



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Alter alley facade, including: concrete stairs and handrails;
replace non-historic metal doors; install security gate;
replace light fixtures

400 Fayetteville St

Address

Historic District

Sir Walter Hotel

Historic Property

COA-0026-2025

Certificate Number

4/29/2025

Date of Issue

10/29/2025

Expiration Date

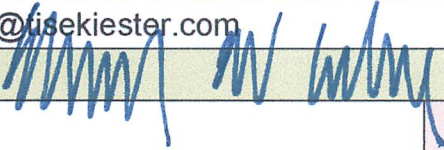
This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:		
Applicant name: Edward Conlon		
Mailing address: 119 East Franklin Street, Suite 300		
City: Chapel Hill	State: NC	Zip code: 27514
Date: 01/21/25	Daytime phone #: 919-967-0158	
Email address: econlon@isekiester.com		
Applicant signature: 		
Minor work (staff review) – one copy Major work (COA committee review) – ten copies Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval		Office Use Only Transaction #: _____ File #: COA-0026-2025 Fee: _____ Amount paid: _____ Received date: _____ Received by: _____
Property street address: 400 Fayetteville Street		
Historic district:		
Historic property/Landmark name (if applicable): Sir Walter Hotel		
Owner name: Moshe Eichler		
Owner mailing address: 86 EAST ROUTE 59, SPRING VALLEY, NY 10977		

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes ☐ No ☒	Office Use Only Type of work: <u>29, 48, 66</u>
Did you consult with staff prior to filing the application? Yes ☐ No ☒	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
1.1	Public Rights of Way	Refurbish (or replace in kind) existing stairs and doors at Alley (on Owner's property)
1.3	Site Features	Install new concrete stairs (at the request of head building official) to match existing stairs to be refurbished
1.4	Fences and Walls	Install new security gate at far end of alley (at top of new concrete stairs)
1.7	Lighting	Replace existing exterior light fixtures in alley with new fixtures

Minor Work Approval (office use only) Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>10/29/25</u>. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval. Signature (City of Raleigh) <u>Collette K</u> Date <u>04/29/25</u>

Subject: FW: Sir Walter Alley Improvements

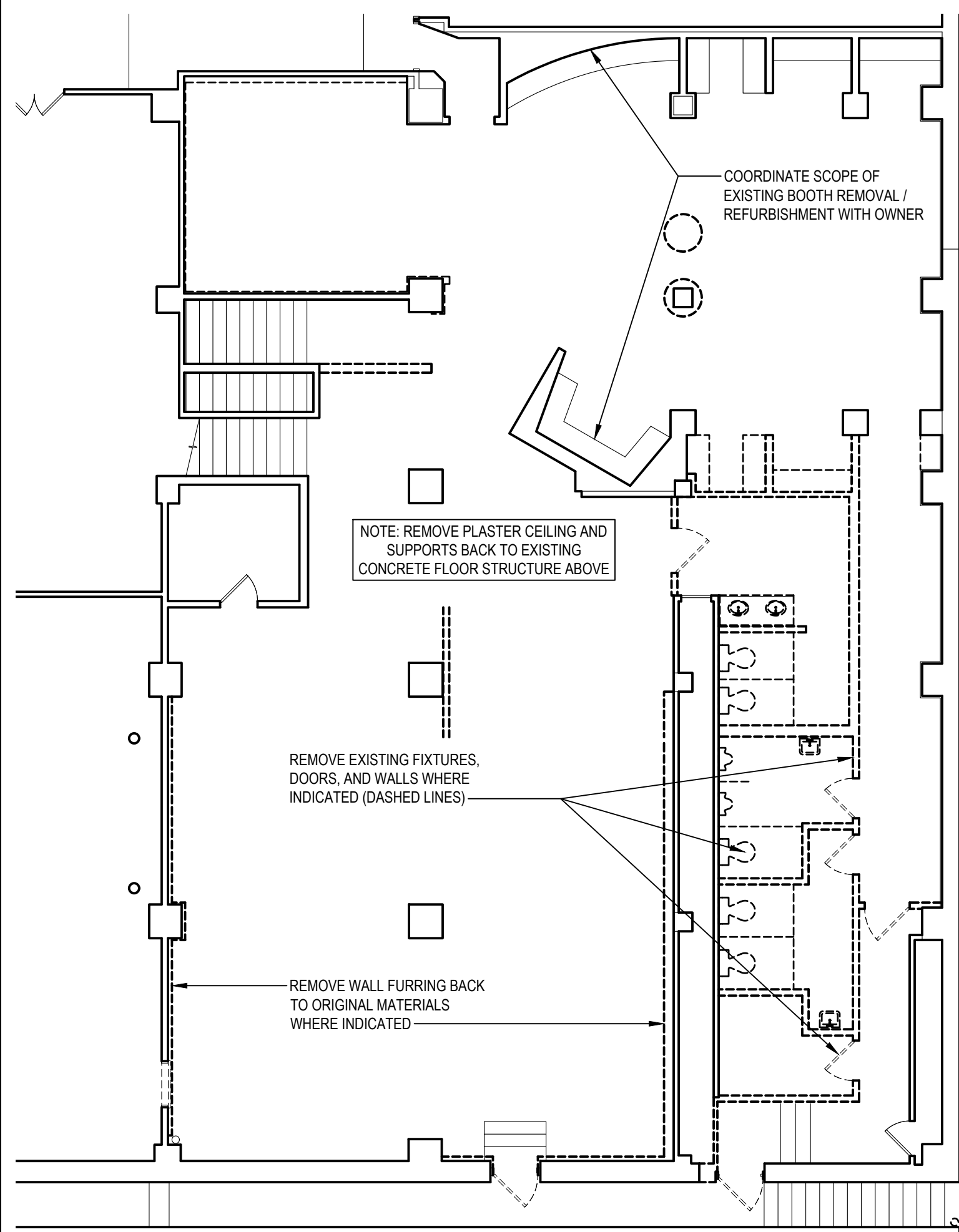
The City of Raleigh is requiring several improvements to the alley in order to better address the life safety concerns for this main entrance/exit. Note that it is impossible for this egress to fully meet contemporary codes, but as an existing condition in an historic building, they are allowing it to serve this function with improvements. In addition, the drainage for this area needs to be addressed since there appears to be ongoing water intrusion to the interior. Here is a summary of the proposed changes:

1. Remove or relocate all pipes and devices that encroach upon the existing 36" egress path (up to 80" above the walking surface). Note this may require coordinating with the adjacent property Owner as some of their downspouts and through-wall vents encroach upon the alley.
2. Refurbish the existing stairs to meet current code requirements to the greatest extent possible. Fortunately the tread and riser dimensions are not too far off from the current building code. The new work should include resurfacing the concrete treads and risers, sloping to not collect water, adding safety tread nosings and handrails at both sides of stair.
3. Move and replace existing door (shift masonry opening) at the bottom of the stair to accommodate the new handrail extension. Currently the bottom riser is right at the door, leaving no room for the required handrail extension.
4. Replace sump and refurbish existing sump pit as required, then cap with new (accessible) metal grating. Route new discharge pipe to be 80" minimum above egress path. Note that it is assumed that the current water intrusion issues are a result of a non-functioning or improperly sized sump pump. Additional waterproofing may be required if it's determined that water is entering the space in other ways.
5. Add a second means of egress (concrete stairs and handrails to match existing) at the west end of the alley. Note this may require reworking the existing downspouts that encroach upon this upper alley.
6. Add new security gate at the top of this new stair to limit unauthorized access from the west end of the alley.
7. Replace existing light fixtures with new fixtures to meet life-safety requirements at alley.

Ed Conlon | Architect
econlon@tisekiester.com

Tise-Kiester Architects
t: 919.967.0158 | w: www.tisekiester.com

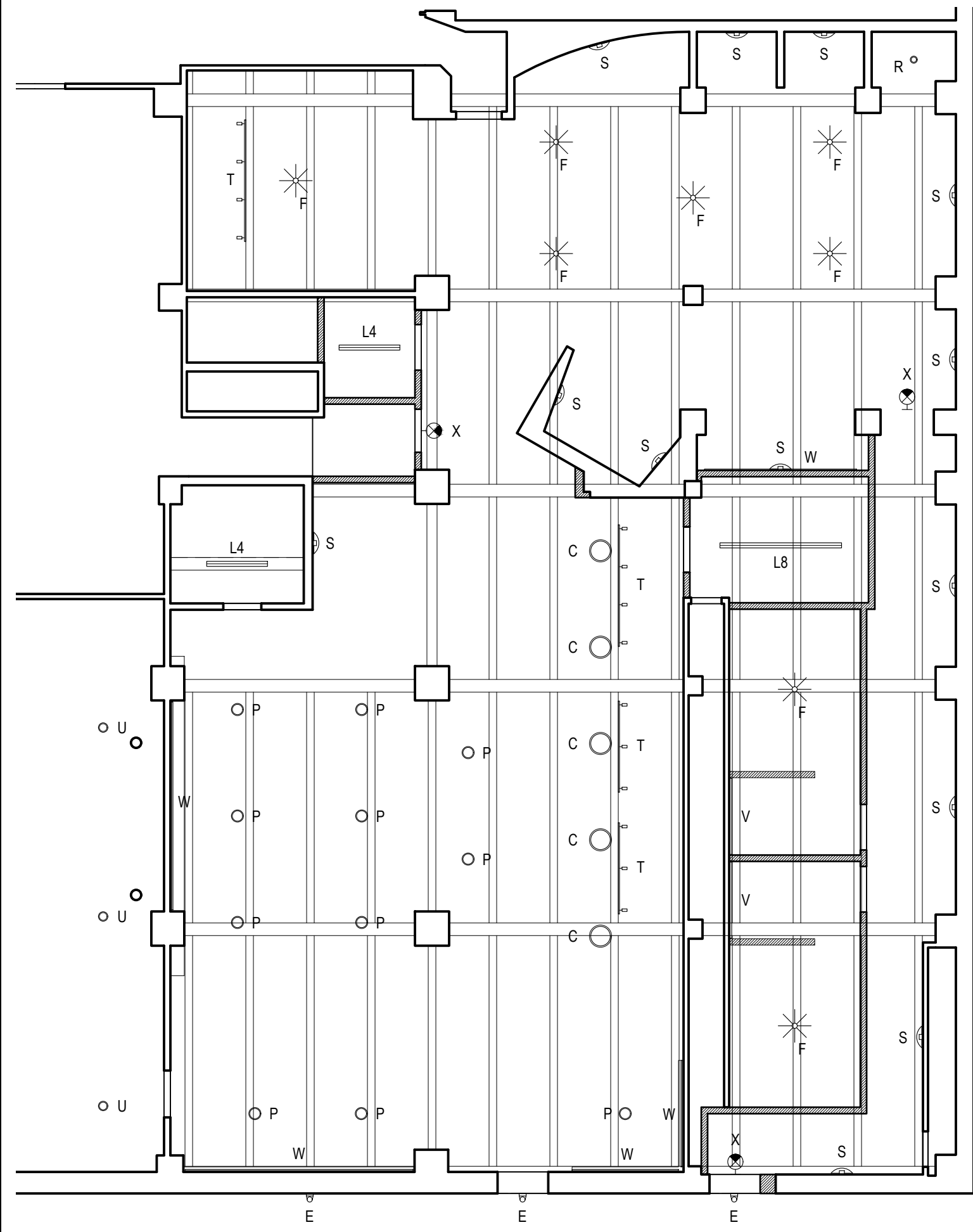
Tise-Kiester Architects, PA, (TKA) E-Mail Disclaimer: This message and any attachments are confidential and intended solely for the use of the addressee. If this message is received in error please notify TKA. TKA does not assume any liability, errors or omissions in the content of this message. No liability is assumed for any loss or damage resulting from the use of this information or attachments.



