



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Remove existing shingle and standing seam metal roofs; install standing seam metal roofs; replace foundation wall; replace concrete front steps; remove side screen door

*Beyond this expiration date, NC Session Law 2021-03 grants an extension to all valid development permits until 150-days after NC Executive Order 116 is rescinded.

616 Wills Forest St

Address

Glenwood-Brooklyn

Historic District

Historic Property

COA-0022-2022

Certificate Number

3/9/2022

Date of Issue

9/9/2022*

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Erin Morton

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name:

Mailing address:

City:

State:

Zip code:

Date:

Daytime phone #:

Email address:

Applicant signature:

Minor work (staff review) – one copy

Major work (COA committee review) – ten
copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of
approval

Office Use Only

Transaction #: _____

File #: _____

Fee: _____

Amount paid: _____

Received date: _____

Received by:

Property street address:

Historic district:

Historic property/Landmark name (if applicable):

Owner name:

Owner mailing address:

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address

Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: <u>29, 37, 60, 66</u>
Did you consult with staff prior to filing the application? Yes <input checked="" type="radio"/> No <input type="radio"/>	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.5	Roofs	Replace high roof shingles with standing seam metal roof
2.5	Roofs	Replace deteriorated existing standing seam metal on low roof
2.2	Masonry	Replace Deteriorating Existing Foundation Wall
2.8	Entrances	Replace Deteriorated Poured Concrete Front Steps

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 09/09/2022.

Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) *Erin Morton* Date 03/09/2022

ATTACHMENT #1

1704424927

615 ASSOCIATES
867 WASHINGTON ST
RALEIGH NC 27605-1255

1704435467

HESTER, WILBUR KEITH THACKER,
CYNTHIA FRANCES
911 GLENWOOD AVE
RALEIGH NC 27605-1511

1704433159

PEELER, JOHN T PEELER, TOREY C
620 WILLS FOREST ST
RALEIGH NC 27605-1530

1704436321

AJ FLETCHER FOUNDATION
909 GLENWOOD AVE
RALEIGH NC 27605-1511

1704436226

CARROLL, CARRIE VIRGINIA
205 WOODSIDE AVE
FAYETTEVILLE NC 28301-4835

1704435490

A J FLETCHER FOUNDATION
909 GLENWOOD AVE
RALEIGH NC 27605-1511

1704424977

BEARD, ULEYS JASPER JR
1810 WHITE OAK RD
RALEIGH NC 27608-2342

1704433200

BROMLEY, DANIEL W
622 WILLS FOREST ST
RALEIGH NC 27605-1530

1704435119

WALICO, L.L.C.
101 SWIFT WIND PL
APEX NC 27539-5113

1704432648

RALEIGH CITY OF
PO BOX 590
RALEIGH NC 27602-0590

1704436221

EAST COAST LLC
903 GLENWOOD AVE
RALEIGH NC 27605-1511

1704433032

ALMEKINDER, JENNIFER LISA
619 WILLS FOREST ST
RALEIGH NC 27605-1529

1704436115

BYRD, STEVEN L
1714 BROOKS AVE
RALEIGH NC 27607-6618

1704434109

HARRELL, MICHAEL CHAD HARRELL,
CATHERINE NIXON
618 WILLS FOREST ST
RALEIGH NC 27605-1530

1704435094

TRIGOSO, FERNANDO A TRIGOSO,
JULIANA EVE
611 WILLS FOREST ST
RALEIGH NC 27605-1529

1704434159

PATEL, JITEN PATEL, ANJALI V
314 MONTELENA PL
CARY NC 27513-8456

1704423986

TURNBULL, SHAWN HUNTER TURNBULL,
DAREN JOHNSON
617 WILLS FOREST ST
RALEIGH NC 27605-1529

616 Wills Forest Street

The application consists of a full set of architectural drawings that depict the proposed changes. The design includes an addition to the rear of the house as well as a basement addition. In consultation with RHDC, the design incorporates relatively minor changes to the front 50% of the house.

Morton, Erin

From: Jiten Patel <jitenrock@gmail.com>
Sent: Wednesday, March 2, 2022 4:52 PM
To: Morton, Erin
Cc: Kinane, Collette
Subject: Re: COA-0022-2022 (616 Wills Forest St) - Minor Work
Attachments: Front of House Pictures.pdf; Foundation Wall & Side Entrance Pics.pdf; Patel Renovation - For COA Approval.pdf; Potential Check Walls.pdf

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you verify that the attachment and content are safe. If you believe this email is suspicious, please click the 'Phish Alert' link in the banner to report this message.

Hi Erin - Hope you are doing well. Please see responses to each of the comments below. Thanks, Jiten.

Overall photo of the front of the house from the street.

- Please see attached.

Detail photos of the existing side door & exterior foundation area

- Please find pictures of the foundation wall attached. I have taken both exterior pictures as well as pictures from the crawlspace. I have also included a picture of the side door - however, we are going to change the original plan such that the door is retained (and made inoperable). We would like to remove the screendoor that looks like it was a contemporary addition. However, if this is going to require a separate submission then we can leave it 'as is'.

Format the drawing set for: printing at 11x17" with details at a legible scale. Include a visual scale. Sheet one elevation or plan per page.

- Drawing format has been modified per this request. Revised drawing package is attached.

Provide scaled existing and proposed east elevation dwgs showing the existing door and proposed window with siding infilled

- The elevation drawings is included in the revised drawing package. However, as mentioned above, the door will now be retained and made inoperable.

Provide manufacturer's window specifications, including section details and muntin profile. Confirm all-wood materials and that the window will match the E1 1st floor window to the south.

- As the door will be retained, this item is N/A

Provide standing seam metal roof specifications. The pan width of the existing porch roof should be matched. Staff can approve 15-20" flat pans (no striations), about 1" vertical seams, and a very low profile ridge cap if applicable.

- We are currently working with a roofing contractor and will have cut sheets over to you shortly. Regardless, we will ensure that the proposed SS metal roof has 15-20" flat pans (no striations), about 1" vertical seams, and a very low profile ridge cap.

Confirm that beyond leveling risers and unpainted finish, the front concrete step configuration and cheek wall design will be matched? **03/09/2022 - Applicant amended work request to replace the existing cheek wall design in kind**

- Confirmed that the steps will match existing as closely as possible. ~~I wanted to see if we could modify the cheek wall slightly so that it matches other houses in the area. I have attached a few pictures of other houses in Glenwood Brooklyn. If this can be approved via minor COA, we may proceed. However, if it requires a major submission, we will definitely have the new cheek wall match the old as closely as possible. Our plans were to leave the concrete unpainted.~~

Will there be a change in the material, design, or general exterior appearance of the foundation wall? If not, no COA is required.

- There will not be a change of material. The existing front 2/3 of the house has a CMU foundation wall and will be replaced with a CMU foundation wall. It is currently painted maroon red. We are not yet decided on the future color.

Please let me know if you have any questions.

Best REgards,

Jiten Patel

On Tue, Feb 22, 2022 at 4:50 PM, Erin Morton <Erin.Morton@raleighnc.gov> wrote:

Jiten,

Thank you for submitting a minor work for 616 Wills Forest St. To consider the application complete, please provide the materials listed below. Please let us know if you have any questions. Thank you!

- Overall photo of the front of the house from the street
- Detail photos of the existing side door & exterior foundation area
- Format the drawing set for: printing at 11x17" with details at a legible scale. Include a visual scale. Sheet one elevation or plan per page.
- Provide scaled existing and proposed east elevation dwgs showing the existing door and proposed window with siding infilled
- Provide manufacturer's window specifications, including section details and muntin profile. Confirm all-wood materials and that the window will match the E1 1st floor window to the south.
- Provide standing seam metal roof specifications. The pan width of the existing porch roof should be matched. Staff can approve 15-20" flat pans (no striations), about 1" vertical seams, and a very low profile ridge cap if applicable.
- Confirm that beyond leveling risers and unpainted finish, the front concrete step configuration and cheek wall design will be matched?
- Will there be a change in the material, design, or general exterior appearance of the foundation wall? If not, no COA is required.

Best,

Erin

Erin Morton

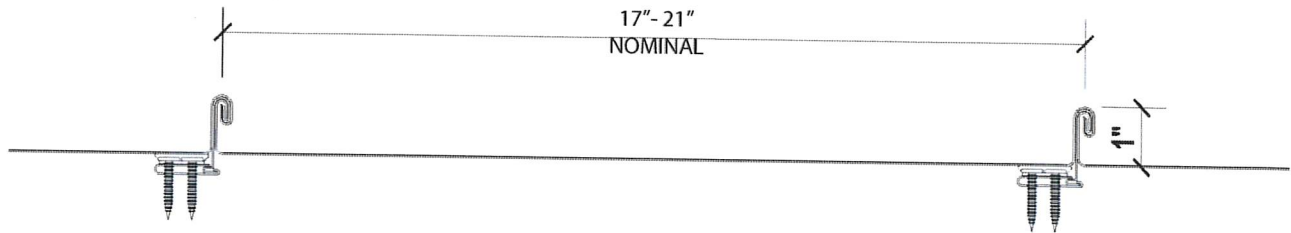
ML100

1" Mechanical Lock Panel

PRODUCT DESCRIPTION

- Classic Low Profile Architectural Standing Seam Metal Roofing System
- Ideal for residential and light commercial applications
- Specially designed clip allows thermal movement
- Tested panel for rated assemblies achieves higher performance levels
- Mechanical locked seam for weather tight performance
- Excellent for roofing installation requiring exotic metals such as copper and terne

1" Mechanical Lock Panel; max width 17.25"; Double Lock 180 Degree Seam fastened with (2) #10-12 x 1" long No. 2 Phillips drive pancake head, wood screws; One Part Clip Assembly ML100R Clip fastening metal to panel to min. 15/32" plywood decking; maximum 24" clip spacing; Panel Rollformer: Schlebach Quadro-Plus Rollformer; Maximum Allowable Roof Uplift Pressure (steel): -71.0 psf Main Field @ 24" Clip Spacing; Perimeter and Corner Pressure -138.5 psf @ 6" Clip Spacing; Oil Canning is a characteristic of light gauge architectural metals and is not a flaw and therefore is not a cause for rejection.

