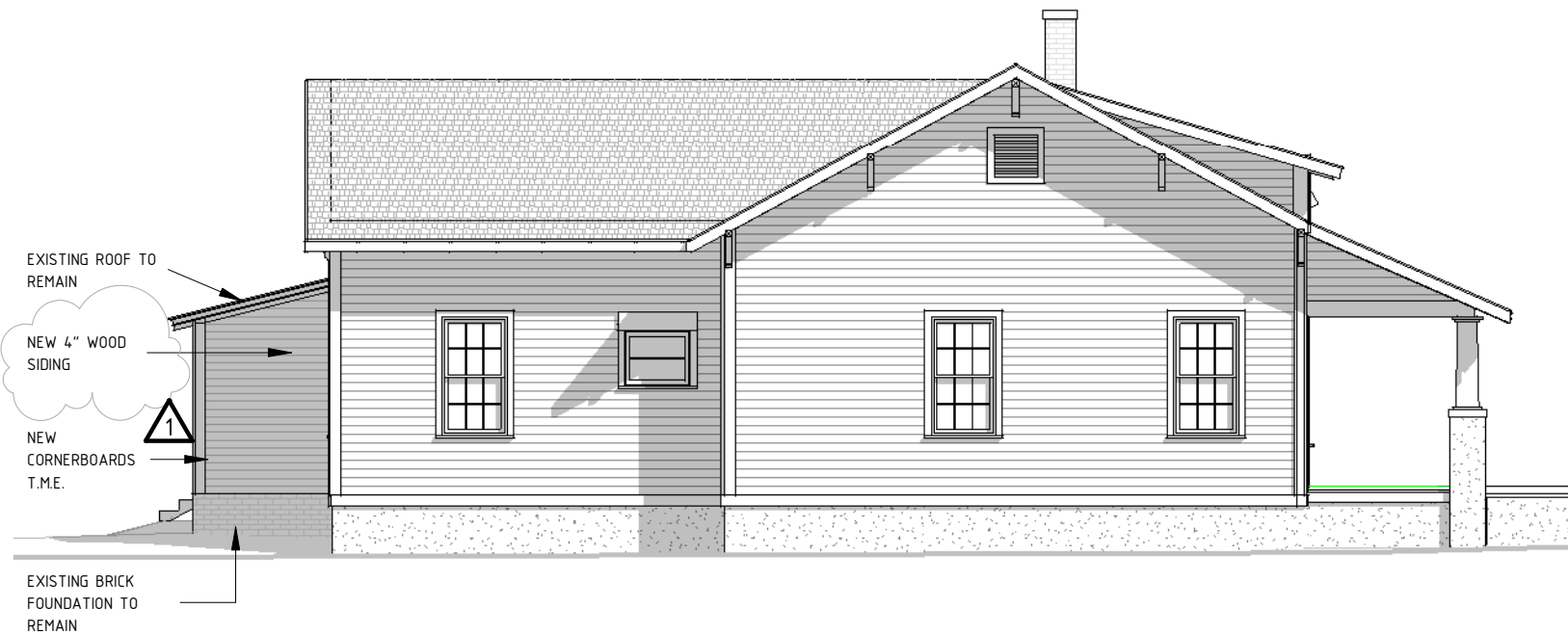
BUILDING ELEVATION - PROPOSED SOUTH SD

SCALE: 1/8" = 1'-0"

914 W. Cabarrus St.
 PROPOSED ELEVATIONS

1-31-2023

SD-3



1

BUILDING ELEVATION - PROPOSED WEST SD

SCALE: 1/8" = 1'-0"