Demolition Plan

SCALE: 1/8"=1'-0"

3



Reflected Ceiling Plan

SCALE: 1/8"=1'-0"

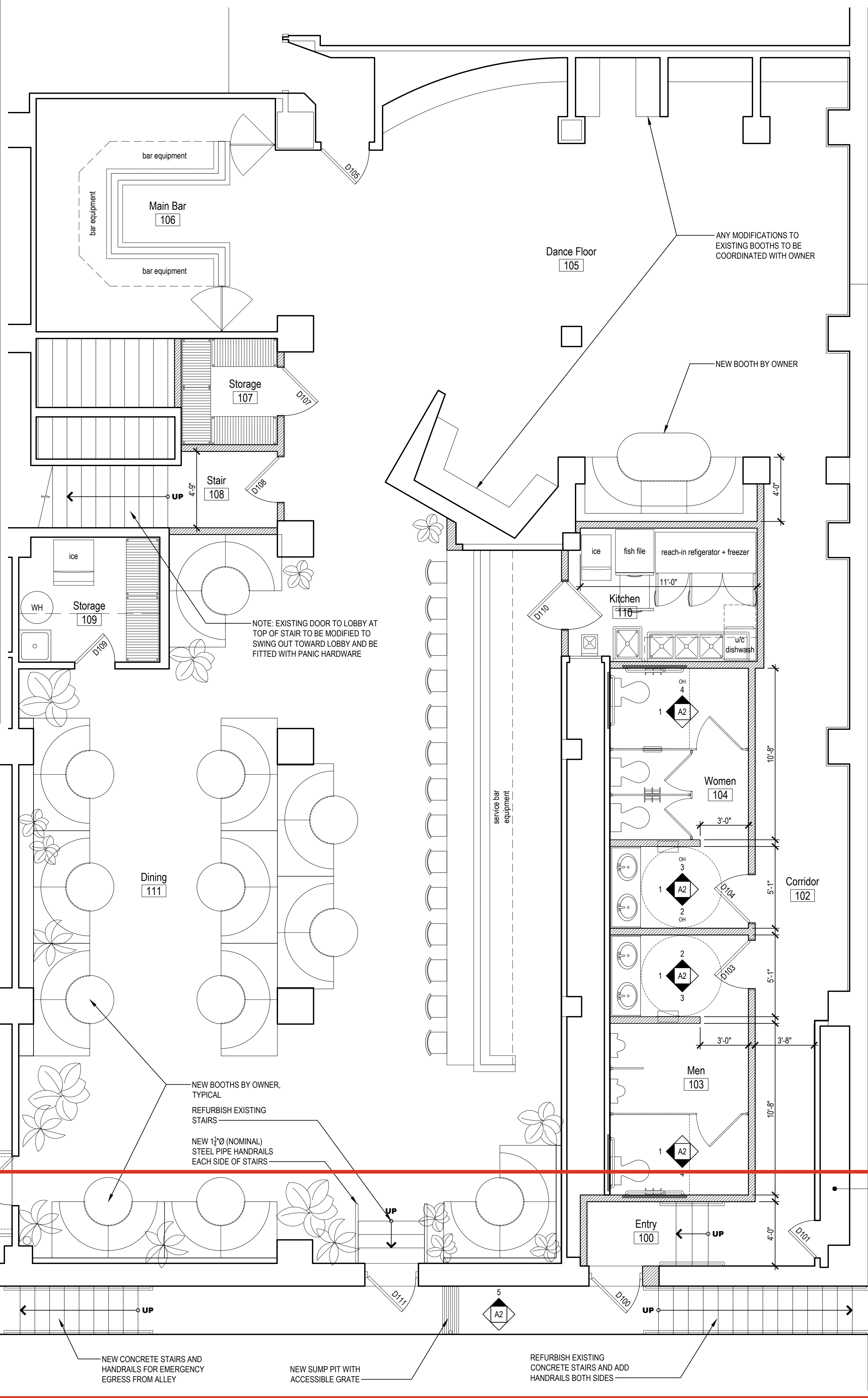
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CONSTRUCTION NOTES

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- CONTRACTOR TO PROVIDE FEC'S AS SHOWN. PROVIDE SUBMITTAL FOR APPROVAL.
- FRAMING AND DRYWALL
 - ALL NEW PARTITIONS TO CONSIST OF 1/2" GWB ON 3 1/2" METAL STUDS UNLESS INDICATED OTHERWISE.
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- PAINTING
 - ALL LINES AND TRANSITIONS BETWEEN DIFFERENT COLORS ARE TO BE CRISP, STRAIGHT AND LEVEL.
 - ALL SURFACES ARE TO RECEIVE ONE COAT OF PRIMER. PAINT/SEAL THE TOPS AND BOTTOMS OF ALL DOORS. PAINT THE TOPS OF ALL DOOR FRAMES.
 - ALL SURFACES TO RECEIVE A MINIMUM OF 2 FINISH COATS, ENSURING THAT NO OTHER COLOR SHOWS THROUGH. DOOR FRAMES ARE TO RECEIVE A MINIMUM OF 3 COATS.
 - ALL PAINT TO BE SHERWIN WILLIAMS. COLORS TO BE CHOSEN BY OWNER.
- FIBER-REINFORCED PANELS TO EXTEND FROM TOP OF FLOOR BASE TO CEILING AT KITCHEN 110. INCLUDE ALL ASSOCIATED TRIM AND MOLDINGS FOR A COMPLETE INSTALLATION. COLOR AND TEXTURE TO BE SELECTED BY OWNER.
- INTERIOR DESIGNER TO DESIGN AND SELECT FINISHES FOR NEW BARS (BOTH LOCATIONS) AND OTHER FINISHES NOT SPECIFIED IN THE CONSTRUCTION DOCUMENTS.
- SEE THE ROOM FINISH SCHEDULE FOR ADDITIONAL MATERIAL INFORMATION.
- INSTALL SOUND INSULATION BATTS AT ALL TOILET ROOM WALLS.

LEGEND

- NEW WALL CONSTRUCTION
- FEC FIRE EXTINGUISHER CABINET - QUANTITY AND LOCATIONS AS DIRECTED BY FIRE MARSHAL



Construction Plan

SCALE: 1/8"=1'-0"

1

TISE-KIESTER ARCHITECTS

TKa

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Sir Walter Speakeasy

400 Fayetteville Street
Raleigh, NC

- Job Number: 2412
- Date: 12.20.24
- Revisions:



Demo, Construction, and
Reflected Ceiling Plans

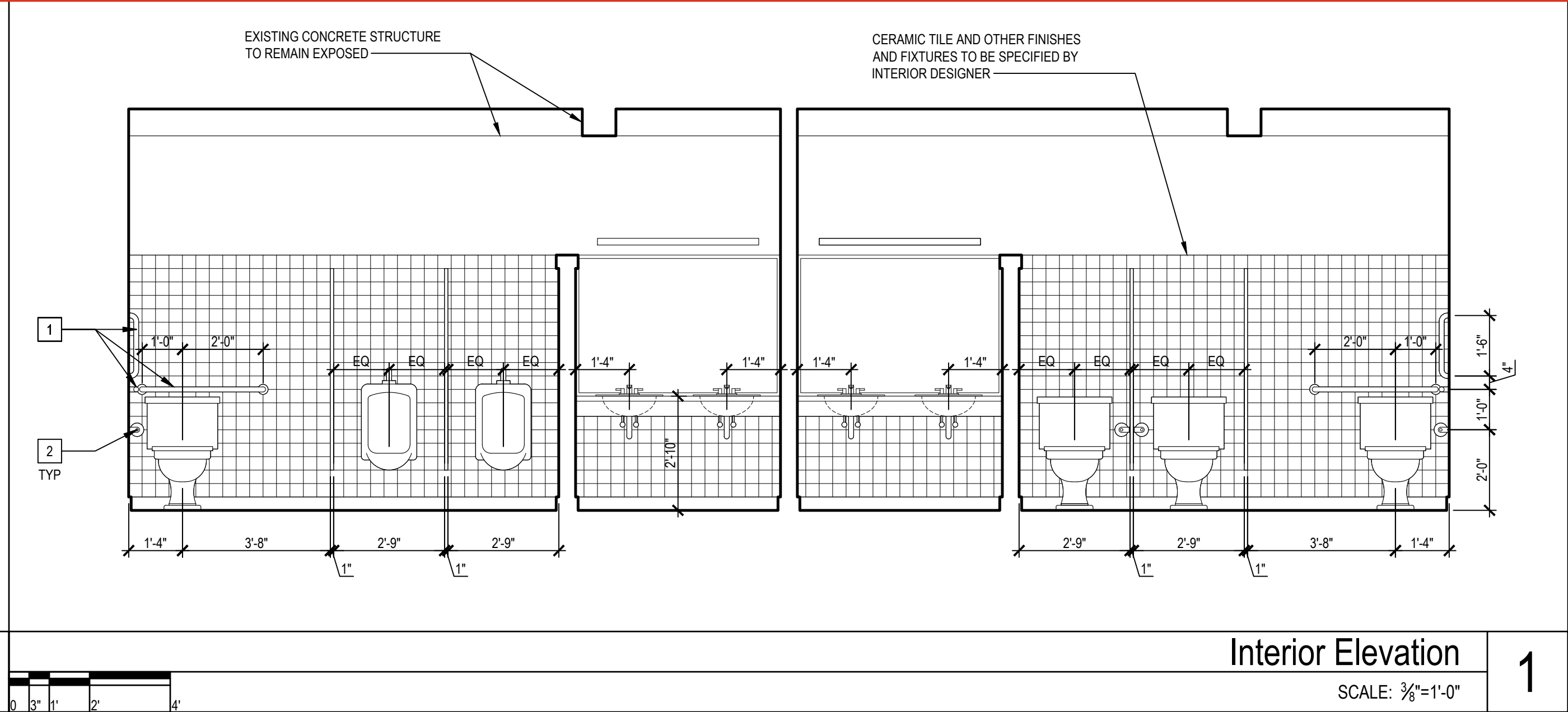
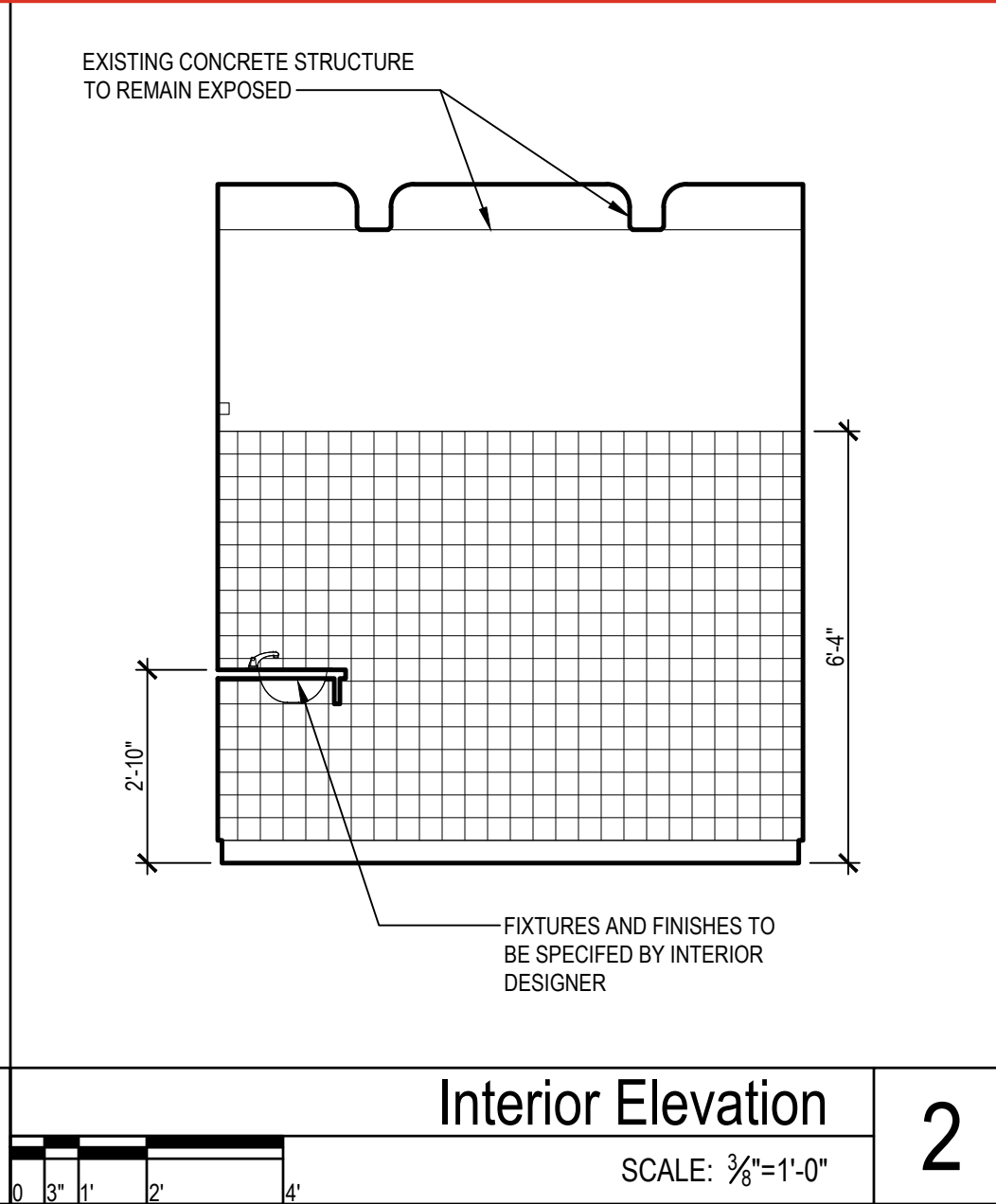
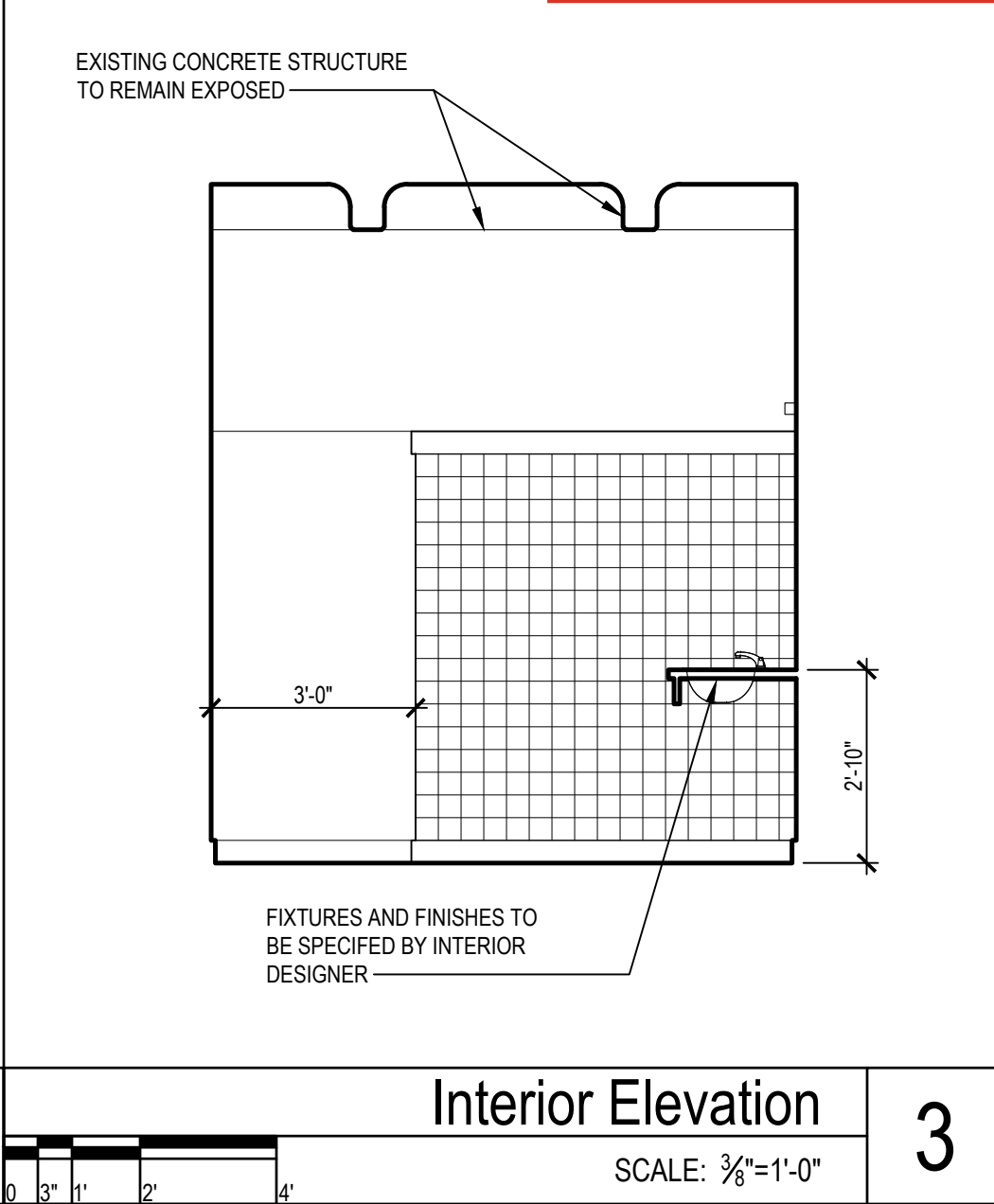
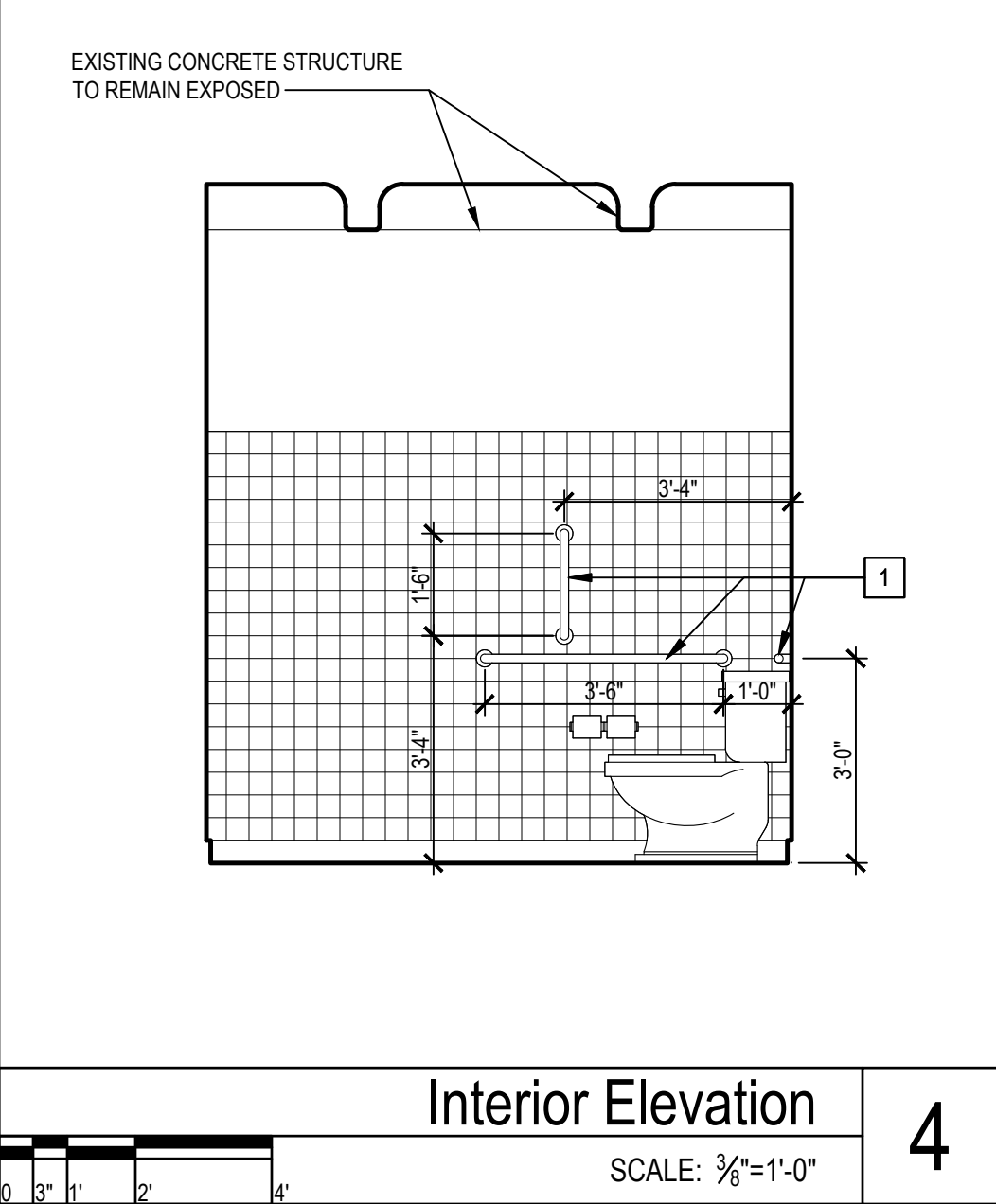
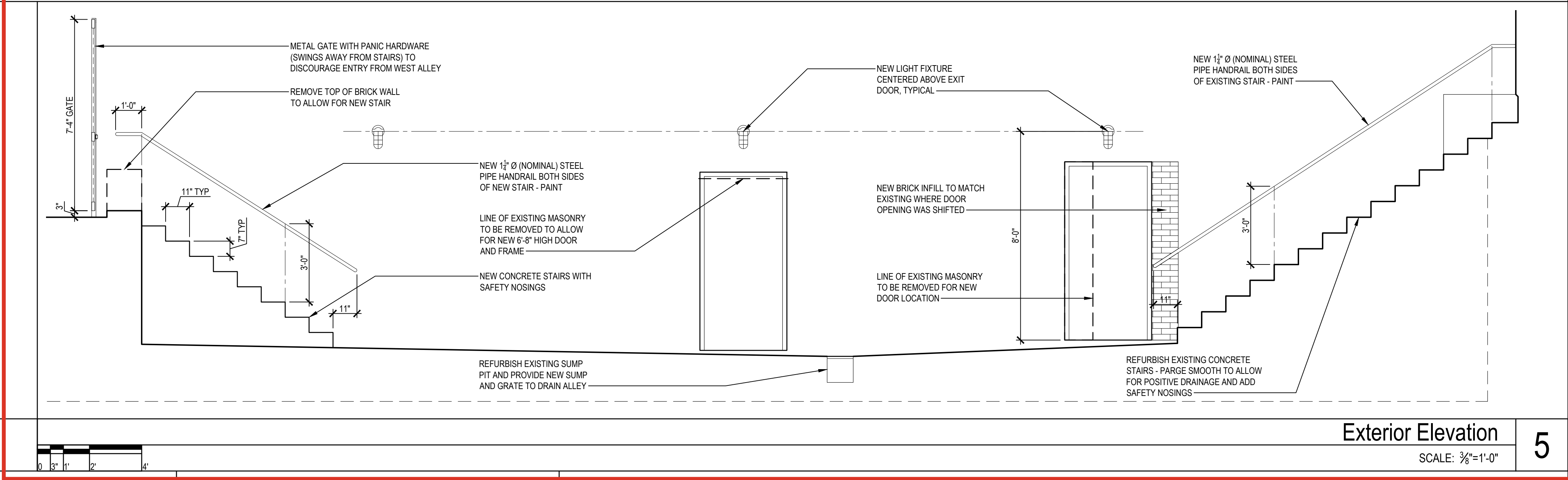
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A1