**SENTRIGARD**
METAL ROOFING SYSTEMSwww.sentrigard.com

DESIGN INFORMATION

- Minimum Slope = 3":12"
- Actual Panel Width: 17.25" from 20" Coil
- Actual Panel Width: 21.25" from 24" Coil
- Solid Substrate
- Structural, Hydrostatic Panel
- Mechanically Seamed in Field
- 24 and 26 Gauge Galvalume®
- .032" Aluminum
- 16oz Copper
- 30 Year Finish Warranty on Kynar 500 Finish
- Underlayment Required

MIAMI-DADE COUNTY
APPROVED

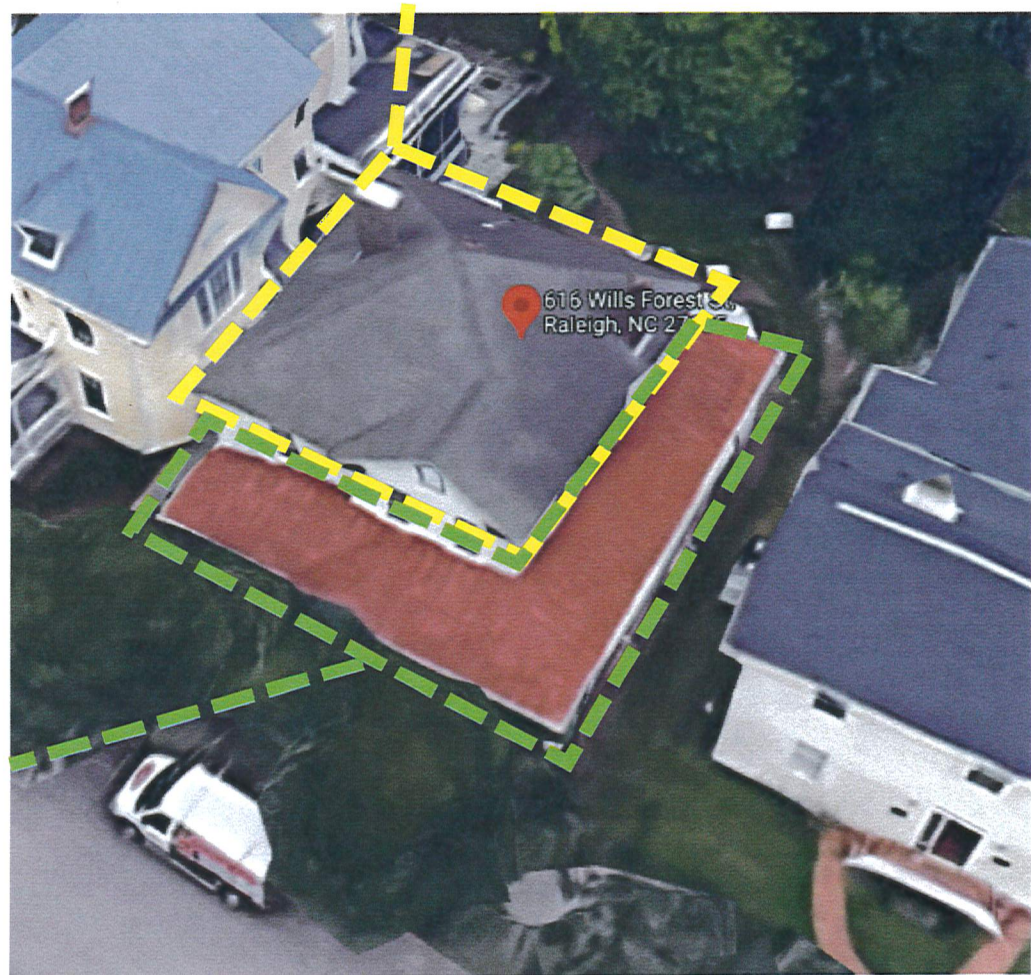
TEST REPORT SUMMARY

- Miami Dade Building Code Compliance Approved
- Florida Building Code 2020
- Chapter 15: Roof Assemblies
- Section 1504.3.2; 1505.3; 1507.4
- Chapter 16: Structural Design
- Chapter 22: Steel; Section 2209 Cold Form Steel
- Chapter 23: Wood
- Testing per TAS 125-03 Std. Requirements for Metal Roof Systems
- Test Assembly #6 by Underwriters Laboratory for:
 - a) UL 580-94, per FBC, Uplift Resistance of Roof Assemblies
 - b) UL 1897-98, per FBC, Uplift Tests for Roof Covering Systems
- Testing per TAS 100 Wind Driven Rain Test
- FPA #9860.3 – HVHZ – .032" Aluminum
- FPA #9860.4 – HVHZ – 24ga
- M-D NOA #19-0722.02 - HVHZ - 24ga
- M-D NOA #19-0722.01 - HVHZ - .032" Aluminum



2.5 The existing main (high) roof has asphalt shingles. The shingles are in poor condition and require replacement.

The roof will be replaced with a standing seam metal roof. There are other standing seam metal roofs in the neighborhood such as the adjacent house with the light grey metal roof



2.5 The existing standing seam metal roof on the lower roof line is in poor condition and requires replacement. See pictures on subsequent sheet

2.5 Roofs – Replace Deteriorated Existing Standing Seam Metal on Low Roof



2.5 Roofs – Replace Deteriorated Existing Standing Seam Metal on Low Roof



2.5 Roofs – Replace Deteriorated Existing Standing Seam Metal on Low Roof



2.2 Masonry – Replace the existing foundation wall



Foundation Wall Pictures.



Foundation Wall Pictures.



2.2 Masonry – Replace the existing foundation wall



Foundation Wall Pictures.



Foundation Wall Pictures.



2.2 Masonry – Replace the existing foundation wall



Foundation Wall Pictures from Crawlspace:

The existing foundation wall consists of CMU and brick. The brick portion (located in the rear 1/3 of the house) appears to be original to the house. However the CMU block (located on the front 2/3 of the house) appears to be recently added CMU.

This pictures shows a typical condition at the rear 1/3 of the house foundation wall.



Foundation Wall Pictures from Crawlspace:

The existing foundation wall consists of CMU and brick. The brick portion (located in the rear 1/3 of the house) appears to be original to the house. However the CMU block (located on the front 2/3 of the house) appears to be recently added CMU.

This pictures shows a typical condition at the front 2/3 of the house foundation wall.



Foundation Wall Pictures.



2.2 Replace deteriorated poured concrete front steps. Note that the riser heights are not consistent



616 WILLS FOREST STREET, RALEIGH, NC 27605 | FOR COA APPROVAL | FEBRUARY 24, 2022



1. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES.
2. DO NOT SCALE DRAWINGS. NOTIFY DESIGNER IMMEDIATELY OF ANY DISCREPANCIES.
3. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE SITE TO VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE PRIOR TO STARTING CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
5. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS, AND DETAILS.
6. FOR STRUCTURAL SPECIFICATIONS , FRAMING PLANS, FOUNDATION PLANS, ROOF FRAMING, STRUCTURAL DETAILS, AND ANY OTHER STRUCTURAL INFORMATION, REFER TO STRUCTURAL PLANS. CONTRACTOR SHALL CROSS REFERENCE STRUCTURAL INFORMATION WITH ARCHITECTURAL PLANS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION PRIOR TO CONSTRUCTION OR FABRICATION.

PROJECT NOTES

1. ALL ADDITIONAL BUILDING FOOTPRINT TO OCCUR BEHIND 50% LINE SHOWN ON DRAWINGS INDICATING THE MIDPOINT OF EXISTING BUILDING FROM FRONT TO BACK.
2. EXISTING BUILDING ENCLOSED UPON SETBACKS AREA. ALL ADDITIONAL FLOOR AREA TO OCCUR WITHIN LEGAL BUILDING AREA.
3. PROJECT GRIDLINES REFER TO EXISTING BUILDING CONDITIONS WHERE NOTED. THE DISTANCES BETWEEN THESE GRIDLINES AND THE DISTANCES TO BUILDING SETBACKS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
4. CONTRACTOR RESPONSIBLE FOR ALL TEMPORARY BRACING DESIGN TO PRESERVE STRUCTURAL INTEGRITY OF EXISTING BUILDING DURING DEMOLITION AND CONSTRUCTION. CONSULT STRUCTURAL DRAWINGS WHERE APPLICABLE.

Sheet List	
Sheet Number	Sheet Name
A-0.0	Cover and Site Plan
A-0.1	Existing / Demo Plans - First Floor
A-0.2	Existing / Demo Plans - Second Floor
A-1.0	Basement Plan
A-1.1	First Floor Plan
A-1.2	Second Floor Plan
A-1.3	Third Floor Plan
A-1.4	Roof Plan
A-3.1	Elevations - South
A-3.2	Elevations - East
A-3.2a	Elevations - East - Existing
A-3.3	Elevations - North
A-3.4	Elevations - West

PROJECT DATA Building Sections
A-6.2 Building Sections
1. LEGAL DESCRIPTION: Building Sections
STREET ADDRESS: 616 WILLS FOREST STREET, —
RALEIGH, NC 27605, Wills
PARCEL NUMBER: 1704434159
DEED BOOK 12584 PG 1487
MAP BOOK 1885 PG 70

2. SCOPE OF WORK:
RENOVATION AND ADDITION TO AN EXISTING TWO-STORY HOUSE IN GLENWOOD BROOKLYN HISTORIC DISTRICT. ADDITION INCLUDES THREE-STORY ADDITION TO BACK OF PROPERTY, ADDITION OF A FINISHED BASEMENT BELOW THE HOUSE, A POOL, AND A DECK. RENOVATIONS INCLUDE REORGANIZATION OF INTERIOR SPACE, FINISHING OF ATTIC SPACE, AND REPLACEMENT OF EXISTING DAMAGED BUILDING AREAS.

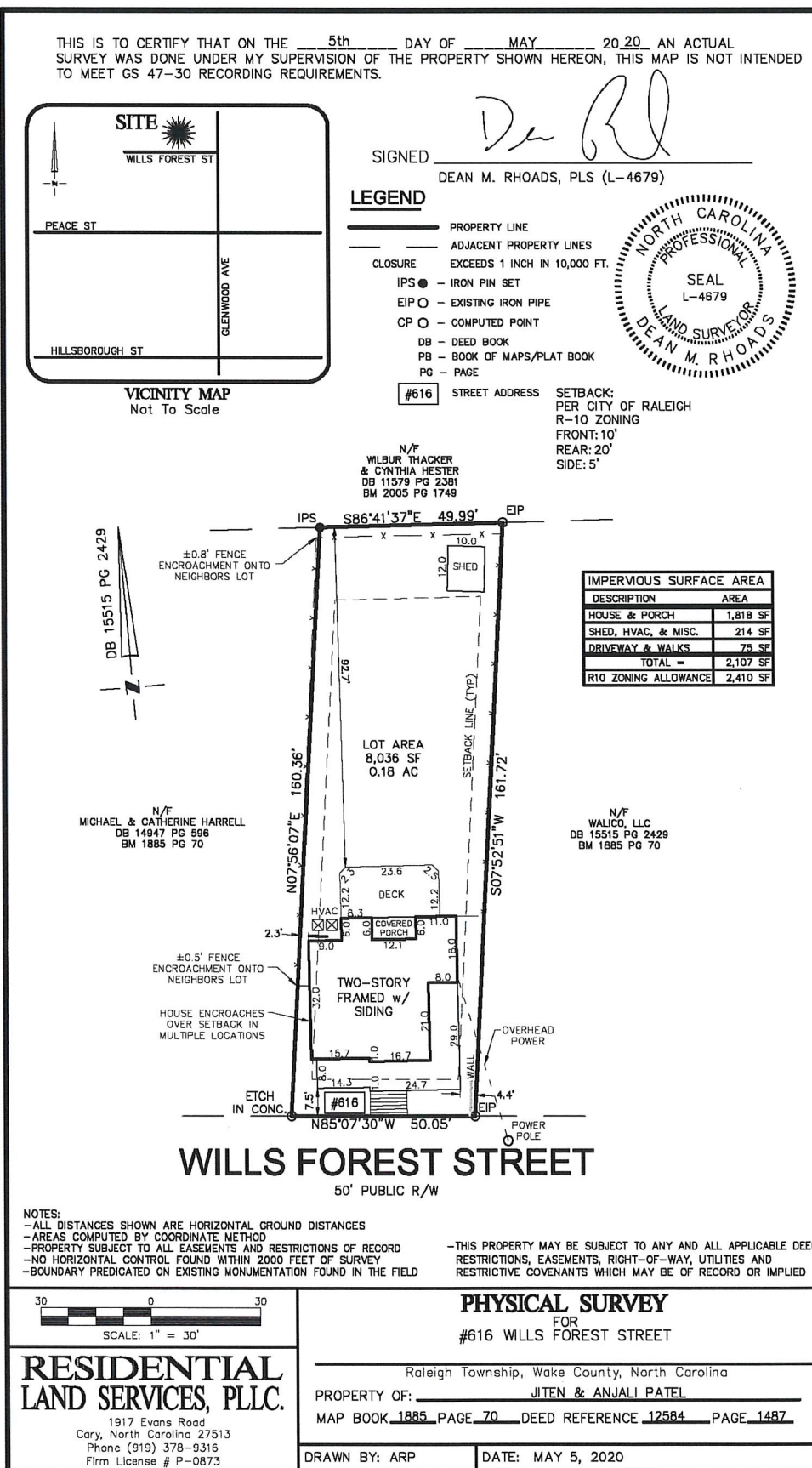
3. ZONING
R-10 SINGLE FAMILY RESIDENTIAL. GLENWOOD
BROOKLYN HISTORIC DISTRICT.
FRONT YARD SETBACK - 10'
SIDE YARD SETBACK - 5'
REAR YARD SETBACK - 20'