914 W. Cabarrus St.
PROPOSED ELEVATIONS

REV 1: 2-22-2023

1-31-2023

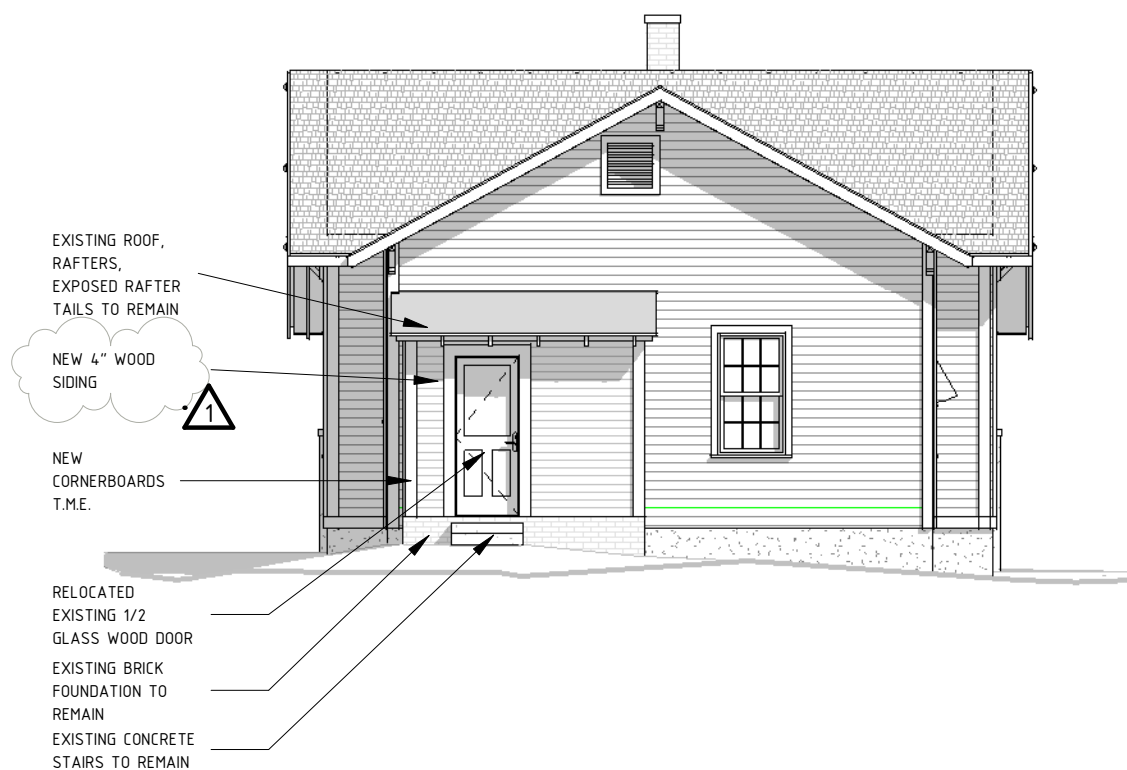
SD-4

914 W. Cabarrus St.
PROPOSED ELEVATIONS

REV 1: 2-22-2023

1-31-2023

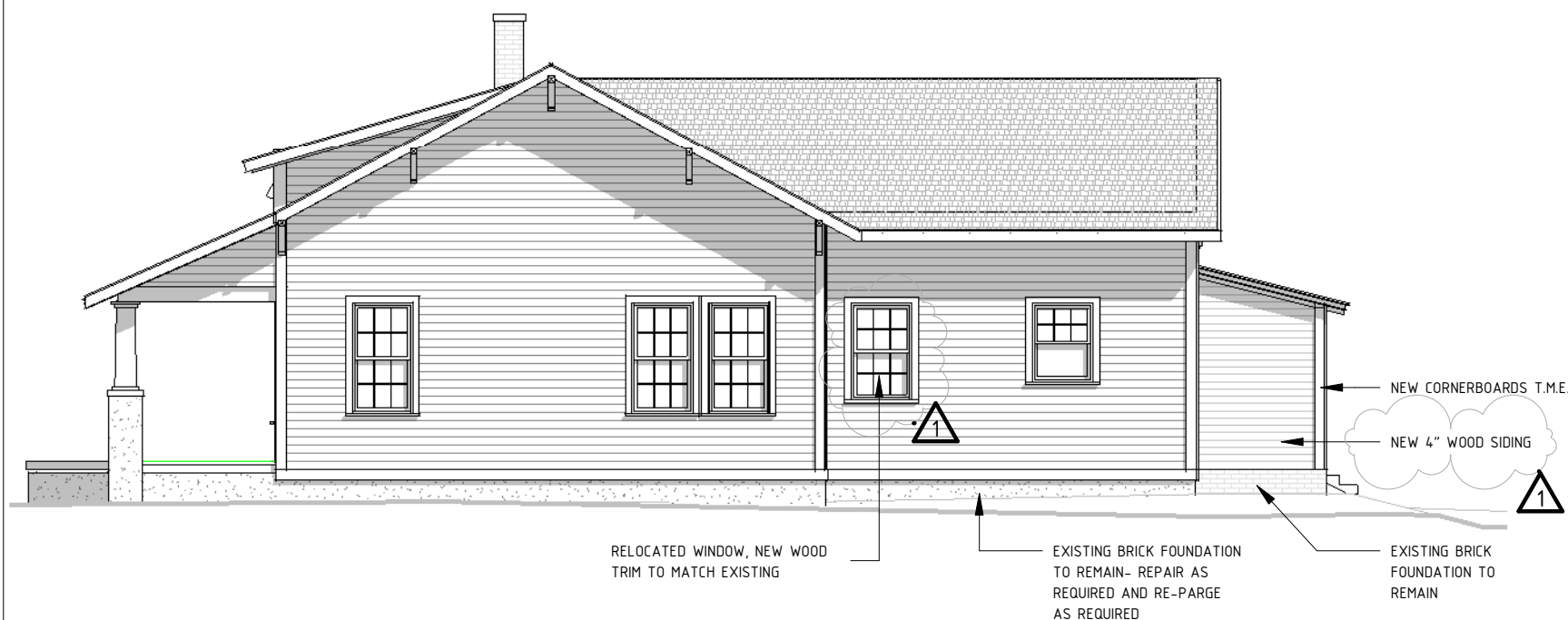
SD-5



1

BUILDING ELEVATION - PROPOSED NORTH SD

SCALE: 1/8" = 1'-0"



914 W. Cabarrus St.
PROPOSED ELEVATIONS

REV 1: 2-22-2023
1-31-2023

SD-6

1

BUILDING ELEVATION - PROPOSED EAST SD

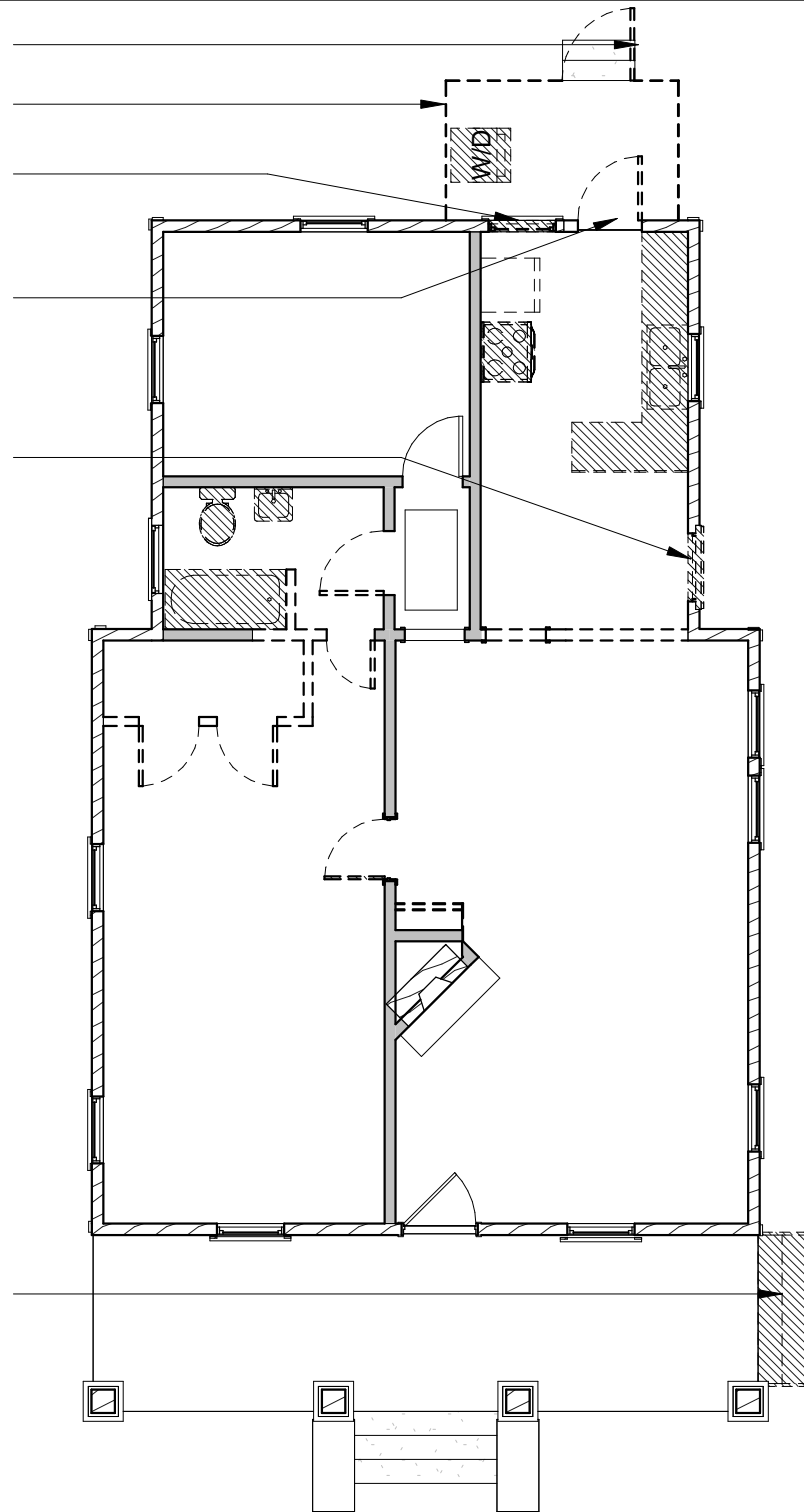
SCALE: 1/8" = 1'-0"

REMOVE SCREEN
DOOR
REMOVE VERTICAL
SIDING AND
SCREENING
REMOVE WINDOW-
STORE IN CELLAR

REMOVE DOOR AND
RELOCATE TO MUD
ROOM

REMOVE NON-
ORIGINAL WINDOW
AND TRIM

REMOVE EXST'G
NON ORIGINAL
CONCRETE STEPS



1

EXISTING MAIN FLOOR W/ DEMO

SCALE: 1/8" = 1'-0"