ROOM FINISH SCHEDULE												
LEVEL	ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CLG.	HGT.	REMARKS	
					North	South	East	West				
FIRST FLOOR	100	ENTRY	ETR	WD	GWB	ETR	ETR	GWB	ETR	± 9'-6"	EXISTING FINISHES TO BE REFURBISHED	
	101	STORAGE	ETR	ETR	ETR	ETR	ETR	ETR	ETR	± 9'-6"	EXISTING FINISHES TO BE REFURBISHED	
	102	CORRIDOR	ETR	WD	-	ETR	ETR	GWB	ETR	± 9'-6"	EXISTING FINISHES TO BE REFURBISHED	
	103	MEN	ETR	WD	GWB	GWB	GWB	ETR	ETR	± 9'-6"	CERAMIC TILE WAINSCOT	
	104	WOMEN	ETR	WD	GWB	GWB	GWB	ETR	ETR	± 9'-6"	CERAMIC TILE WAINSCOT	
	105	DANCE FLOOR	CPT	WD	ETR	ETR	ETR	-	ETR	± 9'-6"	EXISTING FINISHES TO BE REFURBISHED	
	106	MAIN BAR	CPT	WD	ETR	ETR	-	ETR	ETR	± 9'-6"	EXISTING FINISHES TO BE REFURBISHED	
	107	STORAGE	ETR	WD	GWB	GWB	GWB	GWB	ETR	± 9'-6"	-	
	108	STAIR	ETR	WD	GWB	GWB	GWB	ETR	ETR	± 9'-6"	EXISTING STAIR FINISHES TO REMAIN - REFURBISH AS REQUIRED	
	109	STORAGE	ETR	ETR	ETR	ETR	ETR	ETR	ETR	VARIES	EXISTING FINISHES TO BE REFURBISHED	
	110	KITCHEN	QT	QT	FRP	FRP	FRP	FRP	ETR	± 9'-6"	-	
	111	DINING	CPT	WD	ETR	ETR	ETR	ETR	ETR	± 9'-6"	EXISTING FINISHES TO BE REFURBISHED	
112	HC ACCESS	ETR	ETR	ETR	ETR	ETR	ETR	ETR	VARIES	EXISTING FINISHES TO BE REFURBISHED		
FINISH SCHEDULE NOTES									ABBREVIATIONS			
1. WHERE FLOOR FINISHES EXTEND FROM ONE ROOM TO ANOTHER, PATTERN AND DIRECTION TO BE CONTINUOUS ACROSS THRESHOLD. 2. REFER TO INTERIOR ELEVATIONS AND REFLECTED CEILING PLAN FOR EXTENT OF FINISHES. 3. INSTALL MOISTURE-RESISTANT GWB AT ALL TOILET ROOMS AND ADJACENT TO ALL SINKS. 4. ALL FLOOR, WALL, AND CEILING FINISHES TO BE SMOOTH, NON-ABSORBANT, AND WASHABLE AT ALL FOOD PREPARATION AREAS. 5. EXISTING FINISHES TO REMAIN SHOULD BE REFURBISHED, PATCH AND REPAIR WHERE REQUIRED. PLASTER OR REPLACEMENT GWB TO BE PAINTED.									ETR	-EXISTING TO REMAIN	WD	-WOOD
									CT	-CERAMIC TILE	GWB	-GYPSUM WALL BOARD - PAINT
									QT	-QUARRY TILE	SS	-STAINLESS STEEL SHEET PANEL
									FRP	-FIBER-REINFORCED PANEL	-P	-PAINT
									ACT	-ACOUSTIC CEILING TILE		
									V-ACT	-VINYL-CLAD GWB CEILING TILE		
									CPT	-CARPET TILE		

DOOR SCHEDULE															
LEVEL	DOOR NO.	ROOM NAME	DOOR						FRAME		FIRE LABEL	HDWR SET	REMARKS		
			Width	Height	Thick	Type	Mat'l	Finish	Type	Mat'l					
FIRST FLOOR	D100	ENTRY	3'-0"	6'-8"	1 3/4"	D1	HM	P	F1	HM	90 MIN	01	HM DOOR AND FRAME TO BE GALVANIZED		
	D101	STORAGE	ETR	ETR	ETR	ETR	ETR	P	ETR	ETR	-	ETR	ADD NEW LOCKSET. REFURBISH EXISTING DOOR AND HARDWARE		
	D103	MEN	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	02	-		
	D104	WOMEN	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	02	-		
	D105	BACK OF HOUSE	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	03	-		
	D107	STORAGE	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	04	-		
	D108	STAIR	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	05	-		
	D109	STORAGE	ETR	ETR	ETR	ETR	ETR	P	F1	ETR	-	ETR	ADD NEW LOCKSET. REFURBISH EXISTING DOOR AND HARDWARE		
	D110	KITCHEN	3'-0"	7'-0"	1 3/4"	D3	ALUM	PRE	F1	WD	-	N/A	DOUBLE ACTING TRAFFIC DOOR WITH VIEW LITE (BY REGENCY OR EQUAL)		
	D111	DINING	3'-0"	6'-8"	1 3/4"	D1	HM	P	F1	HM	90 MIN	01	HM DOOR AND FRAME TO BE GALVANIZED		
	D112	HC ACCESS	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	03	-		
DOOR and FRAME NOTES												ABBREVIATIONS			
1. DOOR MANUFACTURER SHALL VERIFY THAT ALL EXIT DOORS MEET ALL STATE REQUIREMENTS FOR EGRESS. 2. ALL FRAMES TO HAVE A MINIMUM RETURN OF 1'-6" TO THE ADJACENT WALL ON THE PULL SIDE FOR ACCESSIBILITY. 3. VERIFY THROAT DIMENSION OF FRAMES WITH PARTITION TYPE. 4. DOOR TYPE D1 TO BE FLUSH INSULATED GALVANIZED HOLLOW METAL (90 MINUTE RATED) - PAINT. 5. DOOR TYPE D2 TO BE 2 PANEL SIMILAR TO EXISTING DOOR D109. 6. HARDWARE SET '01' TO CONSIST OF: (3) BUTT HINGES, PANIC HARDWARE (LEVER LOCKSET AT EXTERIOR), CLOSER, WEATHERSTRIPPING, AND THRESHOLD. 7. HARDWARE SET '02' TO CONSIST OF: (3) BUTT HINGES, PUSH/PULL HARDWARE, CLOSER, AND WALL STOP. 8. HARDWARE SET '03' TO CONSIST OF: (3) BUTT HINGES, ENTRY LOCKSET, AND WALL STOP. 9. HARDWARE SET '04' TO CONSIST OF: (3) BUTT HINGES, STOREROOM LOCKSET, AND WALL STOP 10. HARDWARE SET '05' TO CONSIST OF: (3) BUTT HINGES, PANIC HARDWARE (LEVER TRIM AT INSIDE), CLOSER, AND WALL STOP. 11. WOOD FRAMES (TYPE F1) TO RECEIVE PAINTED WOOD CASING AS SPECIFIED BY INTERIOR DESIGNER.												HM	-HOLLOW METAL		
												WD	-WOOD (SOLID)		
												PRE	-PREFINISHED		
												P	-PAINT		
												ETR	-EXISTING TO REMAIN		

KEYNOTES	
1	STAINLESS STEEL GRAB BAR
2	SURFACE-MOUNTED STAINLESS STEEL TP DISPENSER



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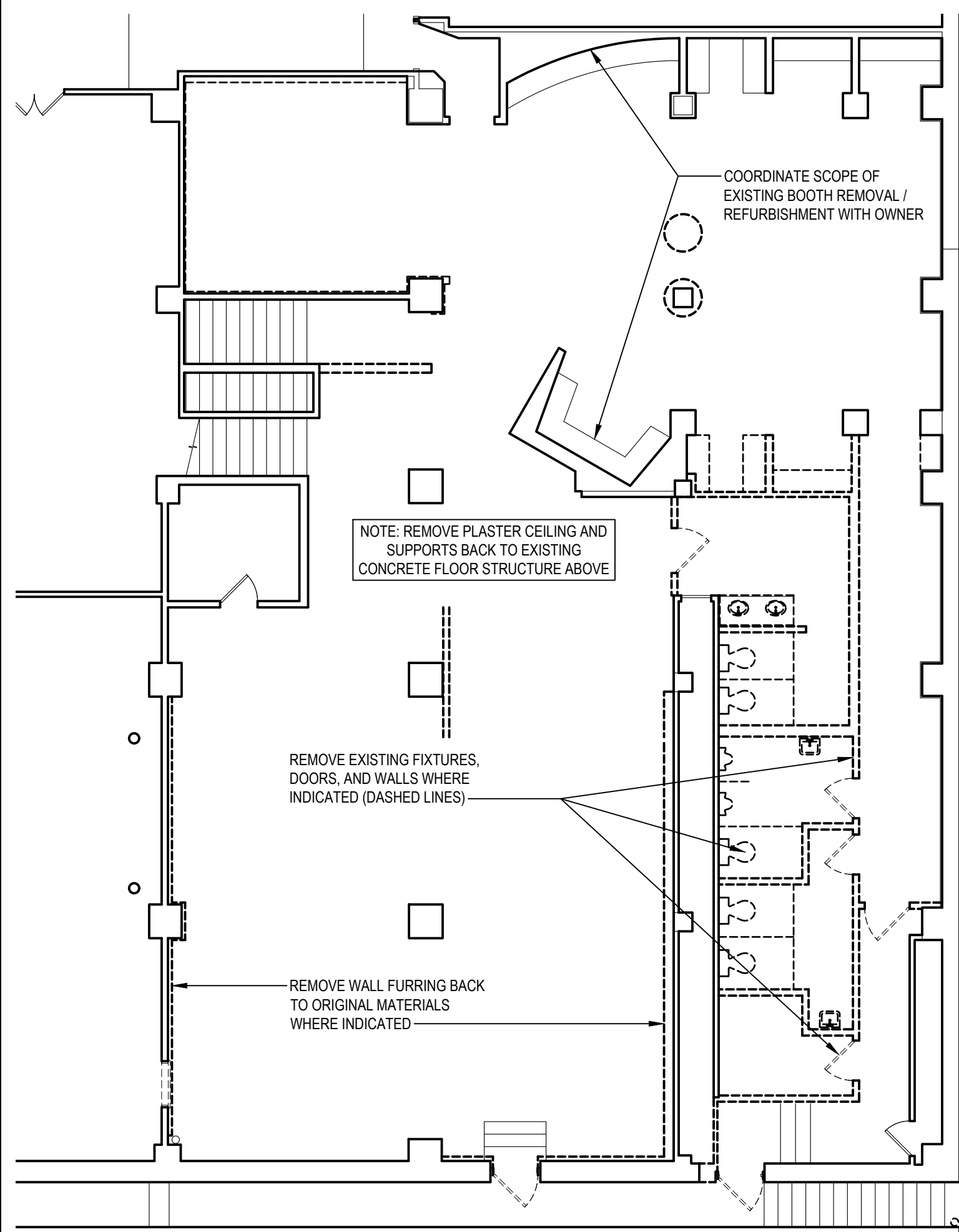
Job Number: 2412
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Revisions:



Elevations + Schedules

Sheet

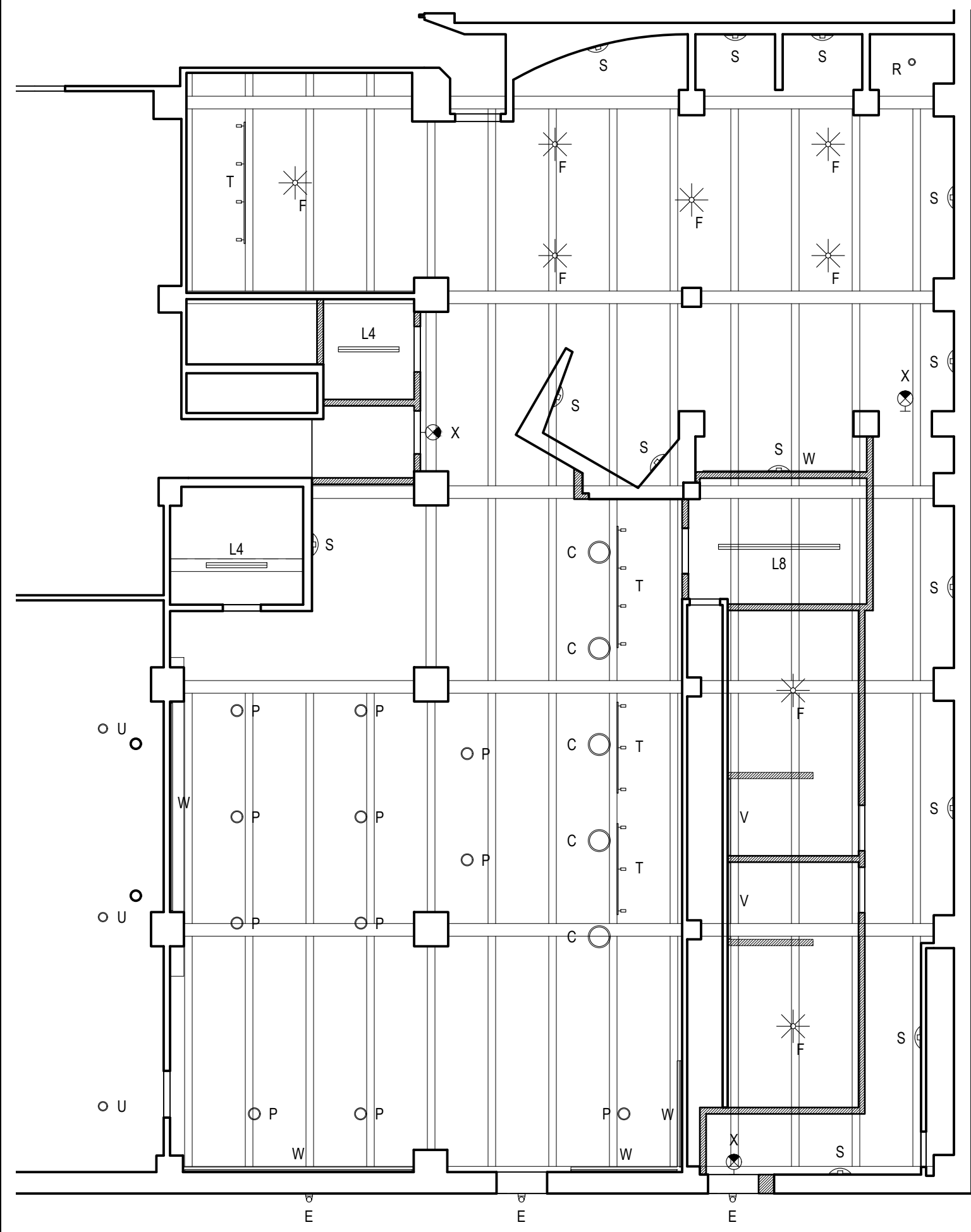
A2



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SCALE: 1/8"=1'-0"

3



Reflected Ceiling Plan

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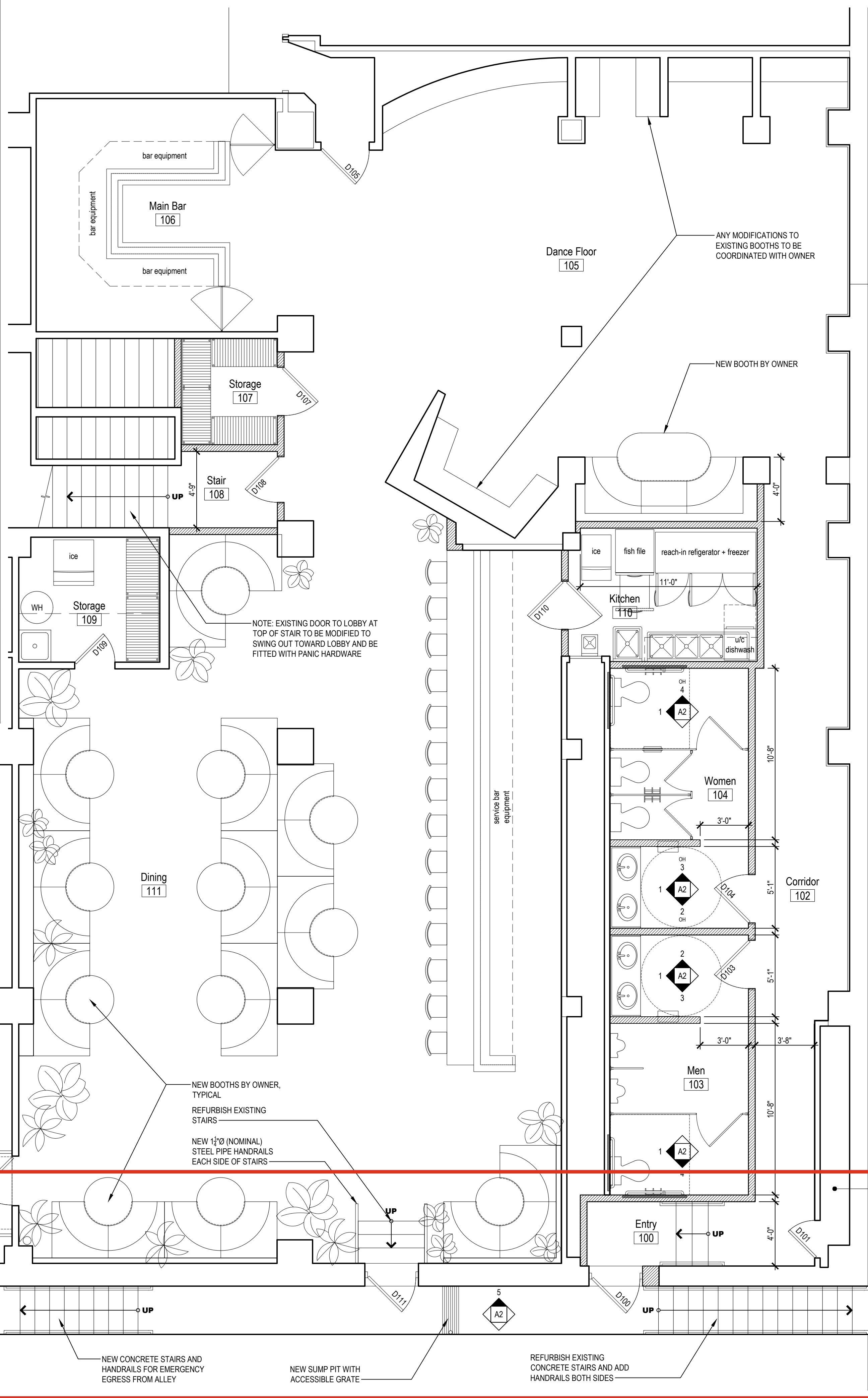
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Construction Plan

SCALE: 1/8"=1'-0"