4. WATERSHED
N/A

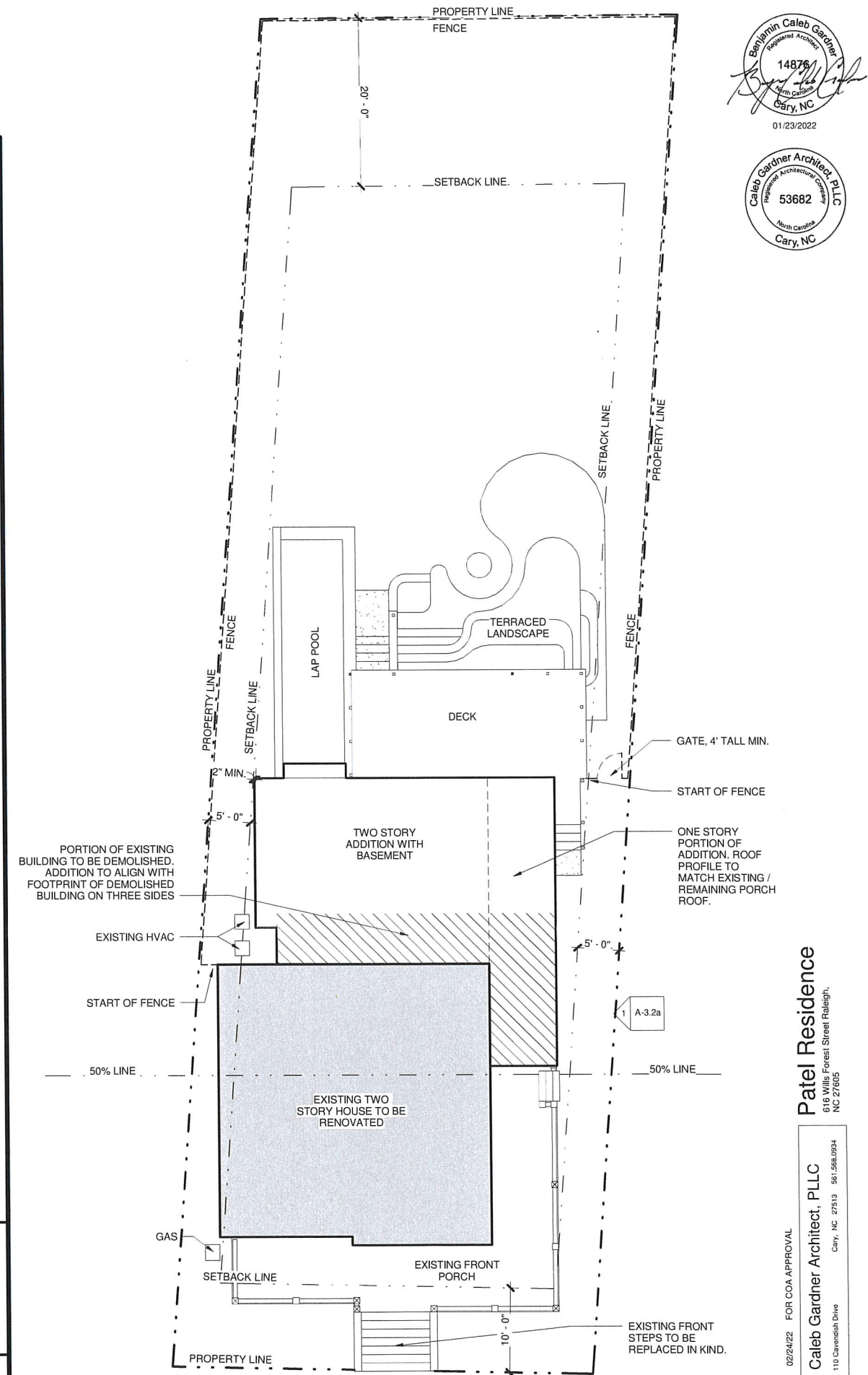
5. SITE AREA
0.18 AC. 8,036 SF

6. IMPERVIOUS SURFACE
5,224 SF ALLOWED (65% OF 8,036 SF)
3,135 SF PROPOSED

7. CLIMATE ZONE
WAKE COUNTY ZONE 4-A



REPRODUCED AT 50% SCALE



Patel Residence
616 Wills Forest Street Raleigh,
NC 27605

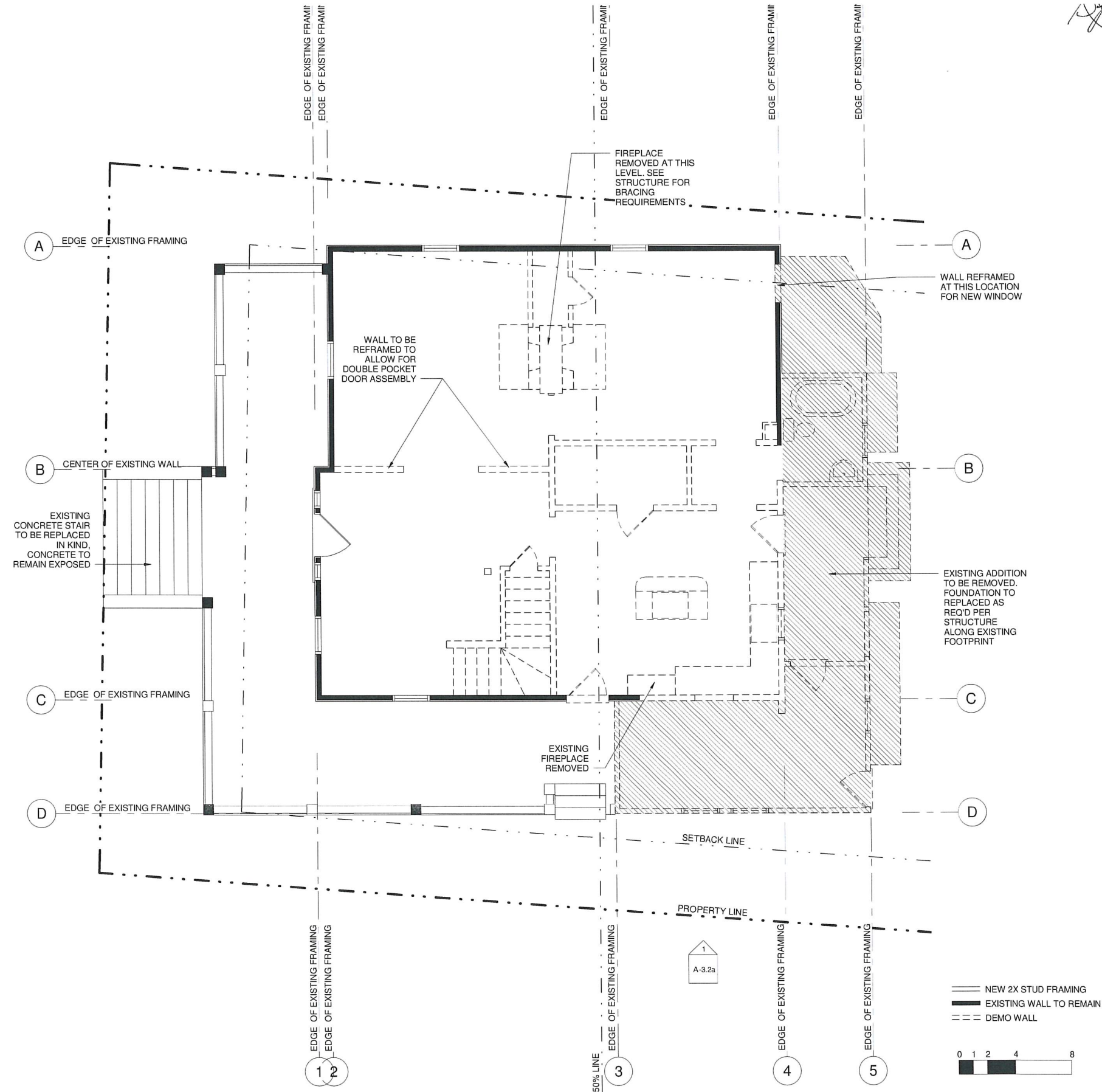
02/24/22 FOR COA APPROVAL

Caleb Gardner Architect, PLLC

110 Cavendish Drive Cary, NC 27513 561.568

A-0.0

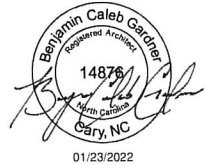
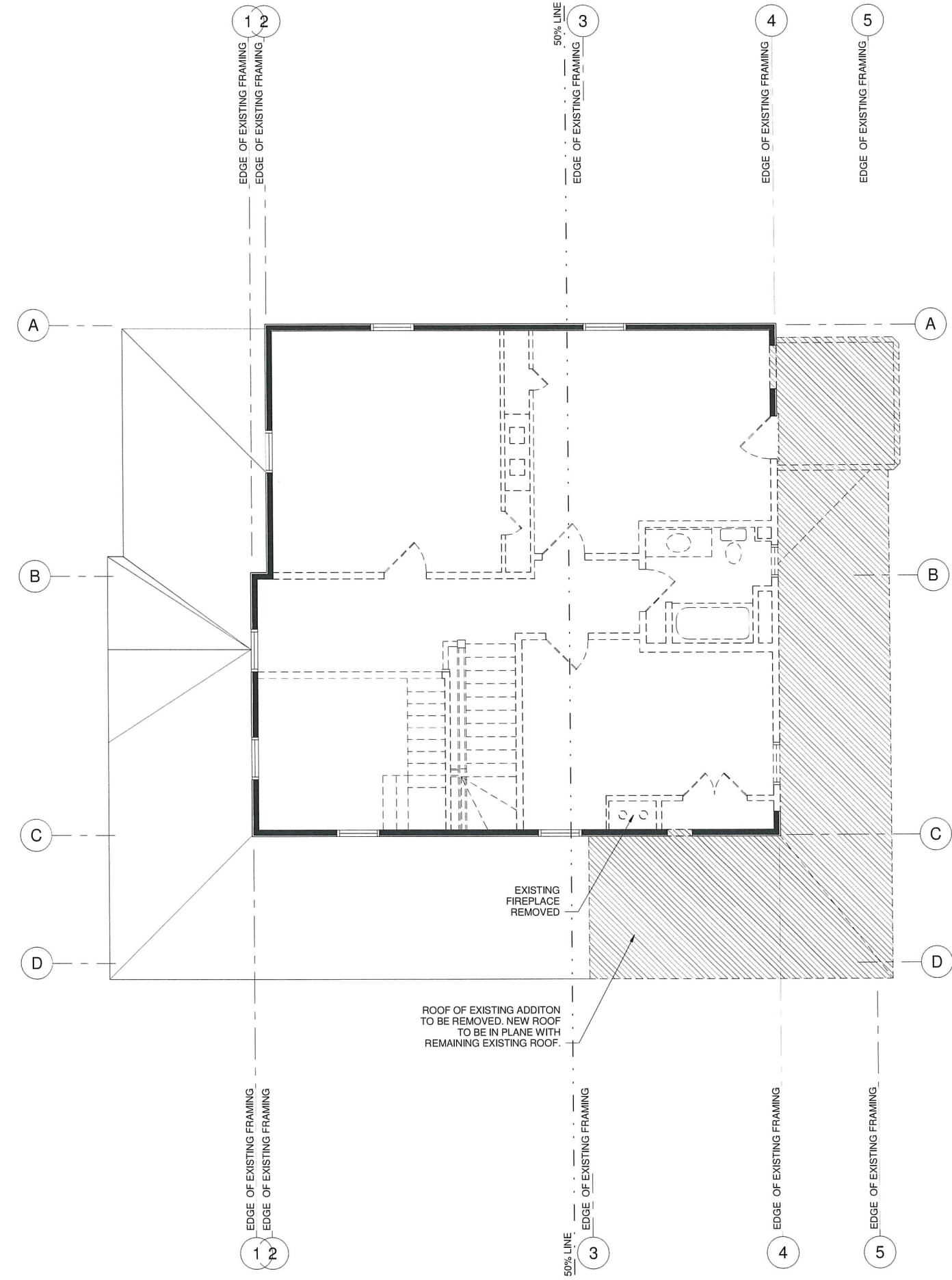
- Cover and Site Plan