914 W. Cabarrus St.

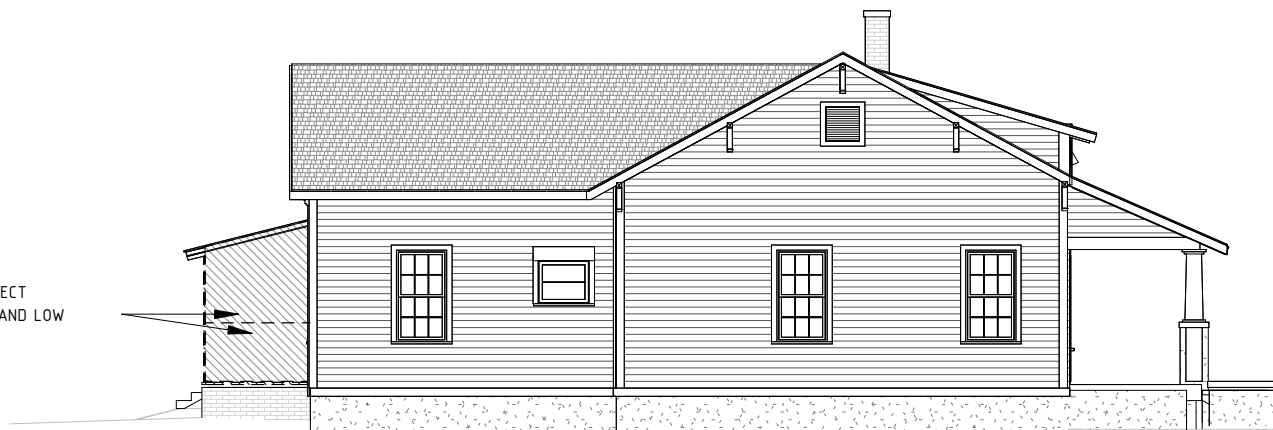
COA DEMO PLAN

SD-7
1-31-2023

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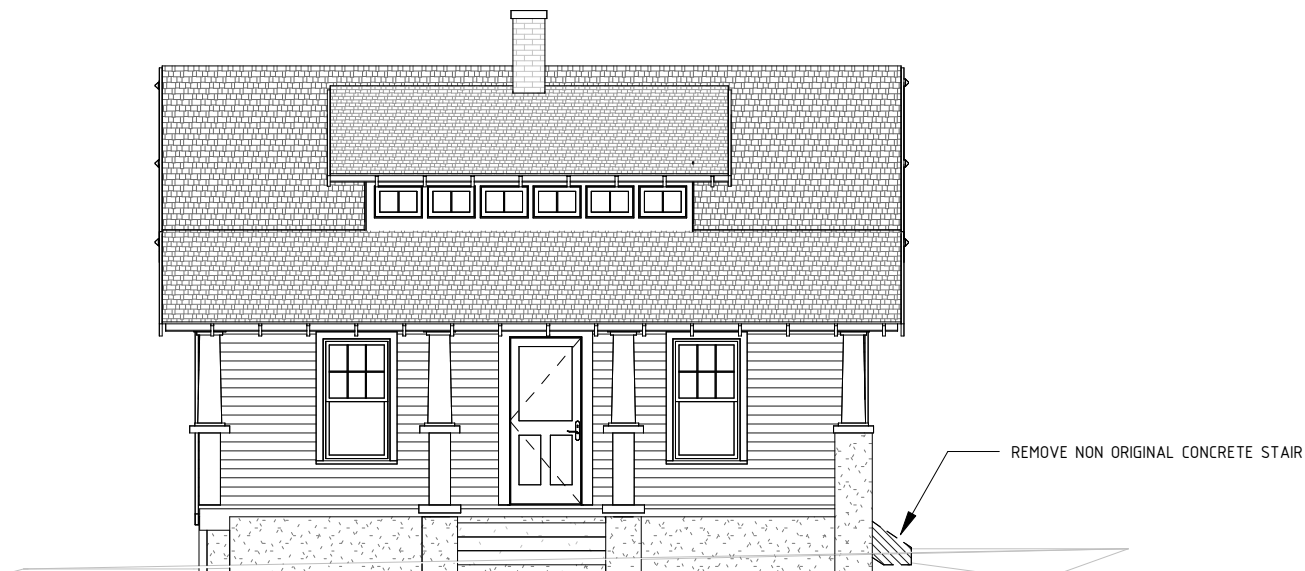
REMOVE INSECT
SCREENING AND LOW
WALL



2

LEFT ELEVATION - DEMOLITION

SCALE: 3/32" = 1'-0"



1

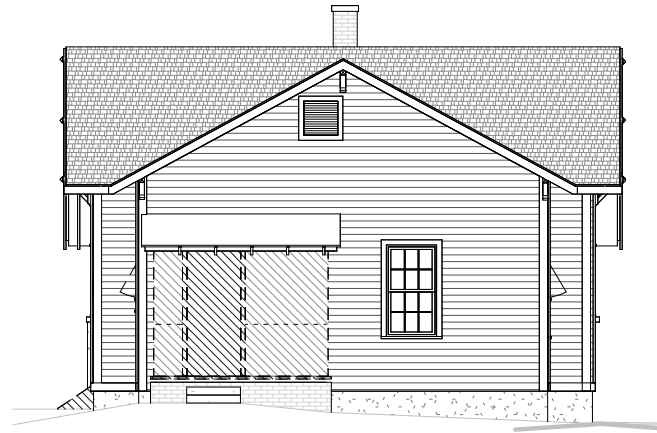
FRONT ELEVATION - DEMOLITION

SCALE: 1/8" = 1'-0"

914 W. Cabarrus St.
DEMO ELEVATIONS

01/31/23

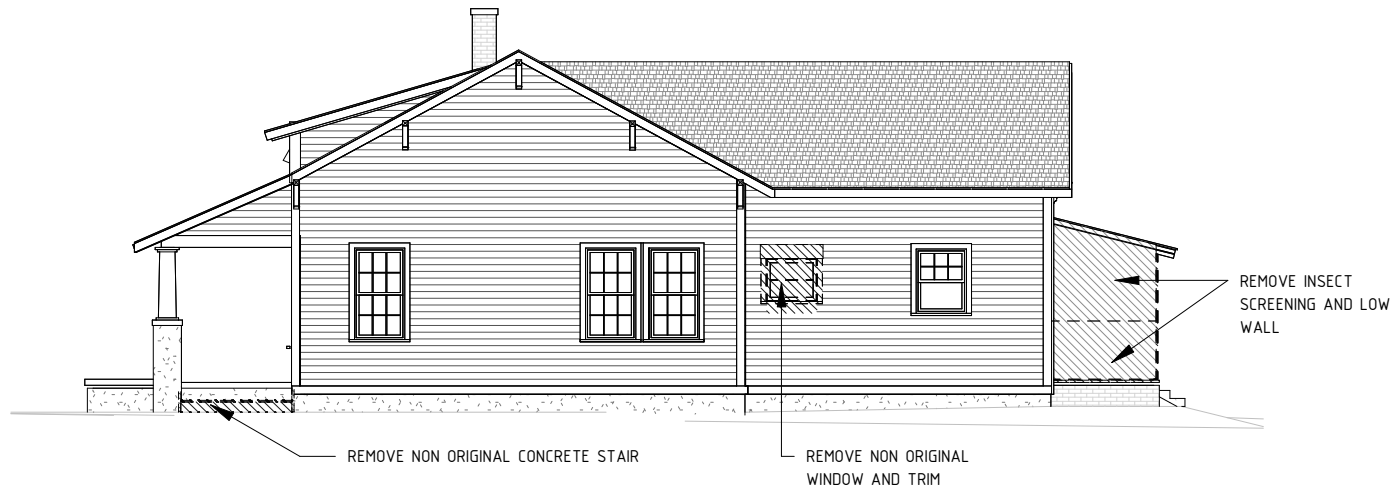
SD-8



2

NORTH ELEVATION - DEMOLITION

SCALE: 3/32" = 1'-0"