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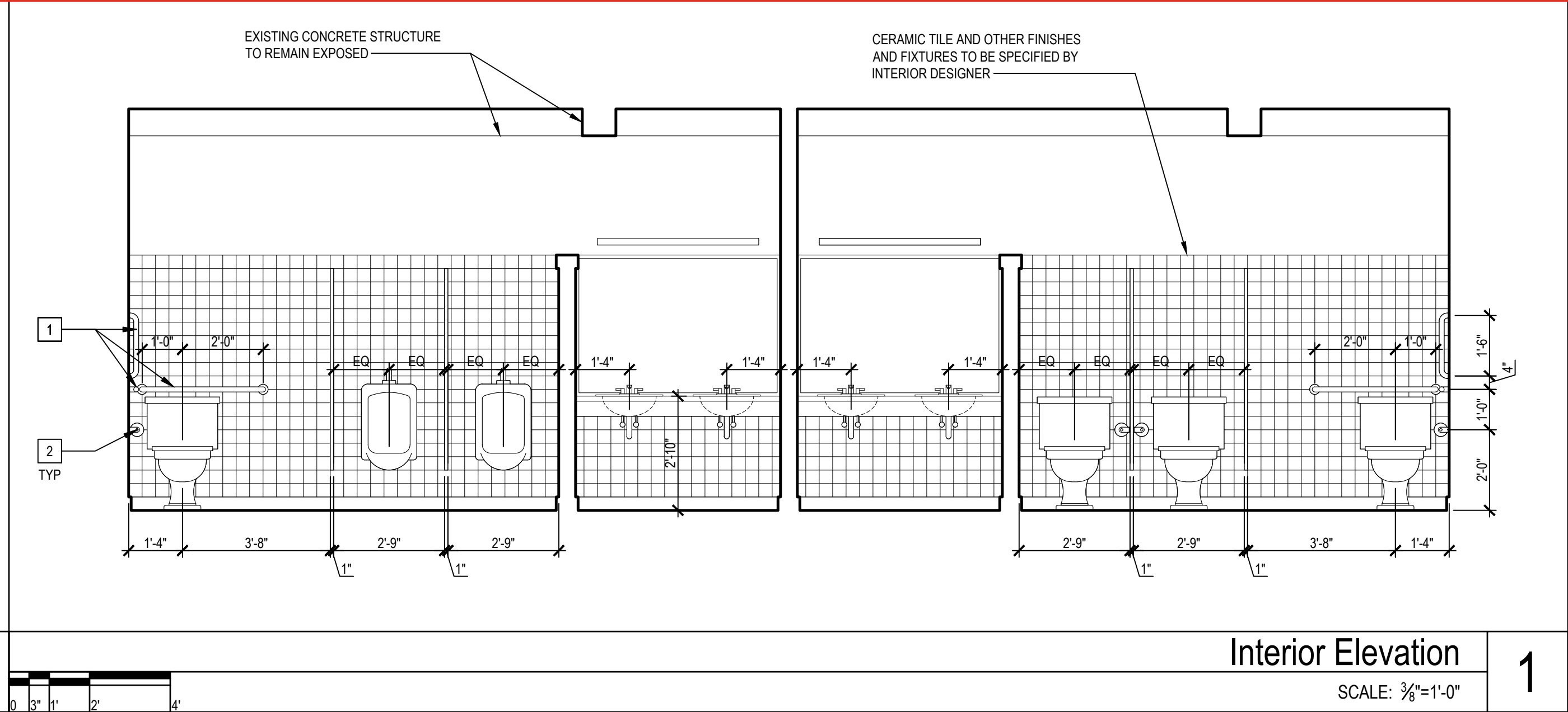
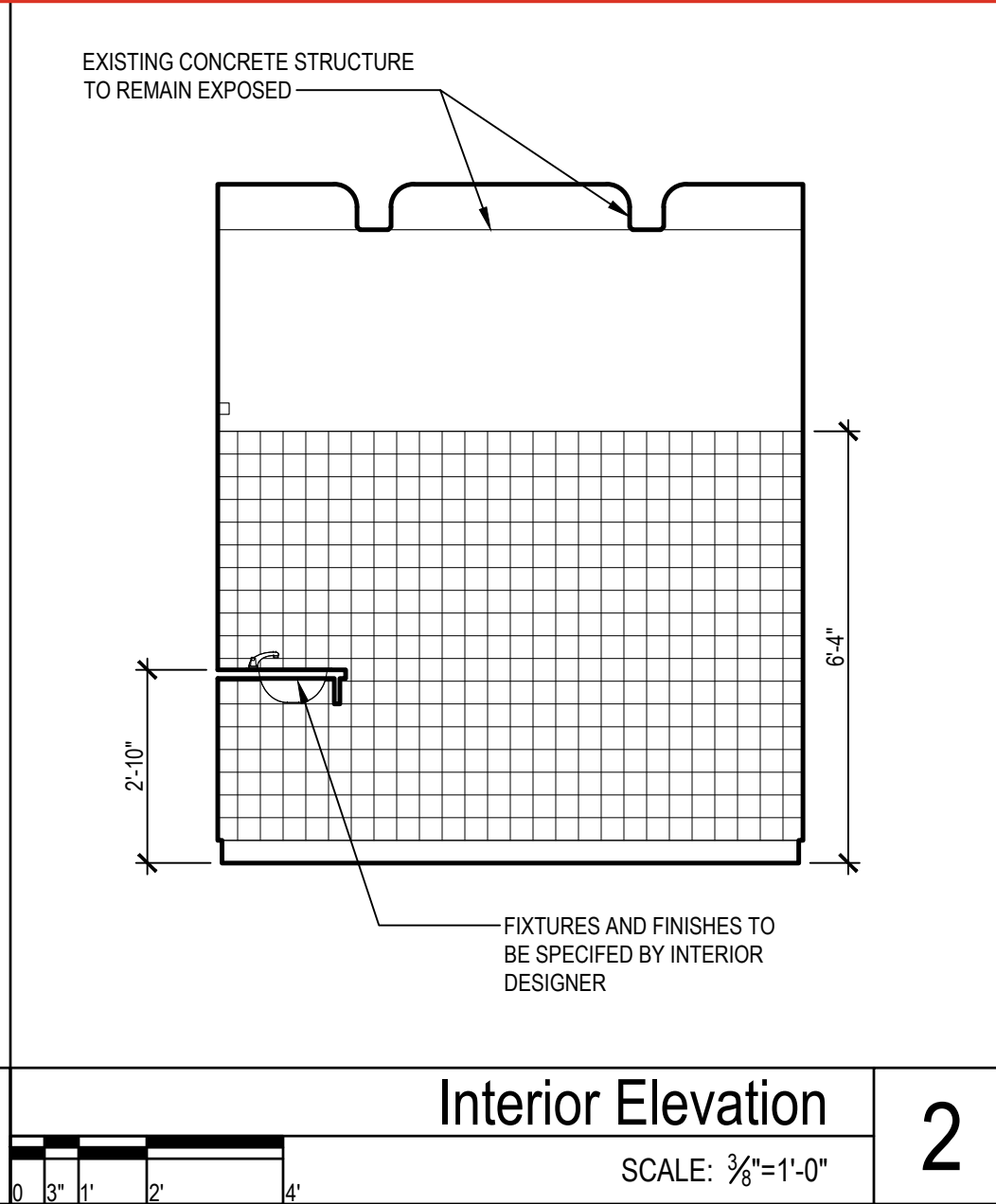
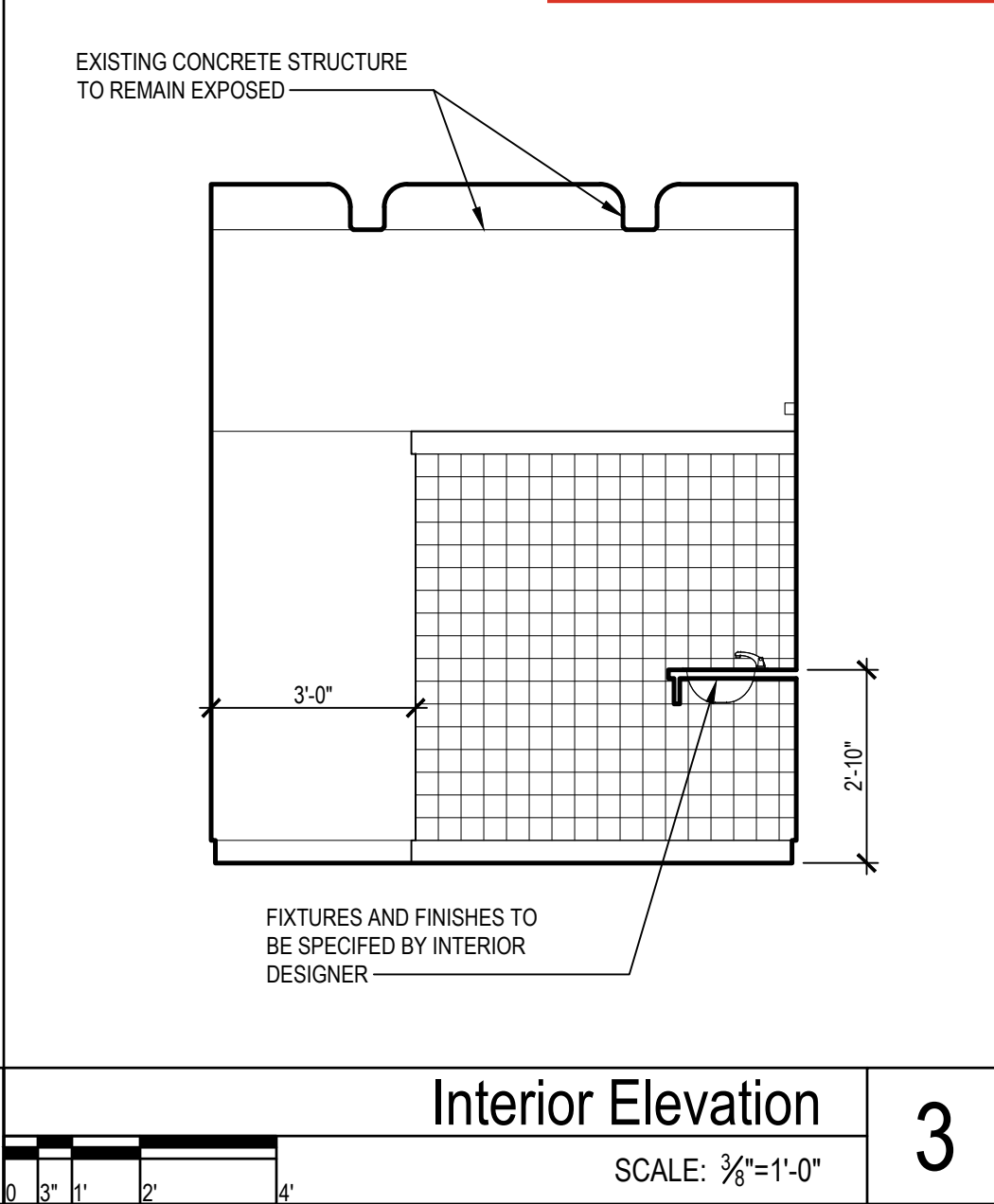
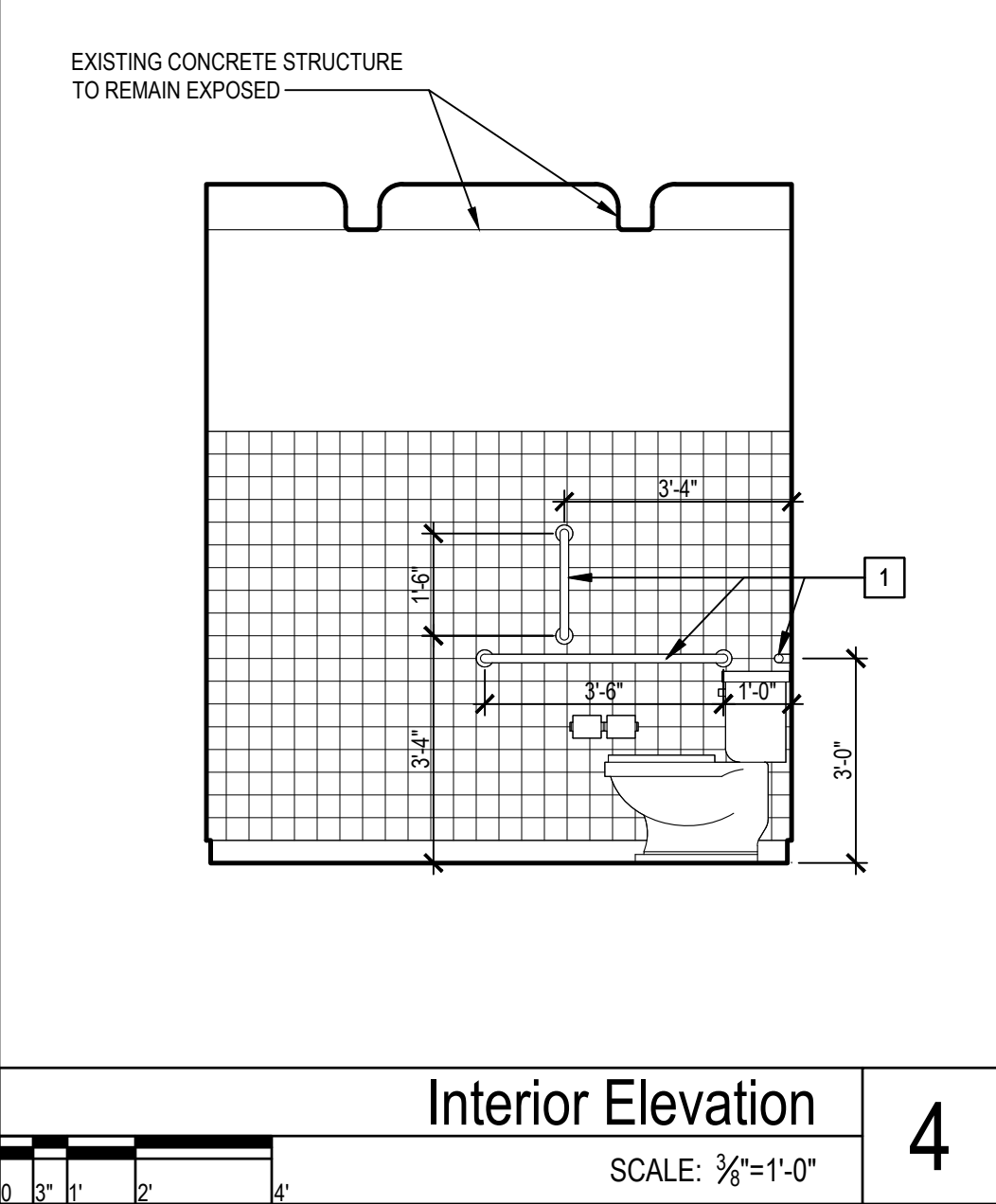
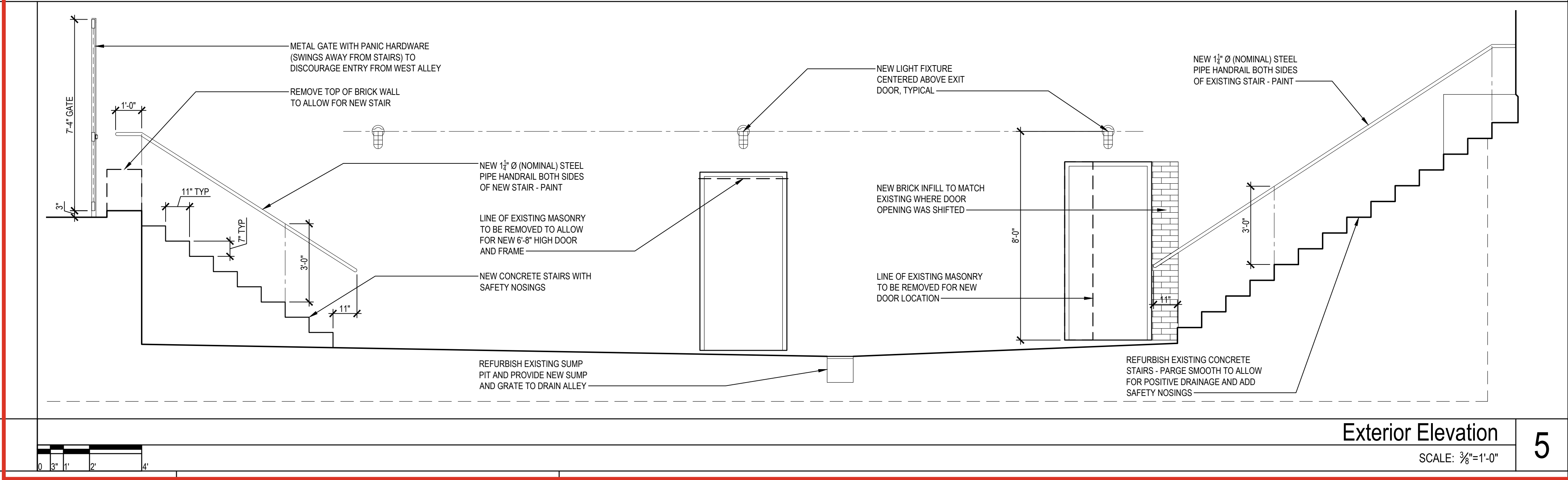
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A1