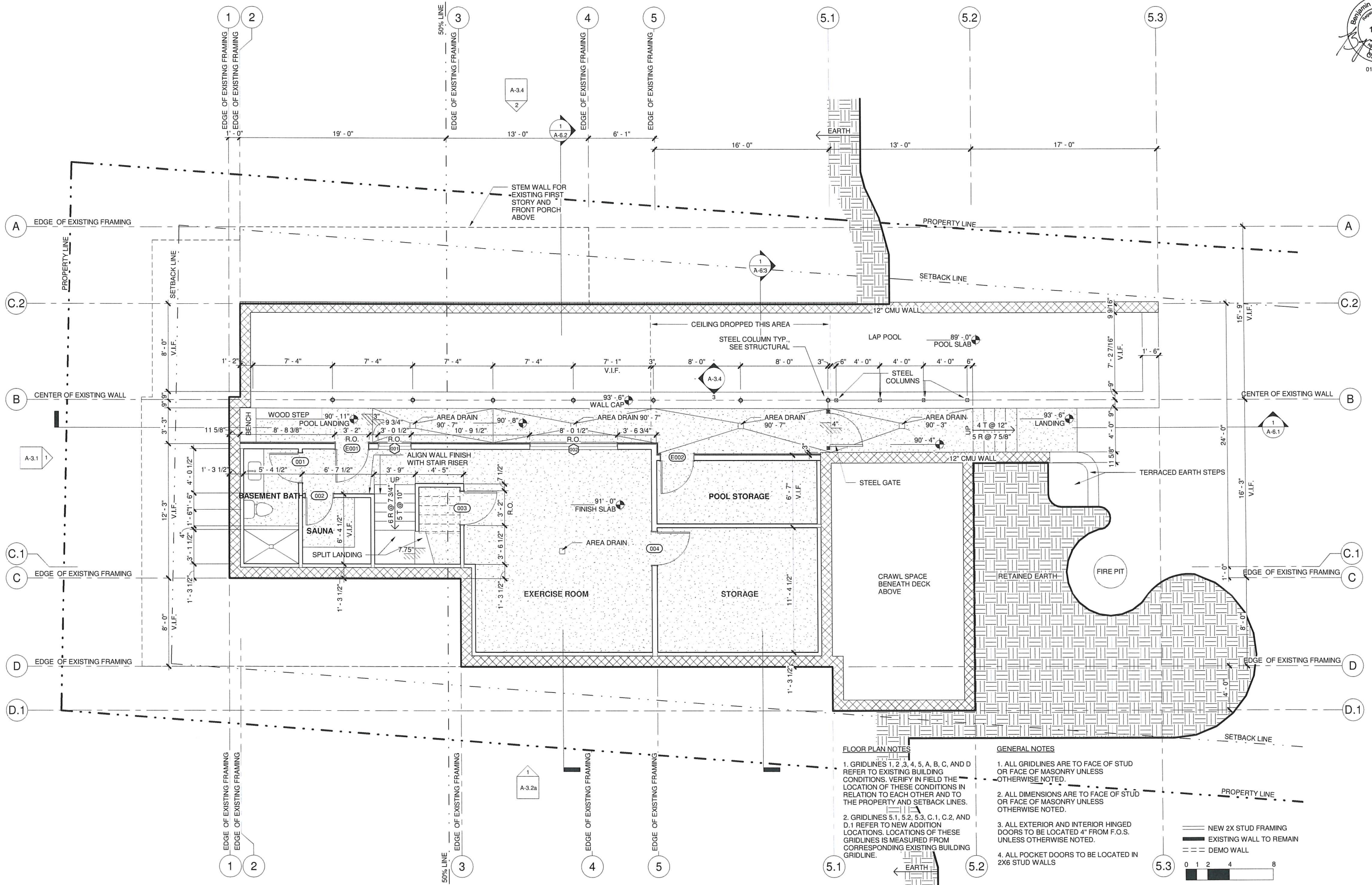


1 FIRST FLOOR EXISTING / DEMO
1/8" = 1'-0"

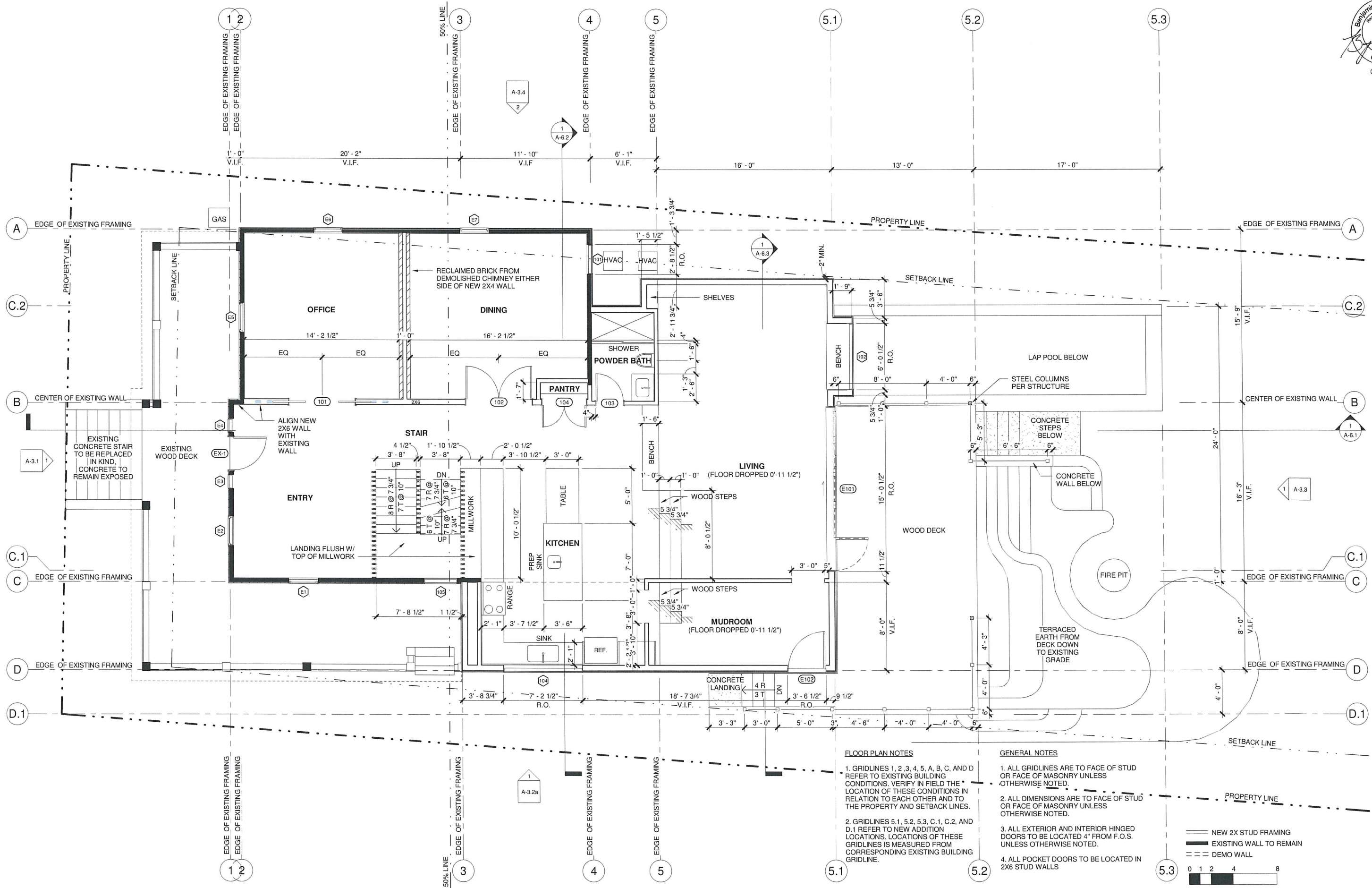
A-0.1
Existing / Demo Plans - First Floor

01/23/22 FOR COA APPROVAL
Caleb Gardner Architect, PLLC
616 Wills Forest Street Raleigh, NC 27605
110 Cavendish Drive Cary, NC 27513 919.568.0924





1 Basement
1/8" = 1'-0"



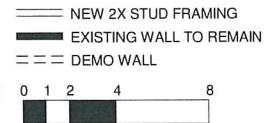
1 First Floor
1/8" = 1'-0"

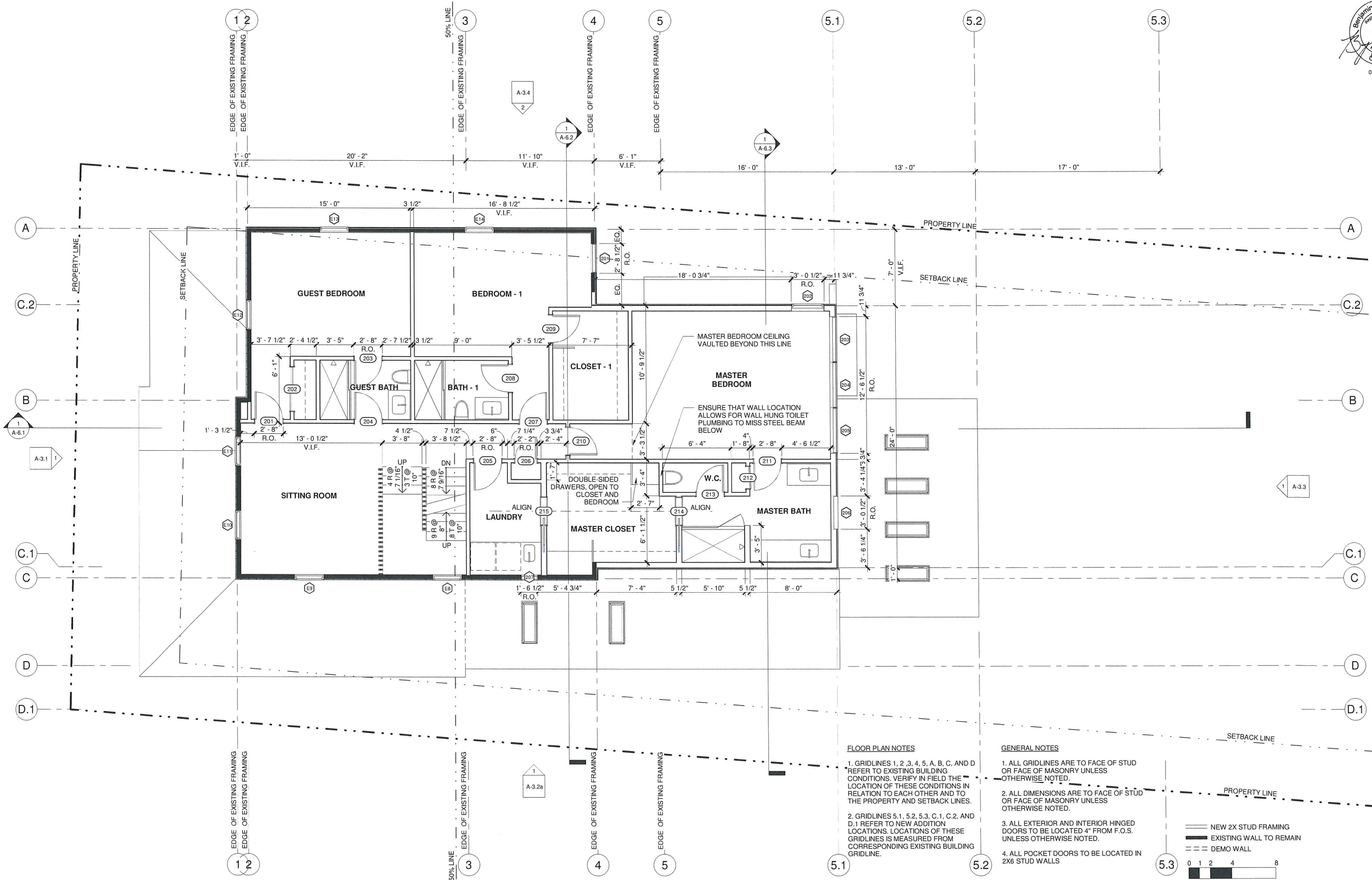
FLOOR PLAN NOTES

1. GRIDLINES 1, 2, 3, 4, 5, A, B, C, AND D REFER TO EXISTING BUILDING CONDITIONS. VERIFY IN FIELD THE LOCATION OF THESE CONDITIONS IN RELATION TO EACH OTHER AND TO THE PROPERTY AND SETBACK LINES.
2. GRIDLINES 5.1, 5.2, 5.3, C.1, C.2, AND D.1 REFER TO NEW ADDITION LOCATIONS. LOCATIONS OF THESE GRIDLINES IS MEASURED FROM CORRESPONDING EXISTING BUILDING GRIDLINE.