1

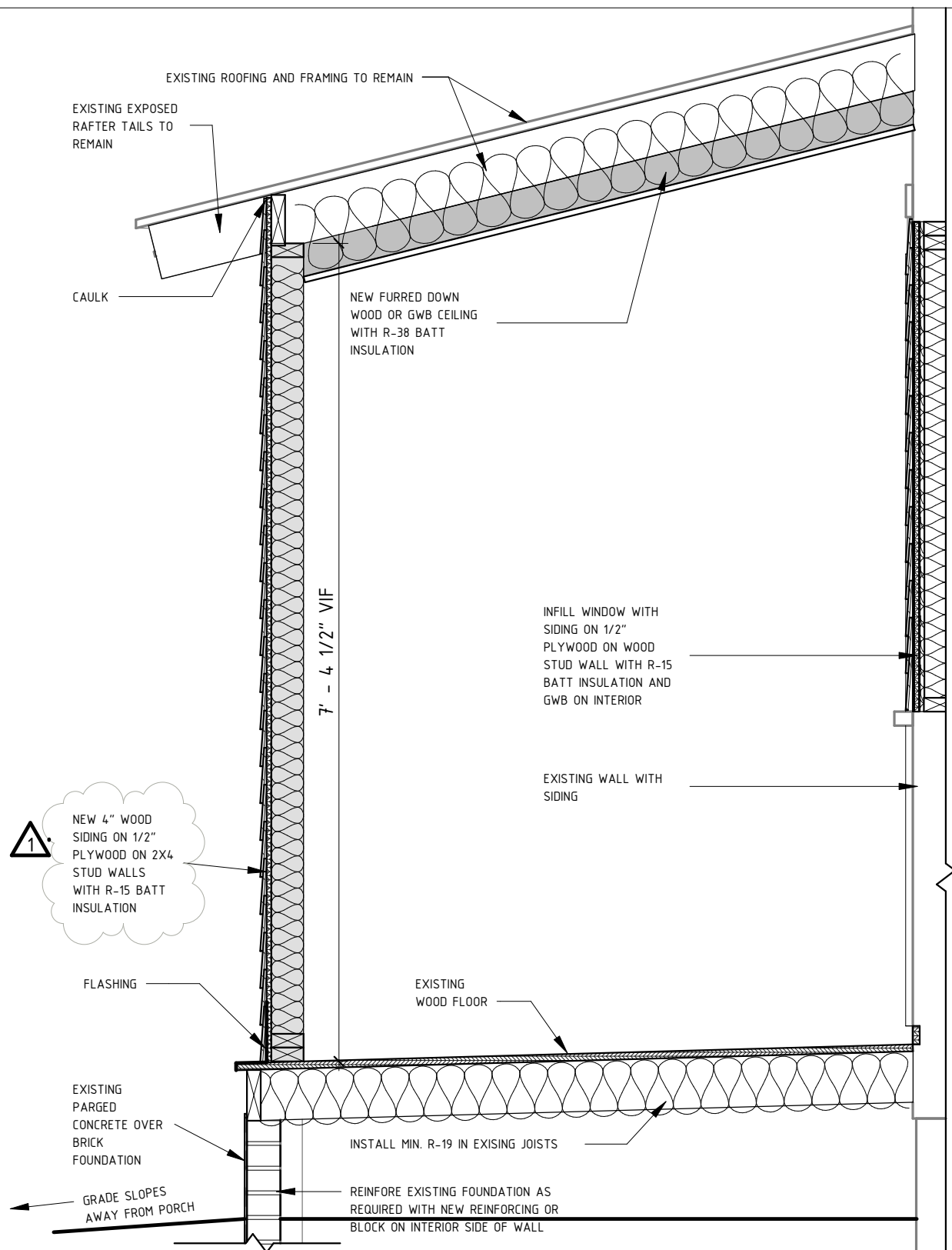
EAST ELEVATION - DEMOLITION

SCALE: 3/32" = 1'-0"

914 W. Cabarrus St.
DEMO ELEVATIONS

01/31/23

SD-9



914 W. Cabarrus St.

SD-20

REAR PORCH DETAIL

01/31/23 REV 1: 2-22-2023

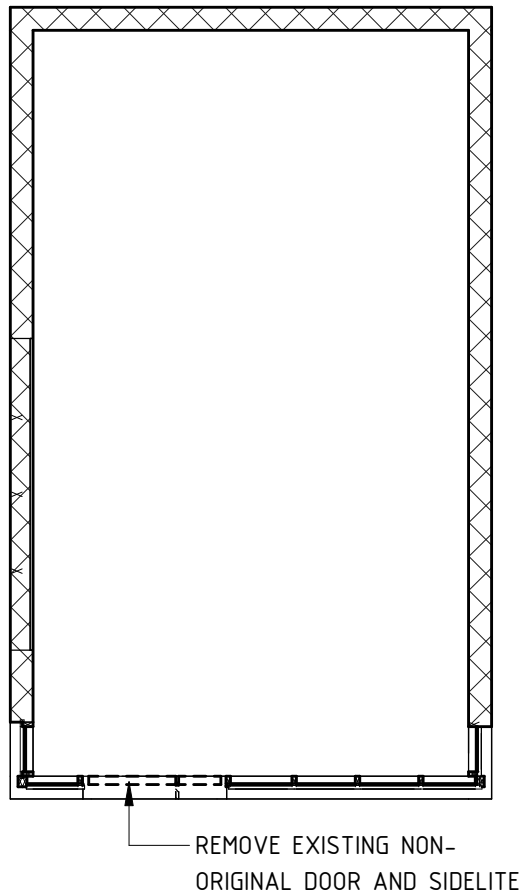
SEARS FAMILY LLC

M
MAURER
architecture
919 829 4969

NOTES

· ALL DIMENSIONS TO BE VERIFIED IN FIELD.