GENERAL NOTES

1. ALL GRIDLINES ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR AND INTERIOR HINGED DOORS TO BE LOCATED 4" FROM F.O.S. UNLESS OTHERWISE NOTED.
4. ALL POCKET DOORS TO BE LOCATED IN 2X6 STUD WALLS



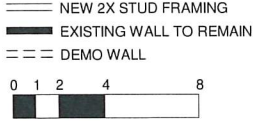


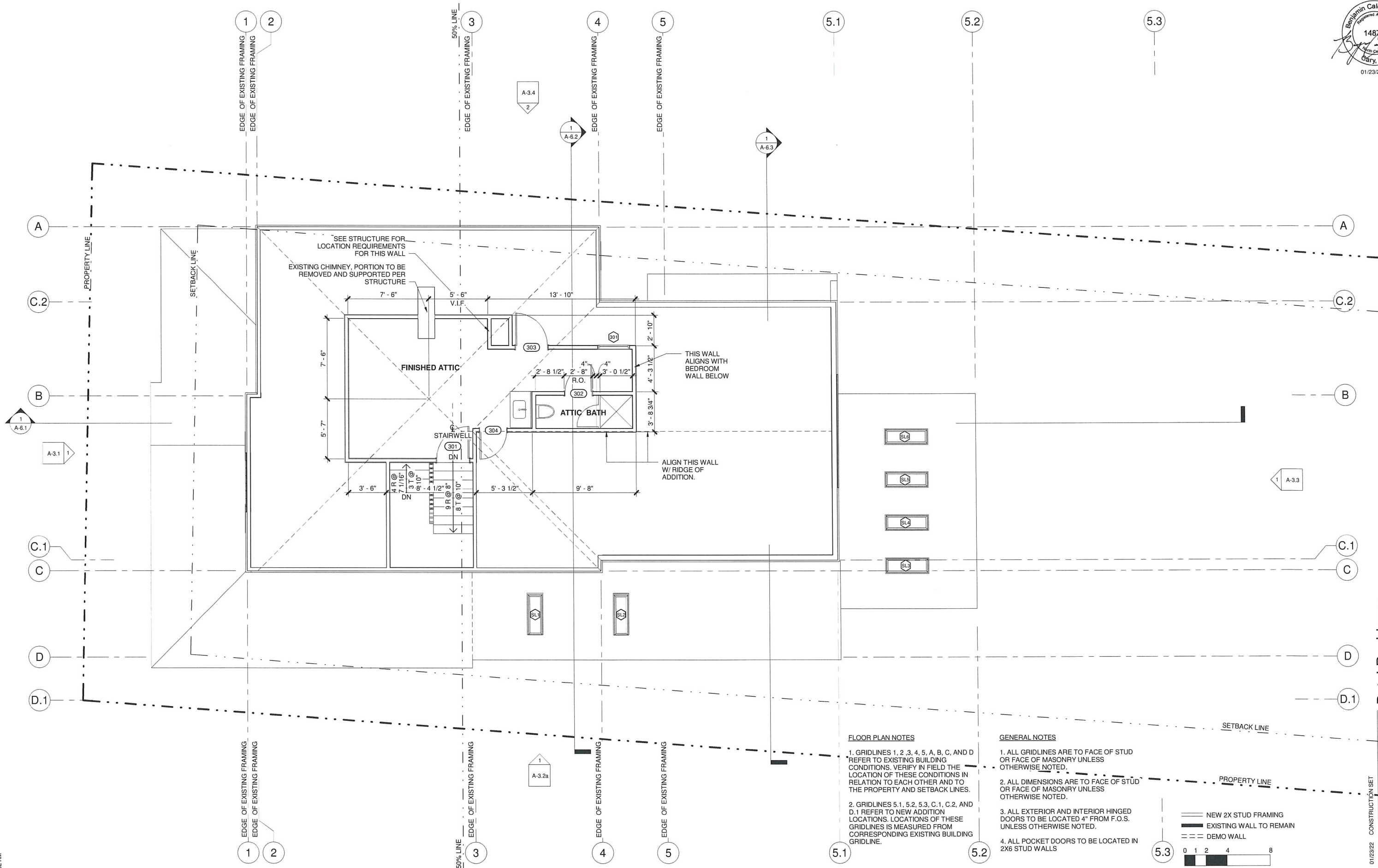
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4. ALL POCKET DOORS TO BE LOCATED IN 2X6 STUD WALLS





1 Third Floor
1/8" = 1'-0"

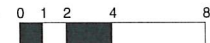
FLOOR PLAN NOTES

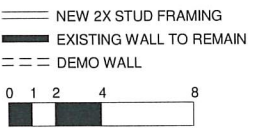
1. GRIDLINES 1, 2, 3, 4, 5, A, B, C, AND D REFER TO EXISTING BUILDING CONDITIONS. VERIFY IN FIELD THE LOCATION OF THESE CONDITIONS IN RELATION TO EACH OTHER AND TO THE PROPERTY AND SETBACK LINES.
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3. ALL EXTERIOR AND INTERIOR HINGED DOORS TO BE LOCATED 4" FROM F.O.S. UNLESS OTHERWISE NOTED.
4. ALL POCKET DOORS TO BE LOCATED IN 2X6 STUD WALLS

NEW 2X STUD FRAMING
EXISTING WALL TO REMAIN
DEMO WALL



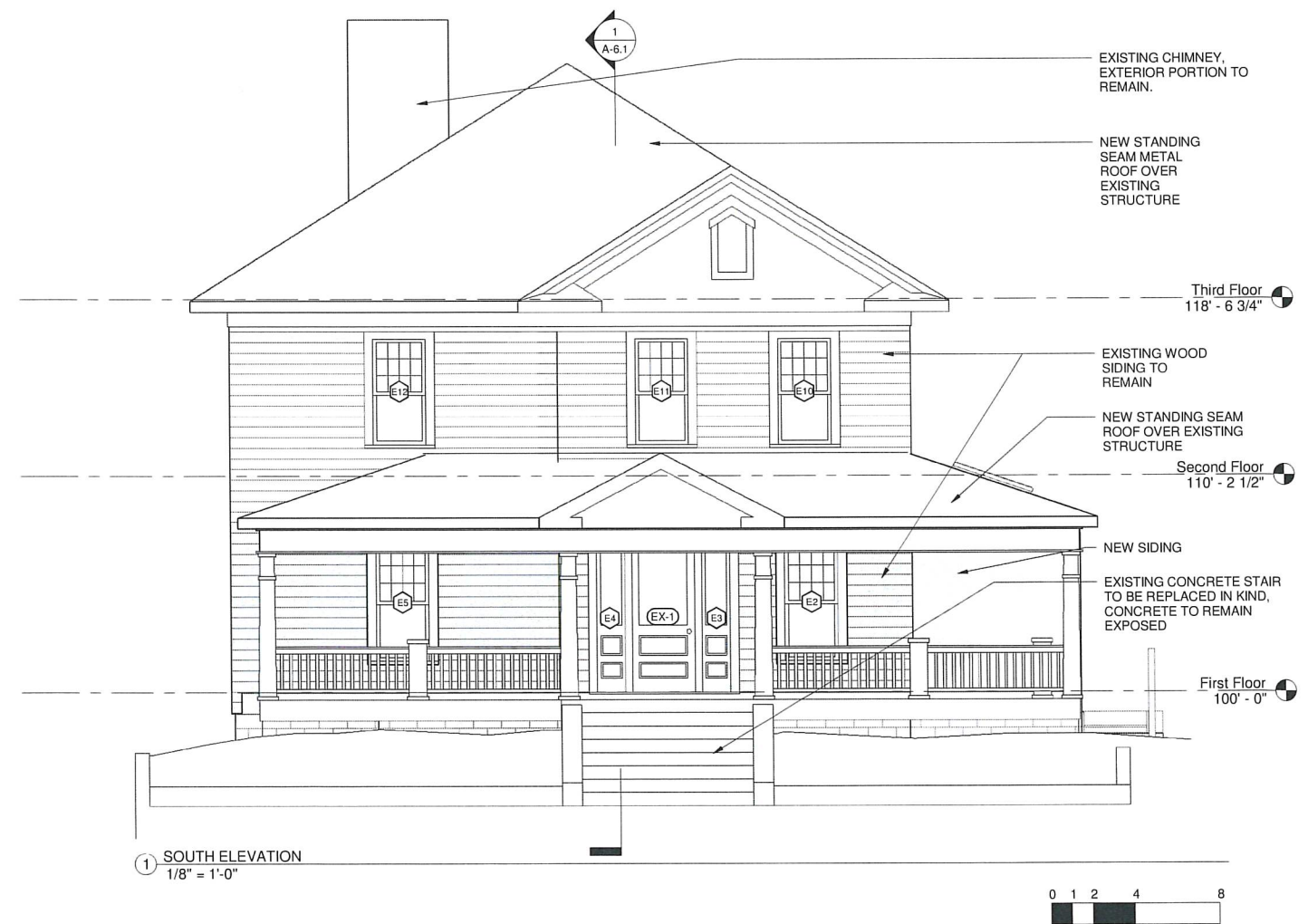


2/24/2022 8:54:32 AM

Patel Residence
616 Wills Forest Street Raleigh,
NC 27605

Caleb Gardner Architect, PLLC
1110 Cavendish Drive
Cary, NC 27513 561.568.

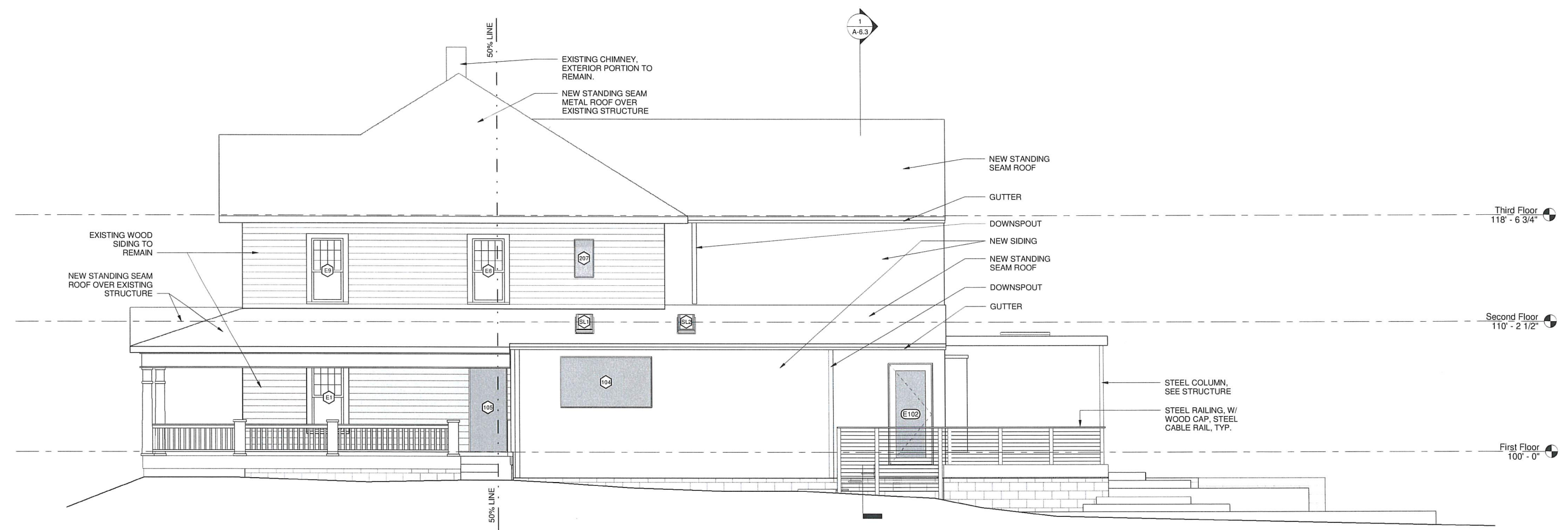
A-1.4
Roof Plan



Patel Residence
616 Willis Forest Street Raleigh,
NC 27605

01/23/22 FOR COA APPROVAL
Caleb Gardner Architect, PLLC
110 Cavendish Drive
GARY, NC 27513 951.568.0934

A-3.1
Elevations - South



1 EAST ELEVATION
1/8" = 1'-0"

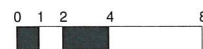


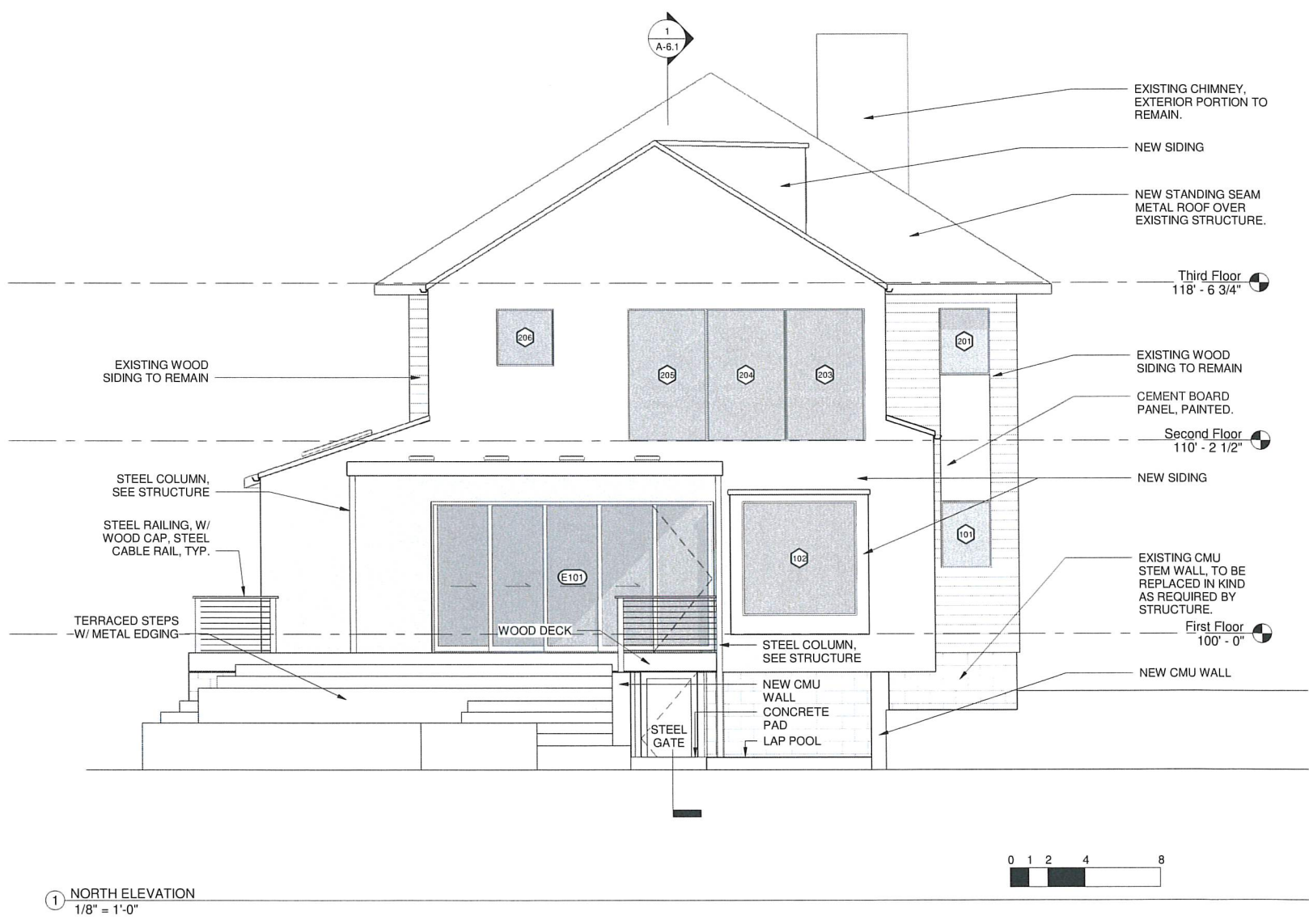
Patel Residence
616 Willis Forest Street Raleigh,
NC 27605

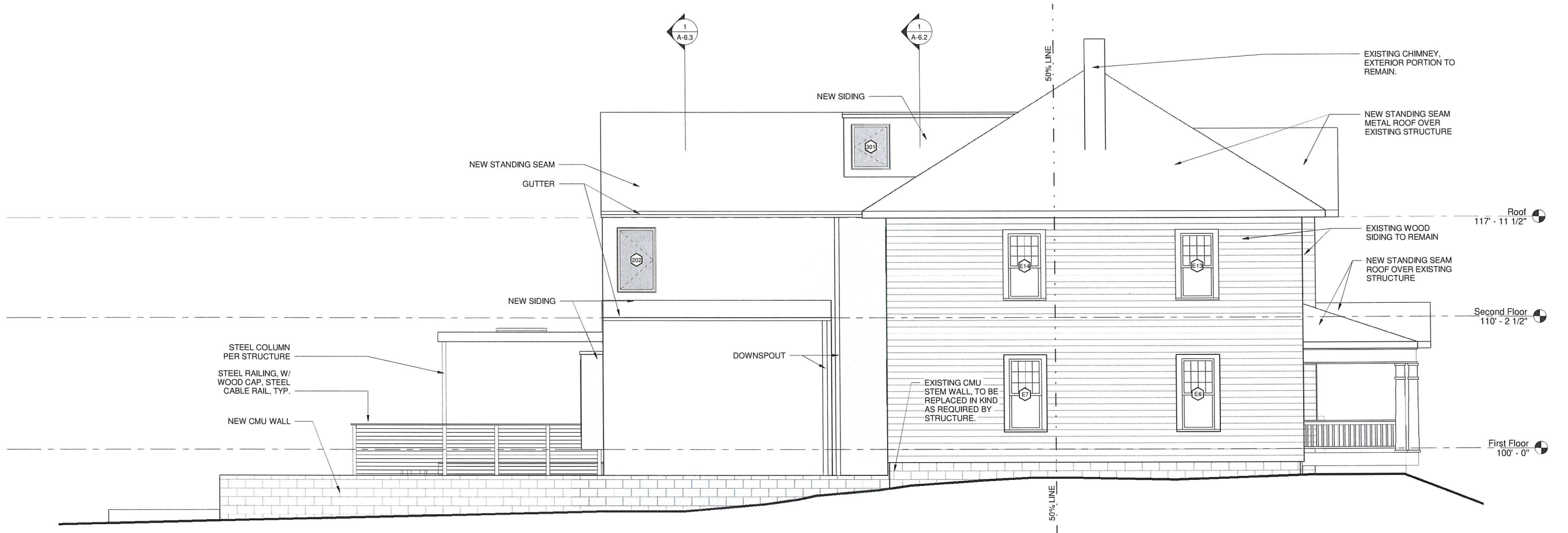
02/24/22 FOR COA APPROVAL
Caleb Gardner Architect, PLLC
110 Cavendish Drive
Cary, NC 27513 919.568.0334



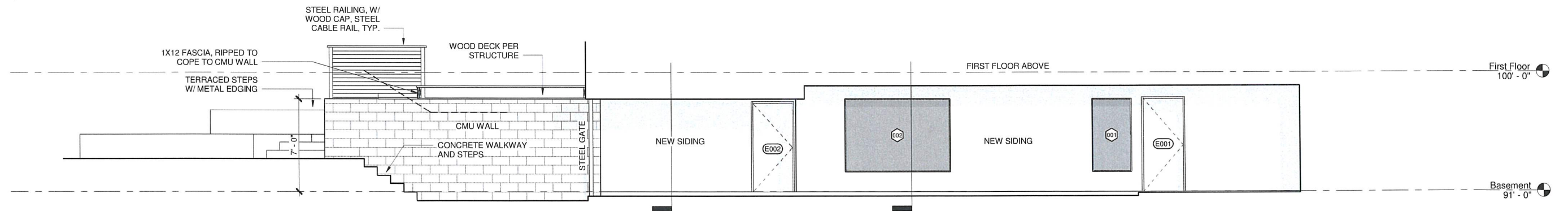
① EXISTING EAST ELEVATION
1/8" = 1'-0"



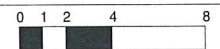


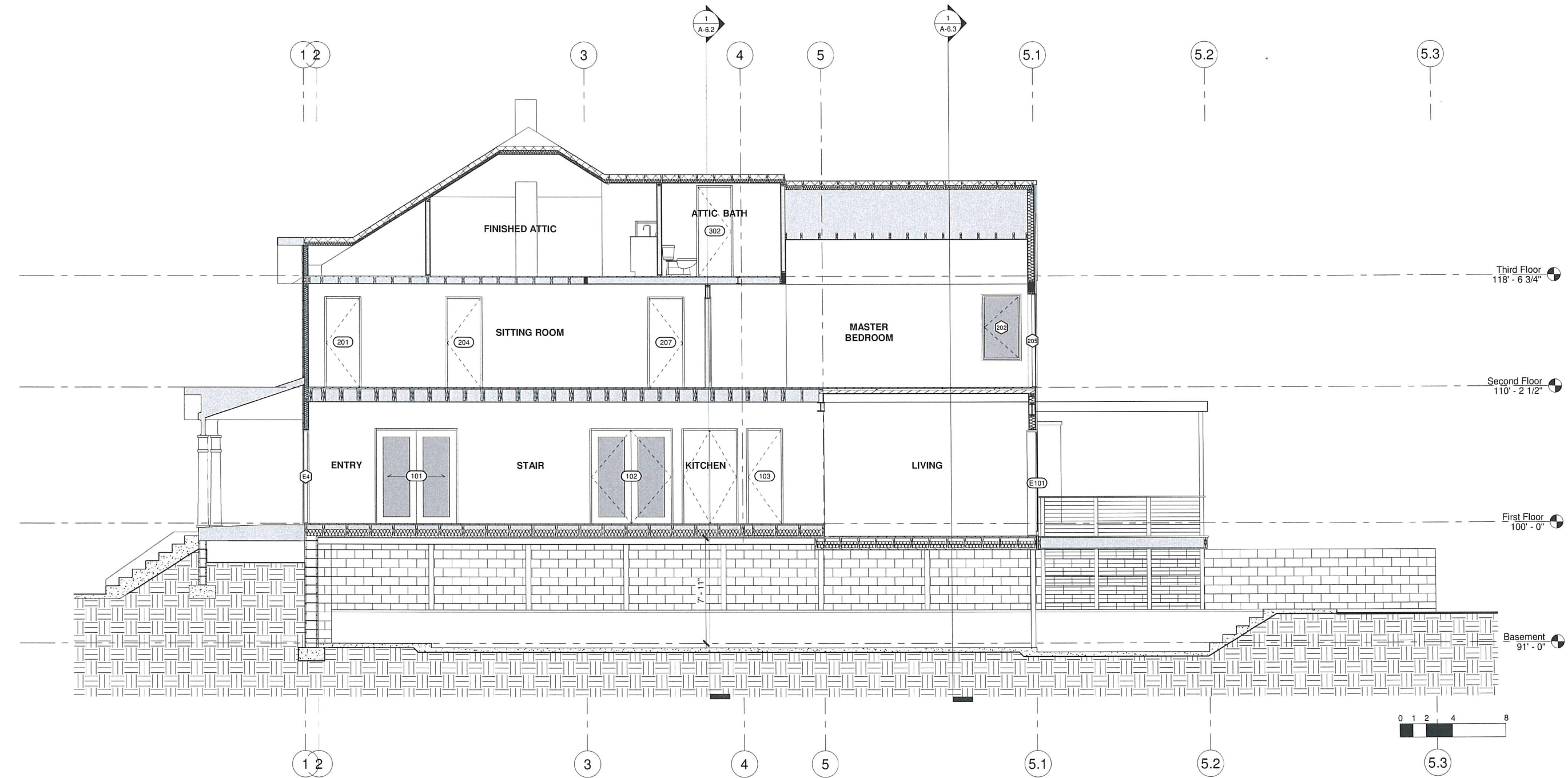


② WEST ELEVATION
1/8" = 1'-0"