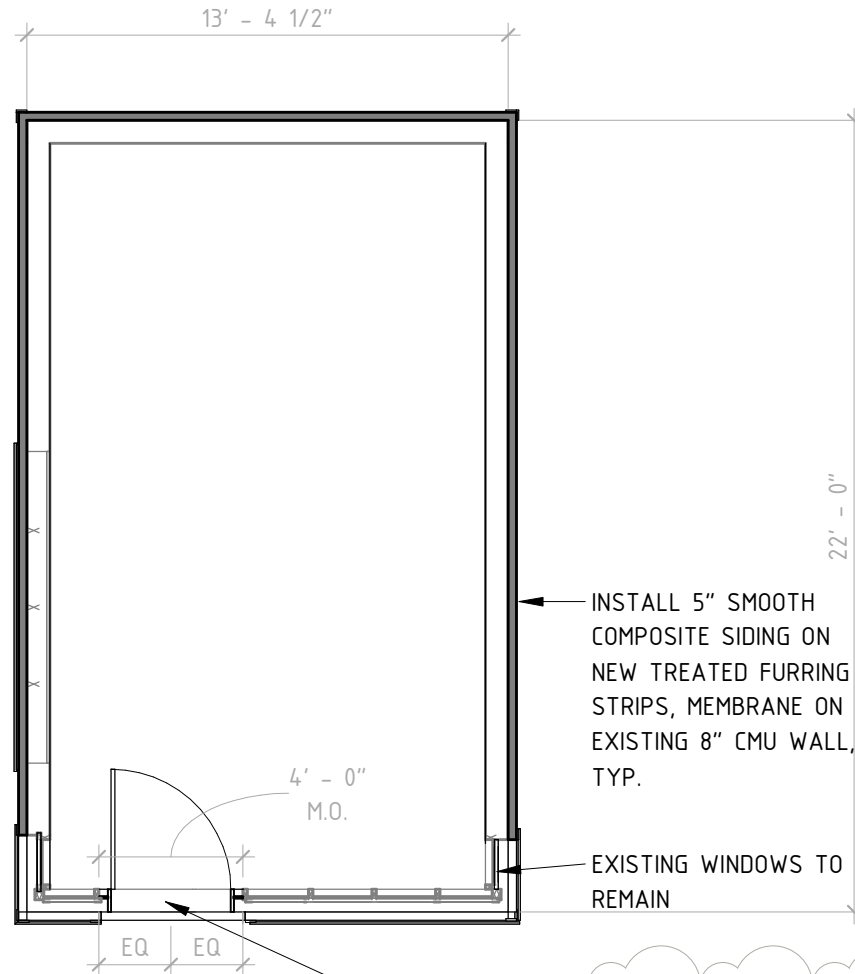
TOTAL SF: 294 SF EXISTING



2

FLOOR PLAN- DEMO

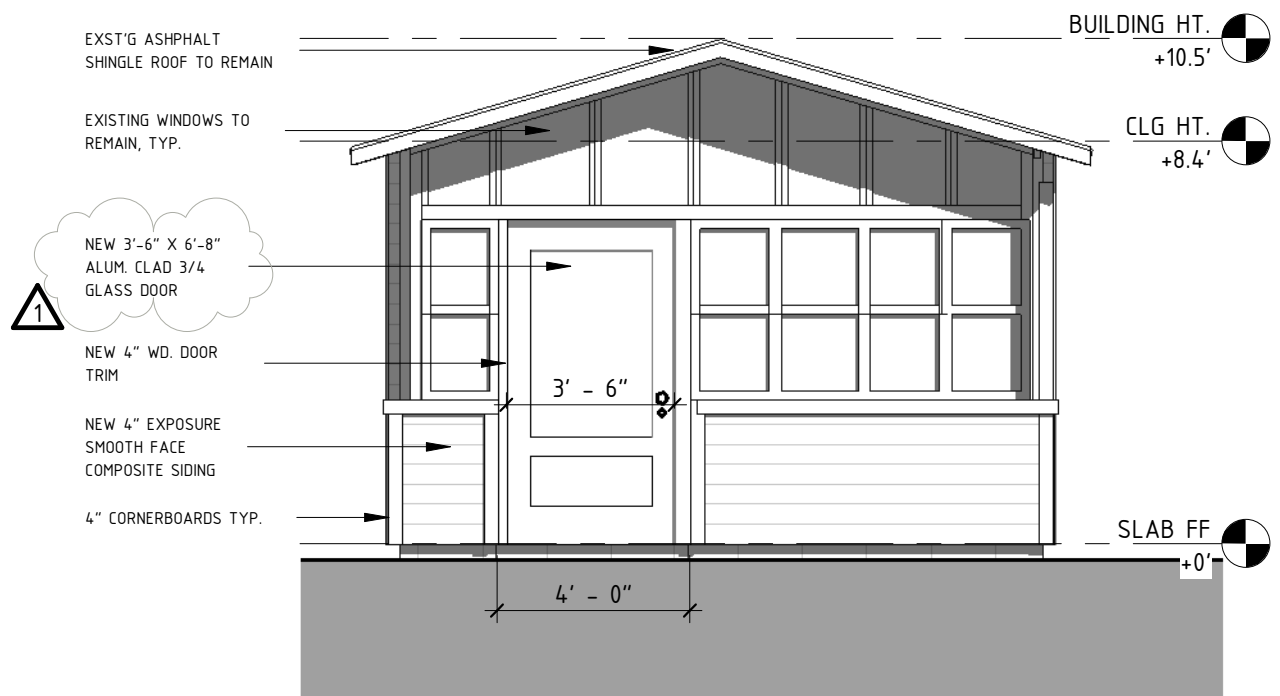
SCALE: 3/16" = 1'-0"



1

PROPOSED PLAN

SCALE: 3/16" = 1'-0"



1

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

914 W. Cabarrus WORKSHOP

SD-22

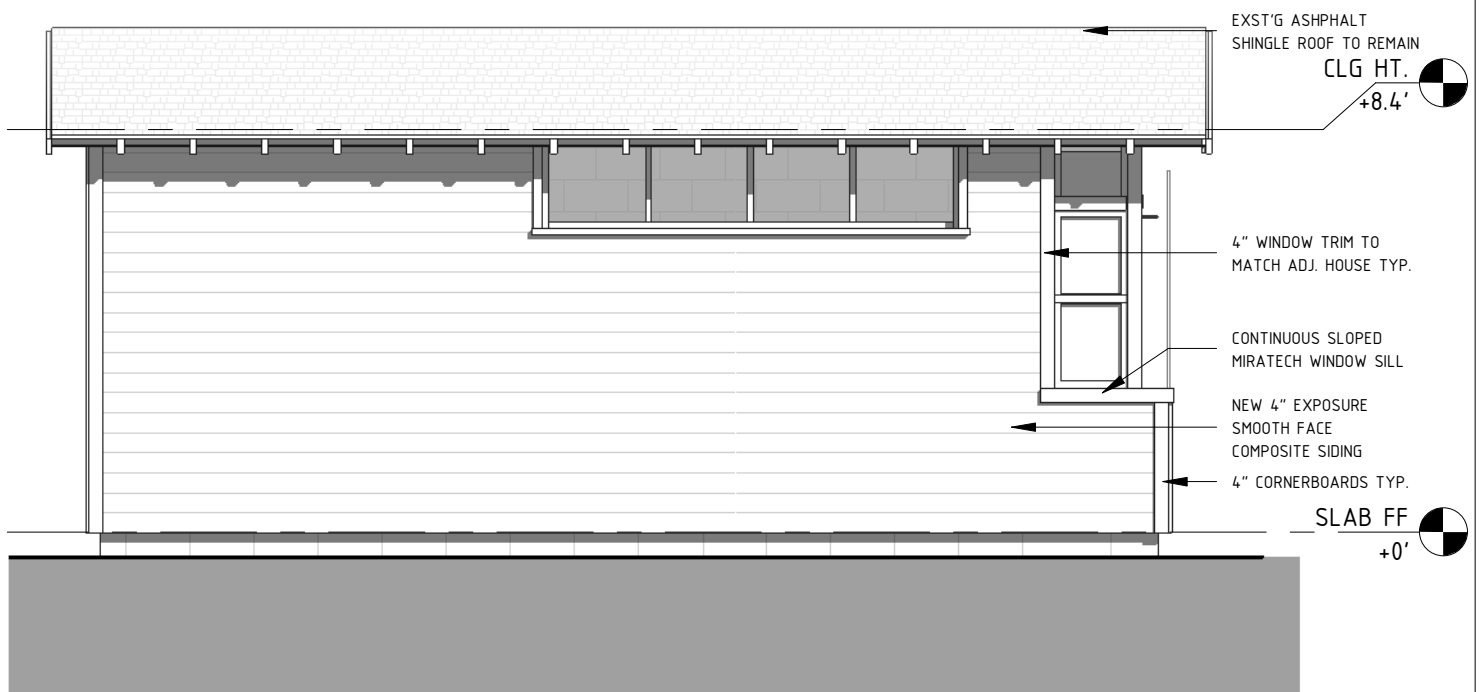
PROPOSED ELEVATIONS

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1/25/2023

REV 1: 2-22-2023



1

WEST ELEVATION

SCALE: 1/4" = 1'-0"

SD-23

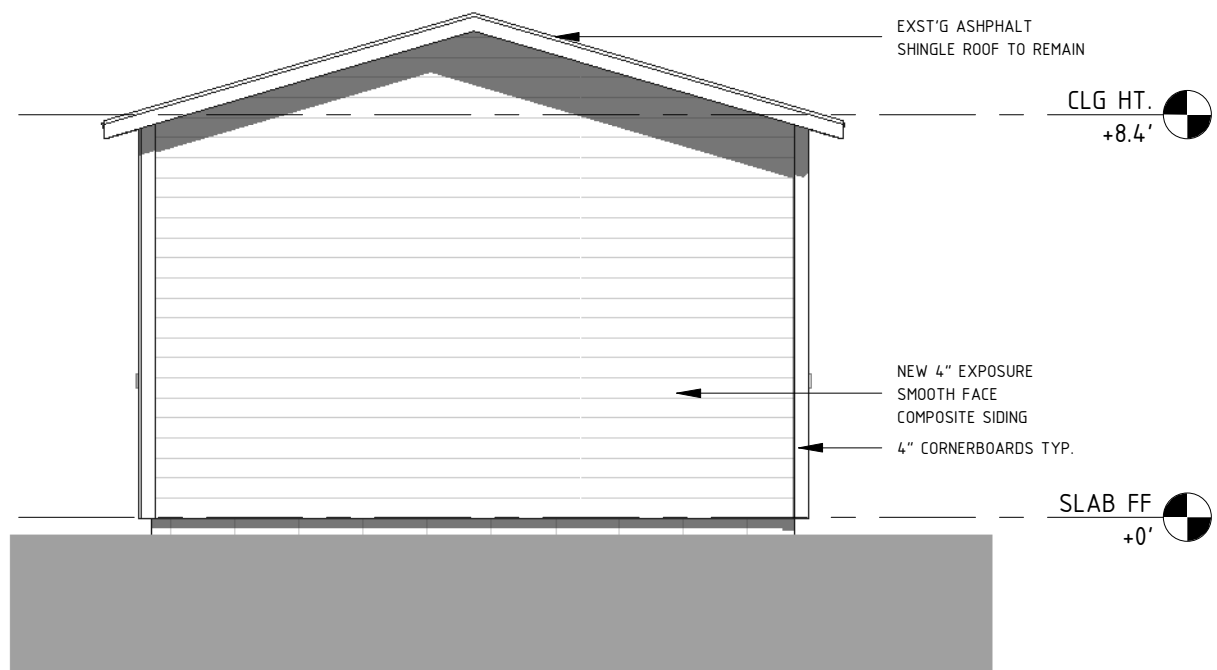
1/25/2023

914 W. Cabarrus WORKSHOP

PROPOSED ELEVATIONS

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1

NORTH ELEVATION

SCALE: 1/4" = 1'-0"

SD-24
1/25/2023

914 W. Cabarrus WORKSHOP PROPOSED ELEVATIONS

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EXST'G ASPHALT SHINGLE
ROOF TO REMAIN

CLG HT.
+8.4'

EXST'G WINDOWS TO REMAIN,
TYP.

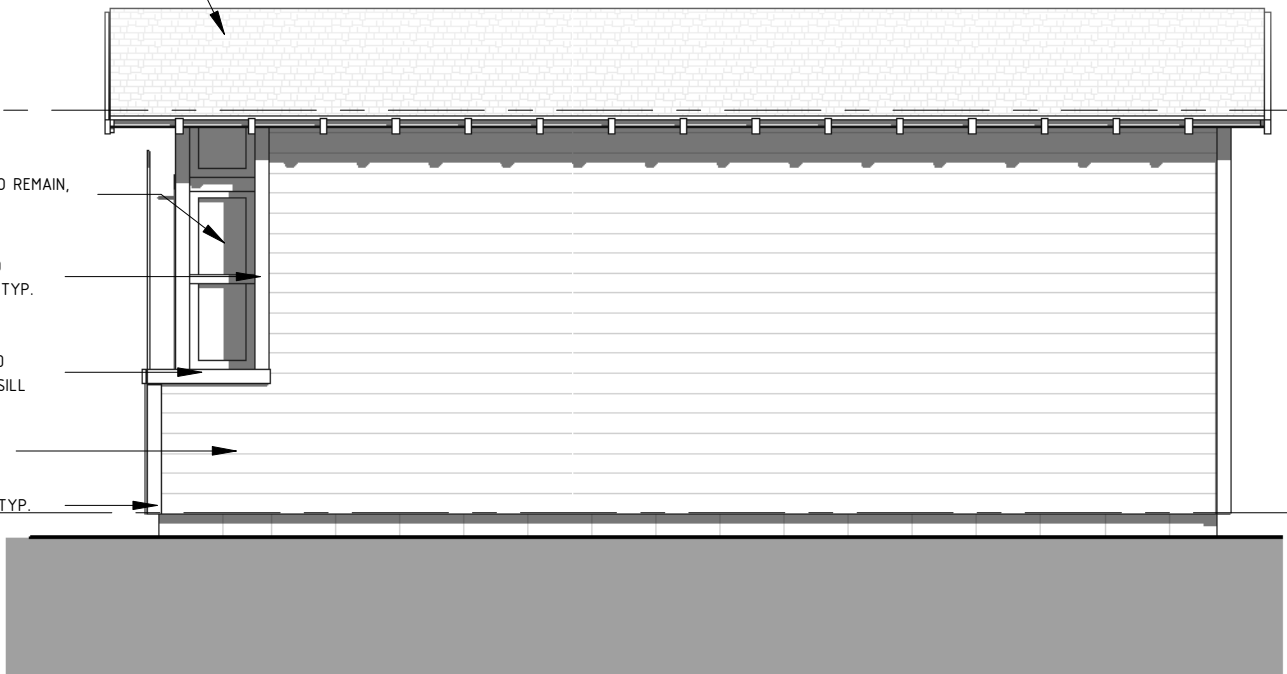
4" WINDOW TRIM TO
MATCH ADJ. HOUSE TYP.

CONTINUOUS SLOPED
MIRATECH WINDOW SILL

NEW 4" EXPOSURE
SMOOTH FACE
COMPOSITE SIDING

4" CORNERBOARDS TYP.