③ WEST PARTIAL ELEVATION - BASEMENT ENTRY WALL
1/8" = 1'-0"





1 Section - Long
1/8" = 1'-0"

INSULATION ASSEMBLIES

ROOF/CEILING INSULATION AT VAULTED (ENCLOSED) CEILINGS:
R-30 MIN. W/ R-15 IMPERMEABLE INSULATION AT UNDERSIDE OF DECK FOR CONDENSATION CONTROL.

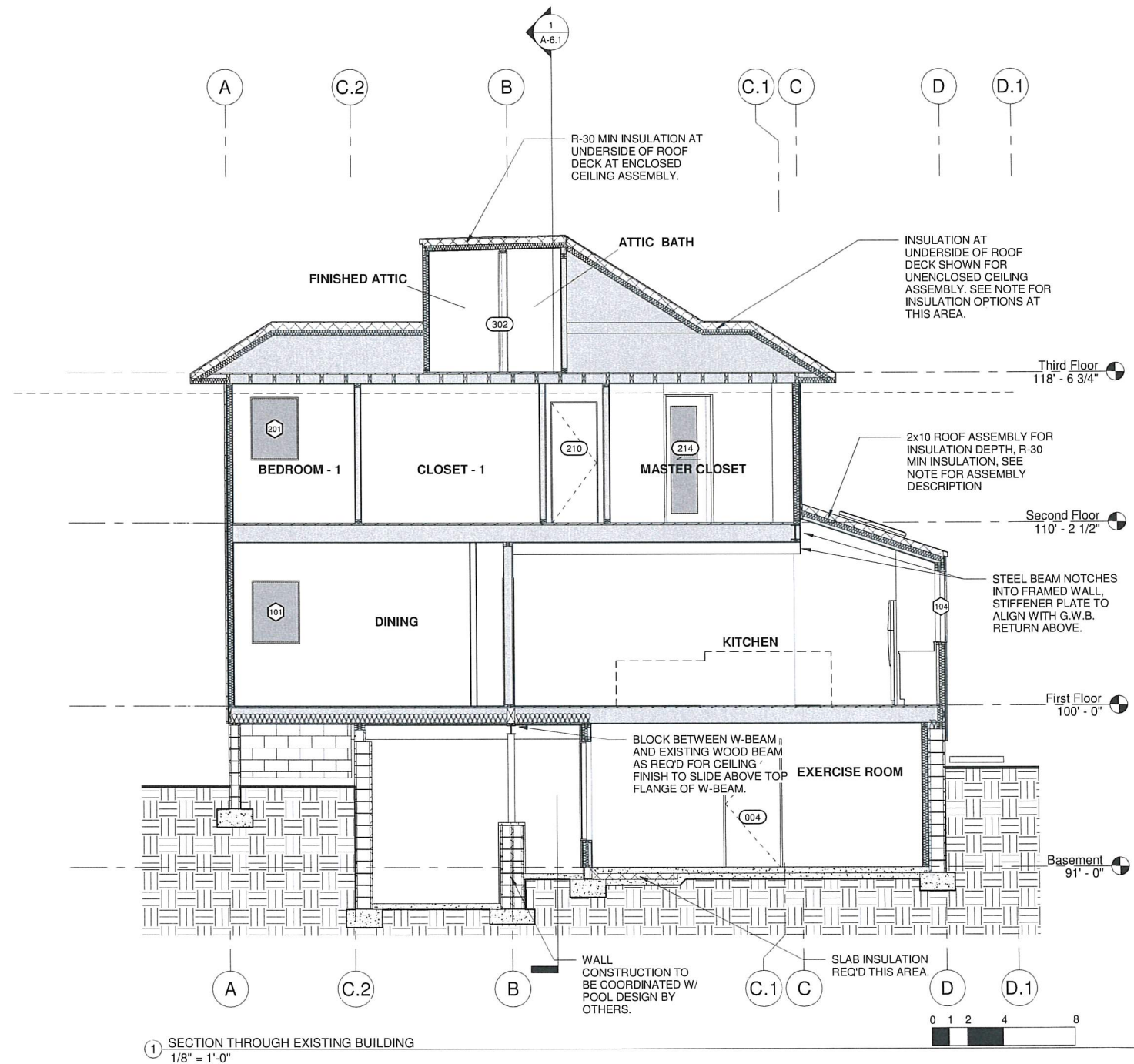
ROOF/CEILING AT FLAT (UNENCLOSED) CEILINGS:
OPTION 1 (SHOWN): R-38 MIN. W/ R-15 IMPERMEABLE INSULATION AT UNDERSIDE OF DECK FOR CONDENSATION CONTROL. SIM TO INSULATION AT VAULTED CEILINGS. **ATTIC UNVENTED IN THIS OPTION.**
OPTION 2: R-38 LOOSE INSULATION AT CEILING LINE. **ATTIC MUST BE VENTED IN THIS OPTION.**

STUD-FRAMED WALLS:
R-15 MINIMUM ASSEMBLY. IMPERMEABLE INSULATION AT BACKSIDE OF SHEATHING RECOMMENDED FOR CONDENSATION CONTROL.

BASEMENT WALLS:
R-15 MINIMUM CAVITY INSULATION. IMPERMEABLE INSULATION AT BACKSIDE OF SHEATHING RECOMMENDED FOR CONDENSATION CONTROL. FLUID APPLIED WATERPROOF MEMBRANE APPLIED TO EXTERIOR SIDE OF MASONRY WALLS. DRAIN TILE OR FRENCH DRAIN SYSTEM AT EXTERIOR BASE OF WALL DESIGN BY OTHERS.

STUD-FRAMED FLOOR ASSEMBLIES:
R-19 MINIMUM CAVITY INSULATION. ADDITIONAL CONTINUOUS 1" THERMAX RIGID INSULATION BELOW FRAMING FOIL-SIDE DOWN WITH JOINT TAPED W/ FOIL TAPE RECOMMENDED.

CONCRETE FLOORS:
R-20 MINIMUM INSULATION UNDER SLAB FOR FIRST 2' FROM SLAB EDGE MINIMUM. NOTE: THIS IS REQUIRED ALONG SLAB EDGE AT BASEMENT WALK OUT.



1 SECTION THROUGH EXISTING BUILDING
1/8" = 1'-0"

INSULATION ASSEMBLIES

ROOF/CEILING INSULATION AT VAULTED (ENCLOSED) CEILINGS:
R-30 MIN. W/ R-15 IMPERMEABLE INSULATION AT UNDERSIDE OF DECK FOR CONDENSATION CONTROL.

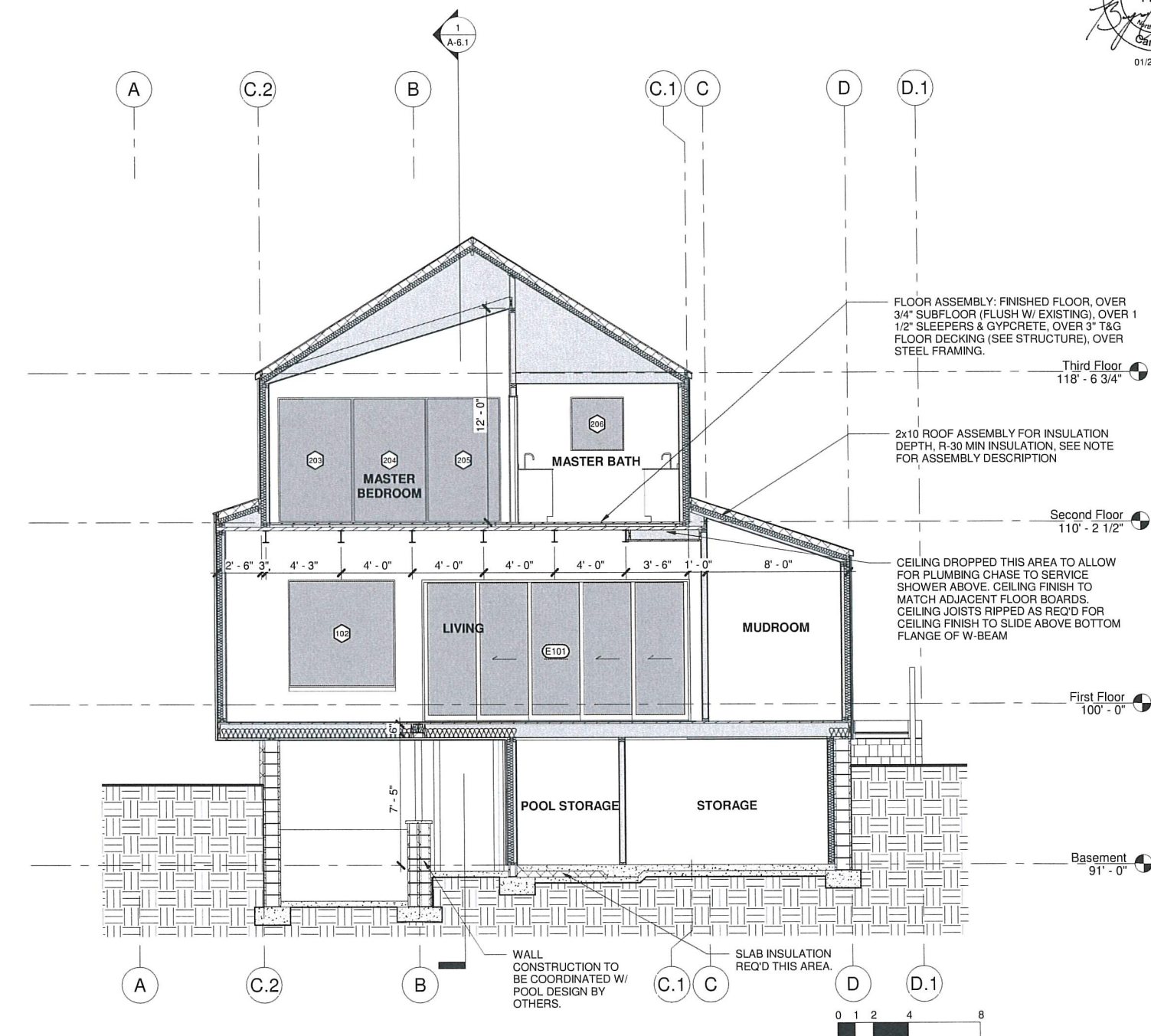
ROOF/CEILING AT FLAT (UNENCLOSED) CEILINGS:
OPTION 1 (SHOWN): R-38 MIN. W/ R-15 IMPERMEABLE INSULATION AT UNDERSIDE OF DECK FOR CONDENSATION CONTROL. SIM TO INSULATION AT VAULTED CEILINGS. **ATTIC UNVENTED IN THIS OPTION.**
OPTION 2: R-38 LOOSE INSULATION AT CEILING LINE. **ATTIC MUST BE VENTED IN THIS OPTION.**

STUD-FRAMED WALLS:
R-15 MINIMUM ASSEMBLY. IMPERMEABLE INSULATION AT BACKSIDE OF SHEATHING RECOMMENDED FOR CONDENSATION CONTROL.