SLAB FF
+0'



1 EAST ELEVATION

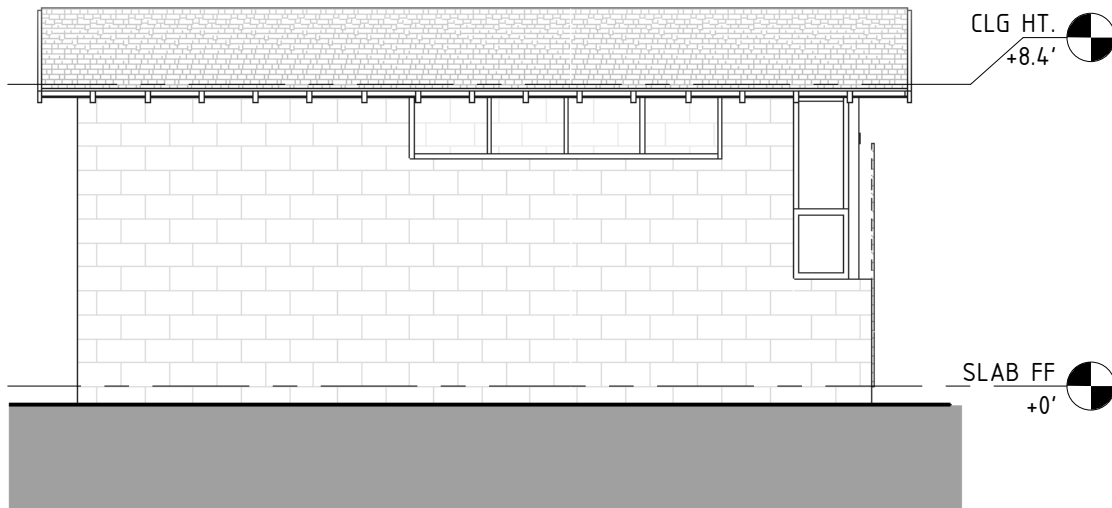
SCALE: 1/4" = 1'-0"

SD-25
1/25/2023

914 W. Cabarrus WORKSHOP
PROPOSED ELEVATIONS

SEARS FAMILY LLC

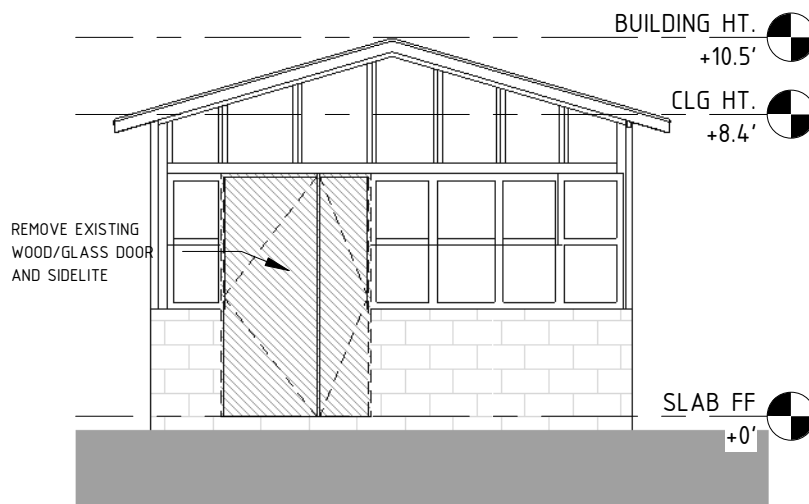
M
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architecture
919 829 4969



2

WEST ELEVATION DEMO

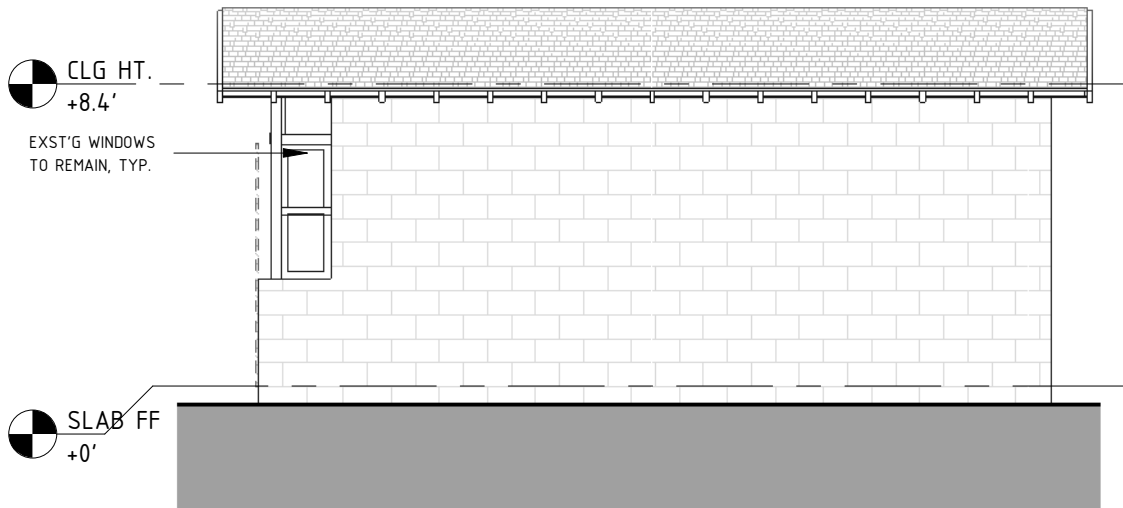
SCALE: 3/16" = 1'-0"



1

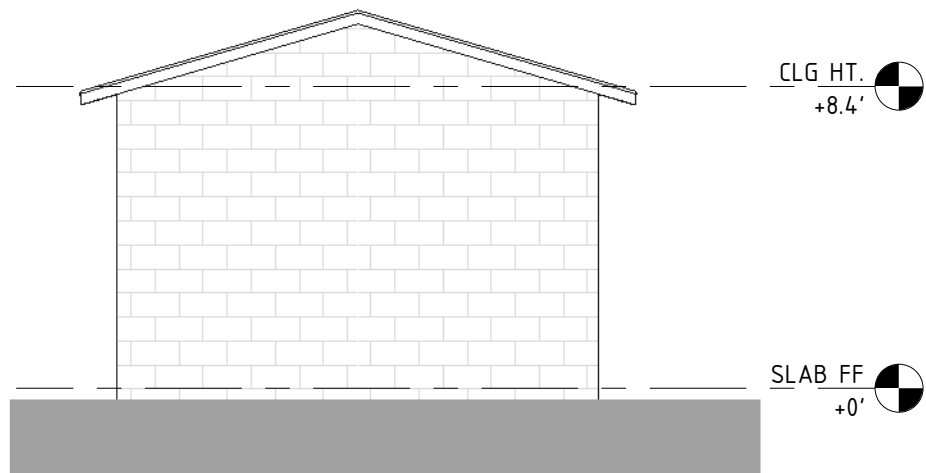
SOUTH ELEVATION DEMO

SCALE: 3/16" = 1'-0"