BASEMENT WALLS:
R-15 MINIMUM CAVITY INSULATION. IMPERMEABLE INSULATION AT BACKSIDE OF SHEATHING RECOMMENDED FOR CONDENSATION CONTROL. FLUID APPLIED WATERPROOF MEMBRANE APPLIED TO EXTERIOR SIDE OF MASONRY WALLS. DRAIN TILE OR FRENCH DRAIN SYSTEM AT EXTERIOR BASE OF WALL DESIGN BY OTHERS.

STUD-FRAMED FLOOR ASSEMBLIES:
R-19 MINIMUM CAVITY INSULATION. ADDITIONAL CONTINUOUS 1" THERMAX RIGID INSULATION BELOW FRAMING FOIL-SIDE DOWN WITH JOINT TAPED W/ FOIL TAPE RECOMMENDED.

CONCRETE FLOORS:
R-20 MINIMUM INSULATION UNDER SLAB FOR FIRST 2' FROM SLAB EDGE MINIMUM. NOTE: THIS IS REQUIRED ALONG SLAB EDGE AT BASEMENT WALK OUT.



1 SECTION THROUGH ADDITION
1/8" = 1'-0"

INSULATION ASSEMBLIES

ROOF/CEILING INSULATION AT VAULTED (ENCLOSED) CEILINGS:
R-30 MIN. W/ R-15 IMPERMEABLE INSULATION AT UNDERSIDE OF DECK FOR CONDENSATION CONTROL.

ROOF/CEILING AT FLAT (UNENCLOSED) CEILINGS:
OPTION 1 (SHOWN): R-38 MIN. W/ R-15 IMPERMEABLE INSULATION AT UNDERSIDE OF DECK FOR CONDENSATION CONTROL. SIM TO INSULATION AT VAULTED CEILINGS. **ATTIC UNVENTED IN THIS OPTION.**
OPTION 2: R-38 LOOSE INSULATION AT CEILING LINE. **ATTIC MUST BE VENTED IN THIS OPTION.**

STUD-FRAMED WALLS:
R-15 MINIMUM ASSEMBLY. IMPERMEABLE INSULATION AT BACKSIDE OF SHEATHING RECOMMENDED FOR CONDENSATION CONTROL.

BASEMENT WALLS:
R-15 MINIMUM CAVITY INSULATION. IMPERMEABLE INSULATION AT BACKSIDE OF SHEATHING RECOMMENDED FOR CONDENSATION CONTROL. FLUID APPLIED WATERPROOF MEMBRANE APPLIED TO EXTERIOR SIDE OF MASONRY WALLS. DRAIN TILE OR FRENCH DRAIN SYSTEM AT EXTERIOR BASE OF WALL DESIGN BY OTHERS.

STUD-FRAMED FLOOR ASSEMBLIES:
R-19 MINIMUM CAVITY INSULATION. ADDITIONAL CONTINUOUS 1" THERMAX RIGID INSULATION BELOW FRAMING FOIL-SIDE DOWN WITH JOINT TAPED W/ FOIL TAPE RECOMMENDED.

CONCRETE FLOORS:
R-20 MINIMUM INSULATION UNDER SLAB FOR FIRST 2' FROM SLAB EDGE MINIMUM. NOTE: THIS IS REQUIRED ALONG SLAB EDGE AT BASEMENT WALK OUT.

Window Schedule								
Mark	Room Name	Frame Size		Rough Opening		Head Height	Operation	Comments
		Width	Height	Rough Width	Rough Height			
Basement								
001	Exercise Room	3' - 0"	5' - 6"	3' - 0 1/2"	5' - 6 3/4"	7' - 0"		
002	Exercise Room	8' - 0"	5' - 6"	8' - 0 1/2"	5' - 6 3/4"	7' - 0"		
First Floor								
101	Dining	2' - 8"	3' - 6"	2' - 8 1/2"	3' - 6 3/4"	7' - 0"		
102		6' - 0"	6' - 0"	6' - 0 1/2"	6' - 0 3/4"	7' - 0"		
104	Kitchen	7' - 2"	4' - 0"	7' - 2 1/2"	4' - 0 3/4"	7' - 6"		
105	Stair	3' - 0"	7' - 0"	3' - 0 1/2"	7' - 0 3/4"	7' - 0"		
E1	Entry	2' - 8"	5' - 6"	2' - 8 1/2"	5' - 6 3/4"	7' - 0"		EXISTING TO REMAIN
E2	Entry	2' - 8"	5' - 6"	2' - 8 1/2"	5' - 6 3/4"	7' - 0"		EXISTING TO REMAIN
E3	Entry	1' - 3"	7' - 0"	1' - 3 1/2"	7' - 0 3/4"	7' - 0"		EXISTING TO REMAIN
E4	Entry	1' - 3"	7' - 0"	1' - 3 1/2"	7' - 0 3/4"	7' - 0"		EXISTING TO REMAIN
E5	Office	2' - 8"	5' - 6"	2' - 8 1/2"	5' - 6 3/4"	7' - 0"		EXISTING TO REMAIN
E6	Office	2' - 8"	5' - 6"	2' - 8 1/2"	5' - 6 3/4"	7' - 0"		EXISTING TO REMAIN
E7	Dining	2' - 8"	5' - 6"	2' - 8 1/2"	5' - 6 3/4"	7' - 0"		EXISTING TO REMAIN
Second Floor								
201	Bedroom - 1	2' - 8"	3' - 6"	2' - 8 1/2"	3' - 6 3/4"	7' - 0"		
202	Master Bedroom	3' - 0"	5' - 0"	3' - 0 1/2"	5' - 0 3/4"	7' - 0"		
203	Master Bedroom	4' - 2"	7' - 0"	4' - 2 1/2"	7' - 0 3/4"	7' - 0"		
204	Master Bedroom	4' - 2"	7' - 0"	4' - 2 1/2"	7' - 0 3/4"	7' - 0"		
205	Master Bedroom	4' - 2"	7' - 0"	4' - 2 1/2"	7' - 0 3/4"	7' - 0"		
206	Master Bath	3' - 0"	3' - 0"	3' - 0 1/2"	3' - 0 3/4"	7' - 0"		
207	Laundry	1' - 6"	3' - 0"	1' - 6 1/2"	3' - 0 3/4"	6' - 6"		
E8	Stair	2' - 8"	5' - 0"	2' - 8 1/2"	5' - 0 3/4"	6' - 6"		EXISTING TO REMAIN
E9	Sitting Room	2' - 8"	5' - 0"	2' - 8 1/2"	5' - 0 3/4"	6' - 6"		EXISTING TO REMAIN
E10	Sitting Room	2' - 8"	5' - 0"	2' - 8 1/2"	5' - 0 3/4"	6' - 6"		EXISTING TO REMAIN
E11	Sitting Room	2' - 8"	5' - 0"	2' - 8 1/2"	5' - 0 3/4"	6' - 6"		EXISTING TO REMAIN
E12	Guest Bedroom	2' - 8"	5' - 0"	2' - 8 1/2"	5' - 0 3/4"	6' - 6"		EXISTING TO REMAIN
E13	Guest Bedroom	2' - 8"	5' - 0"	2' - 8 1/2"	5' - 0 3/4"	6' - 6"		EXISTING TO REMAIN
E14	Bedroom - 1	2' - 8"	5' - 0"	2' - 8 1/2"	5' - 0 3/4"	6' - 6"		EXISTING TO REMAIN
Third Floor								
301	Finished Attic	3' - 0"	3' - 6"	3' - 0 1/2"	3' - 6 3/4"	6' - 8"		

Skylight Schedule										
Mark	Width	Height	Rough Width	Rough Height	Roof Mounting	Operation (Skylight)	Manufacturer	Model	Shades	Comments
SL1	1' - 4 1/8"	3' - 11 1/4"	1' - 2 1/2"	3' - 9 3/4"			VELUX	FS		
SL2	1' - 4 1/8"	3' - 11 1/4"	1' - 2 1/2"	3' - 9 3/4"			VELUX	FS		
SL3	1' - 4 1/8"	3' - 11 1/4"	1' - 2 1/2"	3' - 9 3/4"			VELUX	FS		
SL4	1' - 4 1/8"	3' - 11 1/4"	1' - 2 1/2"	3' - 9 3/4"			VELUX	FS		
SL5	1' - 4 1/8"	3' - 11 1/4"	1' - 2 1/2"	3' - 9 3/4"			VELUX	FS		
SL6	1' - 4 1/8"	3' - 11 1/4"	1' - 2 1/2"	3' - 9 3/4"			VELUX	FS		

Exterior Door Schedule											
Mark	Location	Unit Size		Rough Opening		Head Height	Jamb	Head	Hardware Set	Tempered	Comments
		Width	Height	Rough Width	Rough Height						
Basement											
E001	EXERCISE ROOM	3' - 0"	7' - 0"	3' - 0 1/2"	7' - 0 1/2"	7' - 0"					
E002	POOL STORAGE	3' - 0"	6' - 8"	3' - 0 1/2"	6' - 8 1/2"	6' - 8"					
First Floor											
E101	LIVING	15' - 0"	7' - 11 1/2"	15' - 0 1/2"	8' - 0"	7' - 0"					
E102	MUDROOM	3' - 6"	8' - 0"	3' - 6 1/2"	8' - 0 1/4"	7' - 0"					
EX-1	ENTRY	3' - 0"	7' - 0"	3' - 0 1/2"	7' - 0 1/2"	7' - 0"					EXISTING TO REMAIN

INTERIOR DOOR SCHEDULE								
Door Number	Location	Operation	Size	Door Type	Hardware Set	Jamb Detail	Head Sill Detail	Comments
			Width					
001	BASEMENT BATH	Swing	2' - 8"					
002	SAUNA	Swing	2' - 6"					
003	EXERCISE ROOM	Swing	3' - 0"					
004	STORAGE	Swing	3' - 0"					
101	ENTRY		6' - 0"					
102	KITCHEN		6' - 0"					
103	POWDER BATH	Swing	2' - 6"					
104	KITCHEN		4' - 0"					
201	GUEST BEDROOM	Swing	2' - 6"					
202	GUEST BEDROOM		4' - 0"					
203	GUEST BATH	Swing	2' - 6"					
204	GUEST BATH	Swing	2' - 6"					
205	LAUNDRY	Swing	2' - 6"					
206	SITTING ROOM	Swing	2' - 0"					
207	BEDROOM - 1	Swing	2' - 6"					
208	BATH - 1	Swing	2' - 6"					
209	CLOSET - 1	Swing	2' - 6"					
210	MASTER BEDROOM	Swing	2' - 6"					
211	MASTER BATH	Swing	2' - 6"					
212	MASTER BATH	Swing	2' - 0"					
213	W.C.	Swing	2' - 6"					
214	MASTER BATH		2' - 6"					
215	MASTER CLOSET		2' - 6"					
301	FINISHED ATTIC	Swing	3' - 0"					
302	FINISHED ATTIC	Swing	2' - 6"					
303	UNFINISHED ATTIC	Swing	3' - 0"					
304		Swing	2' - 6"					