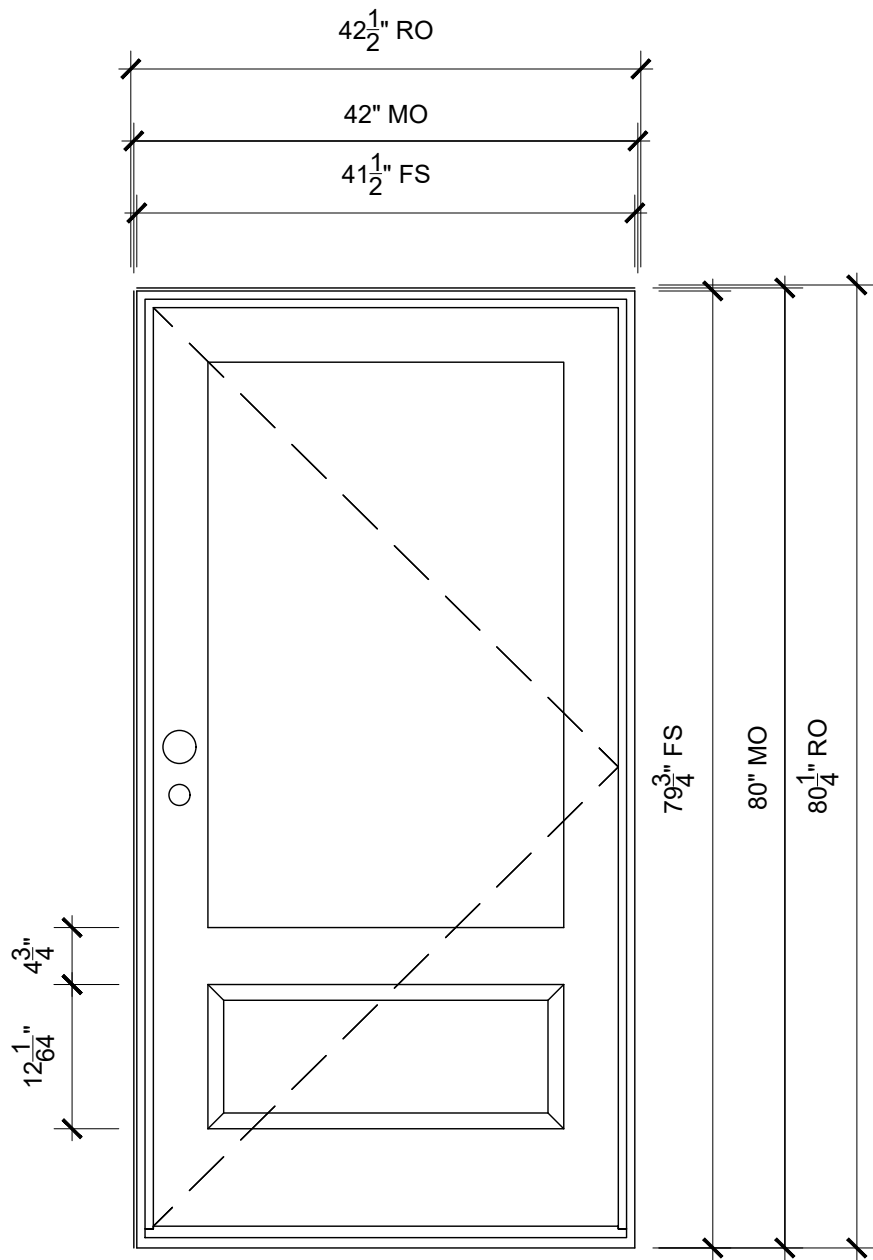
2 EAST ELEVATION DEMO

SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION DEMO

SCALE: 3/16" = 1'-0"



A
SCALE: 3/4" = 1'-0"

914 W. Cabarrus WORKSHOP

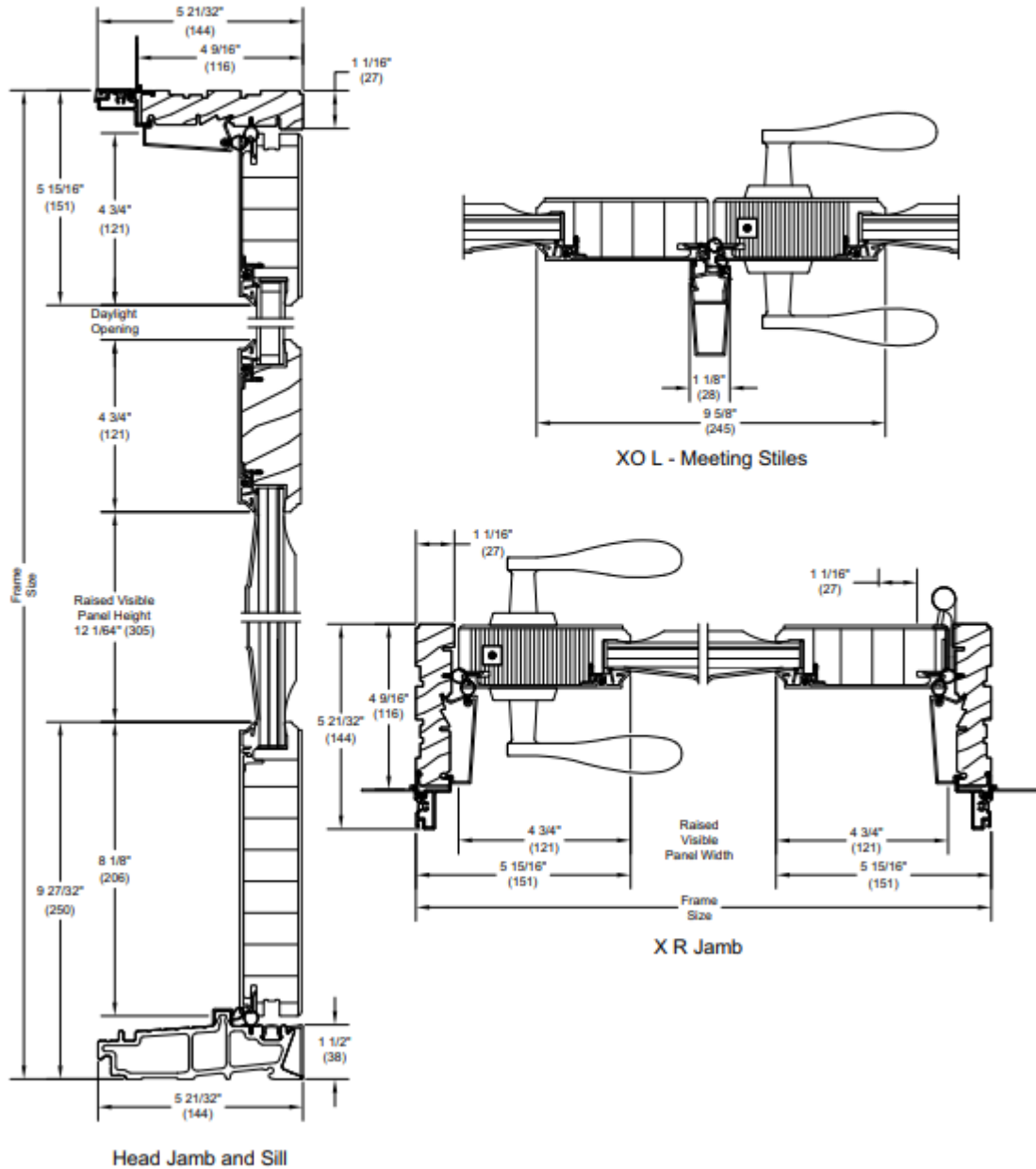


ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
Before ordering the Marvin products illustrated within these shop drawings, a copy of these drawings accompanied by an approved signature of the purchaser must be returned to the Architectural Division at Marvin Windows & Doors, P.O. Box 100, Warroad, Minnesota 56763. If the Marvin products included herein are ordered without reference to the approved shop drawings, Marvin Windows and Doors assumes no responsibility in guaranteeing product coordination with the drawings.

PROJ/JOB: Maurer Architecture / B Tate - Historic Replacement Door
DIST/DEALER: MARVIN WINDOWS AND DOORS
DRAWN: CHERYL MCRAE
QUOTE#: QFC475M PK VER: 0003.18.00 CREATED: 01/31/2023 REVISION:

Inswing Section Details: Raised Panel Placement

Scale: 3" = 1' 0"



NOTE: Illustrated with 1 3/4" panels, but also available with 2 1/4" panel product.
Available with IZ3.