ROOM FINISH SCHEDULE												
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	105	DANCE FLOOR	CPT	WD	ETR	ETR	ETR	-	ETR	± 9'-6"	EXISTING FINISHES TO BE REFURBISHED	
	106	MAIN BAR	CPT	WD	ETR	ETR	-	ETR	ETR	± 9'-6"	EXISTING FINISHES TO BE REFURBISHED	
	107	STORAGE	ETR	WD	GWB	GWB	GWB	GWB	ETR	± 9'-6"	-	
	108	STAIR	ETR	WD	GWB	GWB	GWB	ETR	ETR	± 9'-6"	EXISTING STAIR FINISHES TO REMAIN - REFURBISH AS REQUIRED	
	109	STORAGE	ETR	ETR	ETR	ETR	ETR	ETR	ETR	VARIES	EXISTING FINISHES TO BE REFURBISHED	
	110	KITCHEN	QT	QT	FRP	FRP	FRP	FRP	ETR	± 9'-6"	-	
	111	DINING	CPT	WD	ETR	ETR	ETR	ETR	ETR	± 9'-6"	EXISTING FINISHES TO BE REFURBISHED	
112	HC ACCESS	ETR	ETR	ETR	ETR	ETR	ETR	ETR	VARIES	EXISTING FINISHES TO BE REFURBISHED		
FINISH SCHEDULE NOTES									ABBREVIATIONS			
1. WHERE FLOOR FINISHES EXTEND FROM ONE ROOM TO ANOTHER, PATTERN AND DIRECTION TO BE CONTINUOUS ACROSS THRESHOLD. 2. REFER TO INTERIOR ELEVATIONS AND REFLECTED CEILING PLAN FOR EXTENT OF FINISHES. 3. INSTALL MOISTURE-RESISTANT GWB AT ALL TOILET ROOMS AND ADJACENT TO ALL SINKS. 4. ALL FLOOR, WALL, AND CEILING FINISHES TO BE SMOOTH, NON-ABSORBANT, AND WASHABLE AT ALL FOOD PREPARATION AREAS. 5. EXISTING FINISHES TO REMAIN SHOULD BE REFURBISHED, PATCH AND REPAIR WHERE REQUIRED. PLASTER OR REPLACEMENT GWB TO BE PAINTED.									ETR	-EXISTING TO REMAIN	WD	-WOOD
									CT	-CERAMIC TILE	GWB	-GYPSUM WALL BOARD - PAINT
									QT	-QUARRY TILE	SS	-STAINLESS STEEL SHEET PANEL
									FRP	-FIBER-REINFORCED PANEL	-P	-PAINT
									ACT	-ACOUSTIC CEILING TILE		
									V-ACT	-VINYL-CLAD GWB CEILING TILE		
									CPT	-CARPET TILE		

DOOR SCHEDULE															
LEVEL	DOOR NO.	ROOM NAME	DOOR						FRAME		FIRE LABEL	HDWR SET	REMARKS		
			Width	Height	Thick	Type	Mat'l	Finish	Type	Mat'l					
FIRST FLOOR	D100	ENTRY	3'-0"	6'-8"	1 3/4"	D1	HM	P	F1	HM	90 MIN	01	HM DOOR AND FRAME TO BE GALVANIZED		
	D101	STORAGE	ETR	ETR	ETR	ETR	P	ETR	ETR	-	ETR	ADD NEW LOCKSET. REFURBISH EXISTING DOOR AND HARDWARE			
	D103	MEN	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	02	-		
	D104	WOMEN	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	02	-		
	D105	BACK OF HOUSE	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	03	-		
	D107	STORAGE	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	04	-		
	D108	STAIR	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	05	-		
	D109	STORAGE	ETR	ETR	ETR	ETR	P	F1	ETR	-	ETR	ADD NEW LOCKSET. REFURBISH EXISTING DOOR AND HARDWARE			
	D110	KITCHEN	3'-0"	7'-0"	1 3/4"	D3	ALUM	PRE	F1	WD	-	N/A	DOUBLE ACTING TRAFFIC DOOR WITH VIEW LITE (BY REGENCY OR EQUAL)		
	D111	DINING	3'-0"	6'-8"	1 3/4"	D1	HM	P	F1	HM	90 MIN	01	HM DOOR AND FRAME TO BE GALVANIZED		
	D112	HC ACCESS	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	03	-		
DOOR and FRAME NOTES												ABBREVIATIONS			
1. DOOR MANUFACTURER SHALL VERIFY THAT ALL EXIT DOORS MEET ALL STATE REQUIREMENTS FOR EGRESS. 2. ALL FRAMES TO HAVE A MINIMUM RETURN OF 1'-6" TO THE ADJACENT WALL ON THE PULL SIDE FOR ACCESSIBILITY. 3. VERIFY THROAT DIMENSION OF FRAMES WITH PARTITION TYPE. 4. DOOR TYPE D1 TO BE FLUSH INSULATED GALVANIZED HOLLOW METAL (90 MINUTE RATED) - PAINT. 5. DOOR TYPE D2 TO BE 2 PANEL SIMILAR TO EXISTING DOOR D109. 6. HARDWARE SET '01' TO CONSIST OF: (3) BUTT HINGES, PANIC HARDWARE (LEVER LOCKSET AT EXTERIOR), CLOSER, WEATHERSTRIPPING, AND THRESHOLD. 7. HARDWARE SET '02' TO CONSIST OF: (3) BUTT HINGES, PUSH/PULL HARDWARE, CLOSER, AND WALL STOP. 8. HARDWARE SET '03' TO CONSIST OF: (3) BUTT HINGES, ENTRY LOCKSET, AND WALL STOP. 9. HARDWARE SET '04' TO CONSIST OF: (3) BUTT HINGES, STOREROOM LOCKSET, AND WALL STOP 10. HARDWARE SET '05' TO CONSIST OF: (3) BUTT HINGES, PANIC HARDWARE (LEVER TRIM AT INSIDE), CLOSER, AND WALL STOP. 11. WOOD FRAMES (TYPE F1) TO RECEIVE PAINTED WOOD CASING AS SPECIFIED BY INTERIOR DESIGNER.												HM	-HOLLOW METAL		
												WD	-WOOD (SOLID)		
												PRE	-PREFINISHED		
												P	-PAINT		
												ETR	-EXISTING TO REMAIN		

KEYNOTES	
1	STAINLESS STEEL GRAB BAR
2	SURFACE-MOUNTED STAINLESS STEEL TP DISPENSER



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Sir Walter
Speakeasy

400 Fayetteville Street
Raleigh, NC

Job Number: 2412

Date: 12.20.24

Revisions:

78792
CHapel Hill • NC
12.20.24

50404
CHapel Hill • NC

Elevations + Schedules

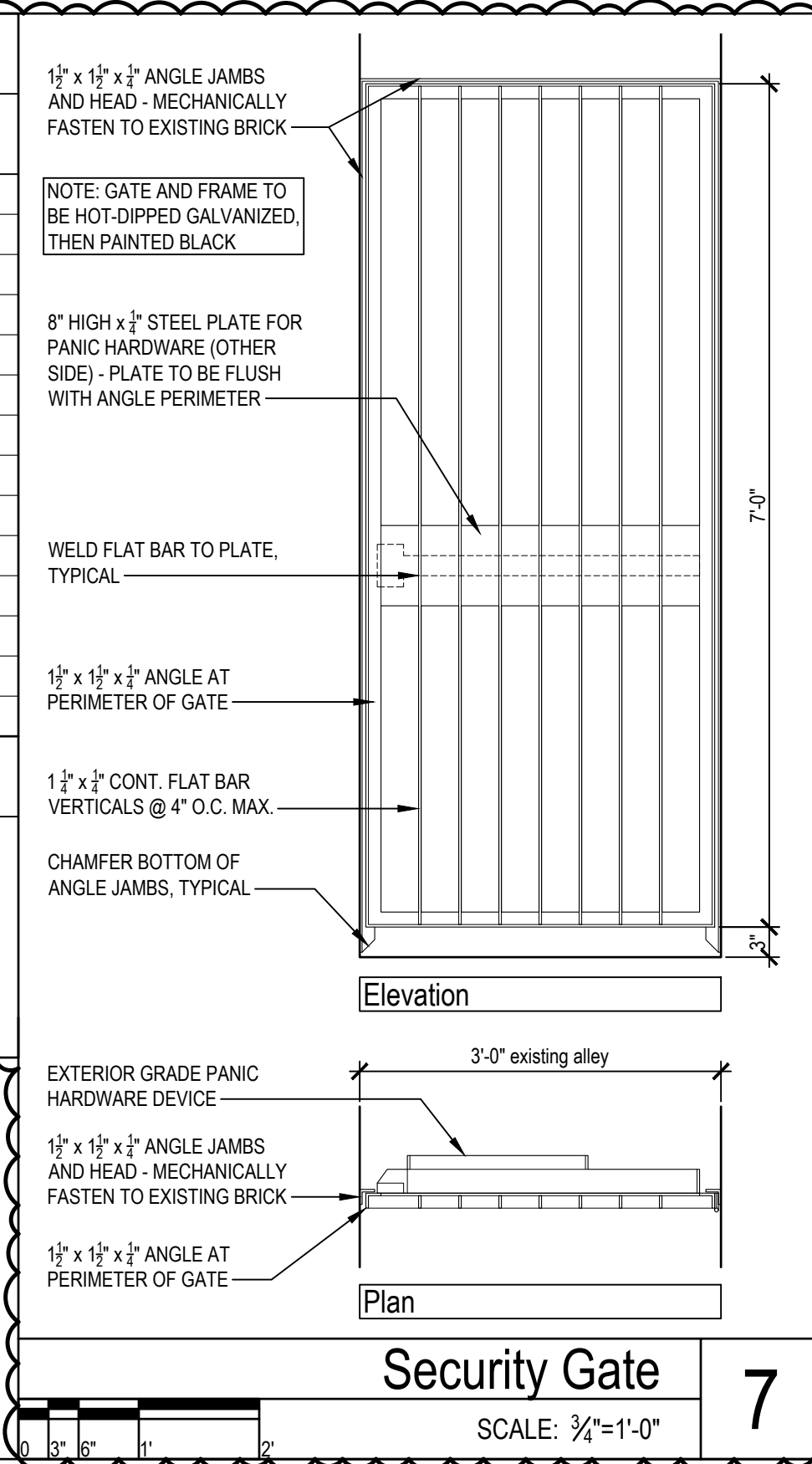
Sheet

A2

ROOM FINISH SCHEDULE											
LEVEL	ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CLG.	HGT.	REMARKS
					North	South	East	West			
FIRST FLOOR	100	ENTRY	MT	WD	GWB	ETR-P	ETR-P	GWB	ETR-P	± 9'-6"	REFURBISH EXISTING CT WAINSCOT
	101	STORAGE	QT	QT	ETR-P	ETR-P	ETR-P	ETR-P	ETR-P	± 9'-6"	REFURBISH EXISTING CT WAINSCOT
	102	CORRIDOR	MT	WD	-	ETR-P	ETR-P	GWB	ETR-P	± 9'-6"	REFURBISH EXISTING CT WAINSCOT
	103	MEN	MT	CT	GWB	GWB	GWB	ETR-P	ETR-P	± 9'-6"	CERAMIC TILE WAINSCOT
	104	WOMEN	MT	CT	GWB	GWB	GWB	ETR-P	ETR-P	± 9'-6"	CERAMIC TILE WAINSCOT
	105	DANCE FLOOR	MT	WD	ETR-P	ETR-P	ETR-P	-	ETR-P	± 9'-6"	EXISTING WOOD BOOTHS AND TRIM TO BE REFURBISHED
	106	MAIN BAR	QT	QT	GWB	GWB	-	GWB	ETR-P	± 9'-6"	-
	107	STORAGE	QT	QT	GWB	GWB	GWB	GWB	ETR-P	± 9'-6"	-
	108	STAIR	MT	WD	GWB	GWB	GWB	ETR-P	ETR-P	± 9'-6"	EXISTING STAIR FINISHES TO REMAIN - REFURBISH AS REQUIRED
	109	STORAGE	QT	QT	ETR-P	ETR-P	ETR-P	ETR-P	ETR-P	VARIES	-
	110	KITCHEN	QT	QT	GWB	GWB	GWB	GWB	ETR-P	± 9'-6"	ALL PAINT AT KITCHEN TO BE COMMERCIAL GRADE ELASTOMERIC PAINT
	111	DINING	CPT	WD	ETR	ETR	ETR	ETR	ETR	± 9'-6"	EXISTING FINISHES TO BE REFURBISHED
	112	SUSHI BAR	QT	QT	ETR-P	-	ETR-P	-	ETR-P	± 9'-6"	-
	113	HC ACCESS	ETR	ETR	ETR	ETR	ETR	ETR	ETR	VARIES	PAINT FLOOR INDICATING ROUTE THROUGH EXISTING MECHANICAL ROOM

- FINISH SCHEDULE NOTES**
- WHERE FLOOR FINISHES EXTEND FROM ONE ROOM TO ANOTHER, PATTERN AND DIRECTION TO BE CONTINUOUS ACROSS THRESHOLD.
 - REFER TO INTERIOR ELEVATIONS AND REFLECTED CEILING PLAN FOR EXTENT OF FINISHES.
 - INSTALL MOISTURE-RESISTANT GWB AT ALL TOILET ROOMS AND ADJACENT TO ALL SINKS.
 - ALL FLOOR, WALL, AND CEILING FINISHES TO BE SMOOTH, NON-ABSORBANT, AND WASHABLE AT ALL FOOD PREPARATION AREAS.
 - EXISTING WALL FINISHES: 'ETR' = EXISTING PLASTER OR MASONRY - PATCH AND PAINT
 - EXISTING CEILING FINISHES: 'ETR' = EXISTING (SMOOTH) CONCRETE DECKING AND BEAMS - PATCH AND PAINT

ABBREVIATIONS			
ETR	-EXISTING TO REMAIN	WD	-WOOD
CT	-CERAMIC TILE	GWB	-GYPSUM WALL BOARD - PAINT
QT	-QUARRY TILE	SS	-STAINLESS STEEL SHEET PANEL
MT	-MARBLE TILE	-P	-PAINT
FRP	-FIBER-REINFORCED PANEL		
ACT	-ACOUSTIC CEILING TILE		
V-ACT	-VINYL-CLAD GWB CEILING TILE		
CPT	-CARPET TILE		

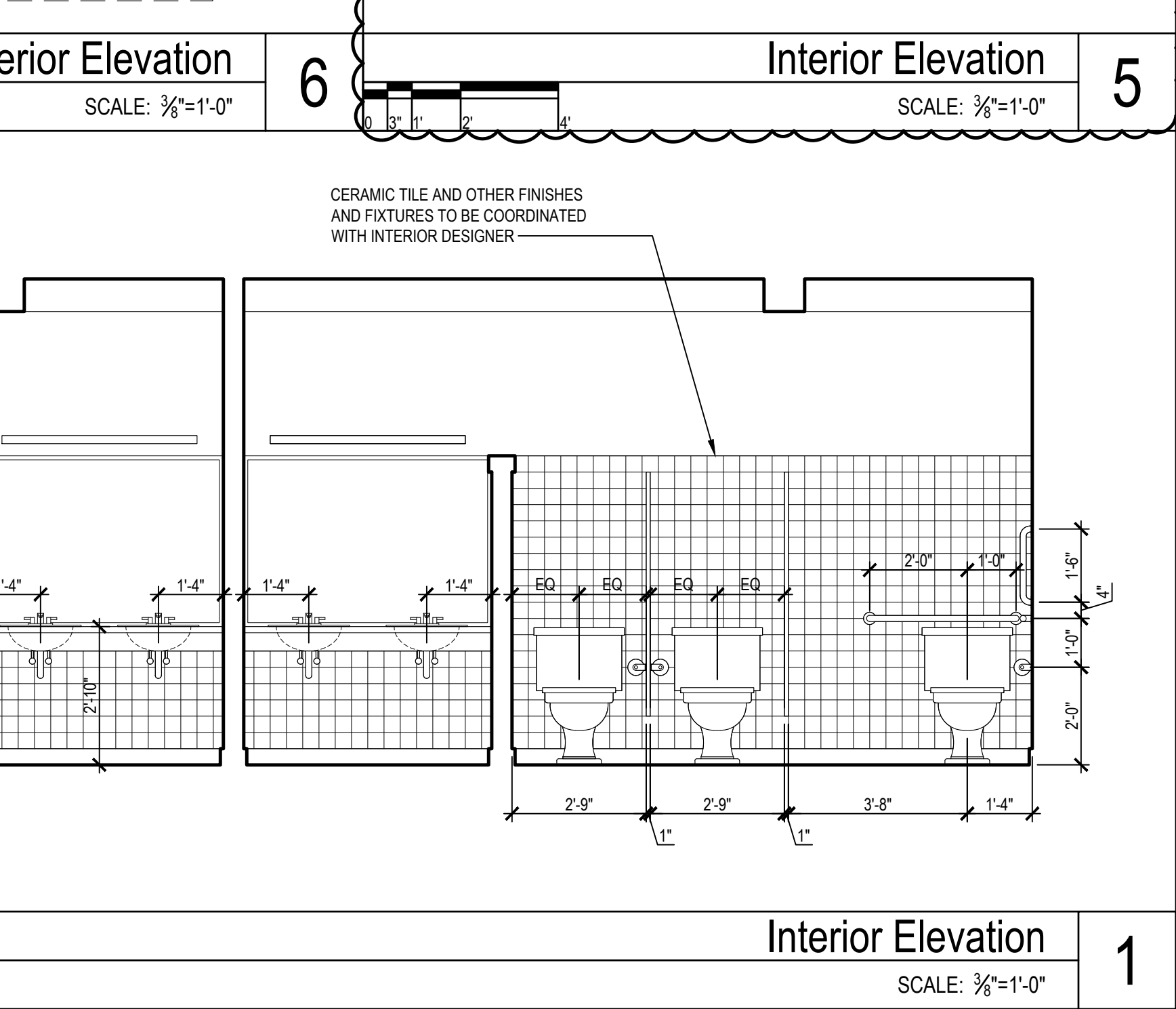
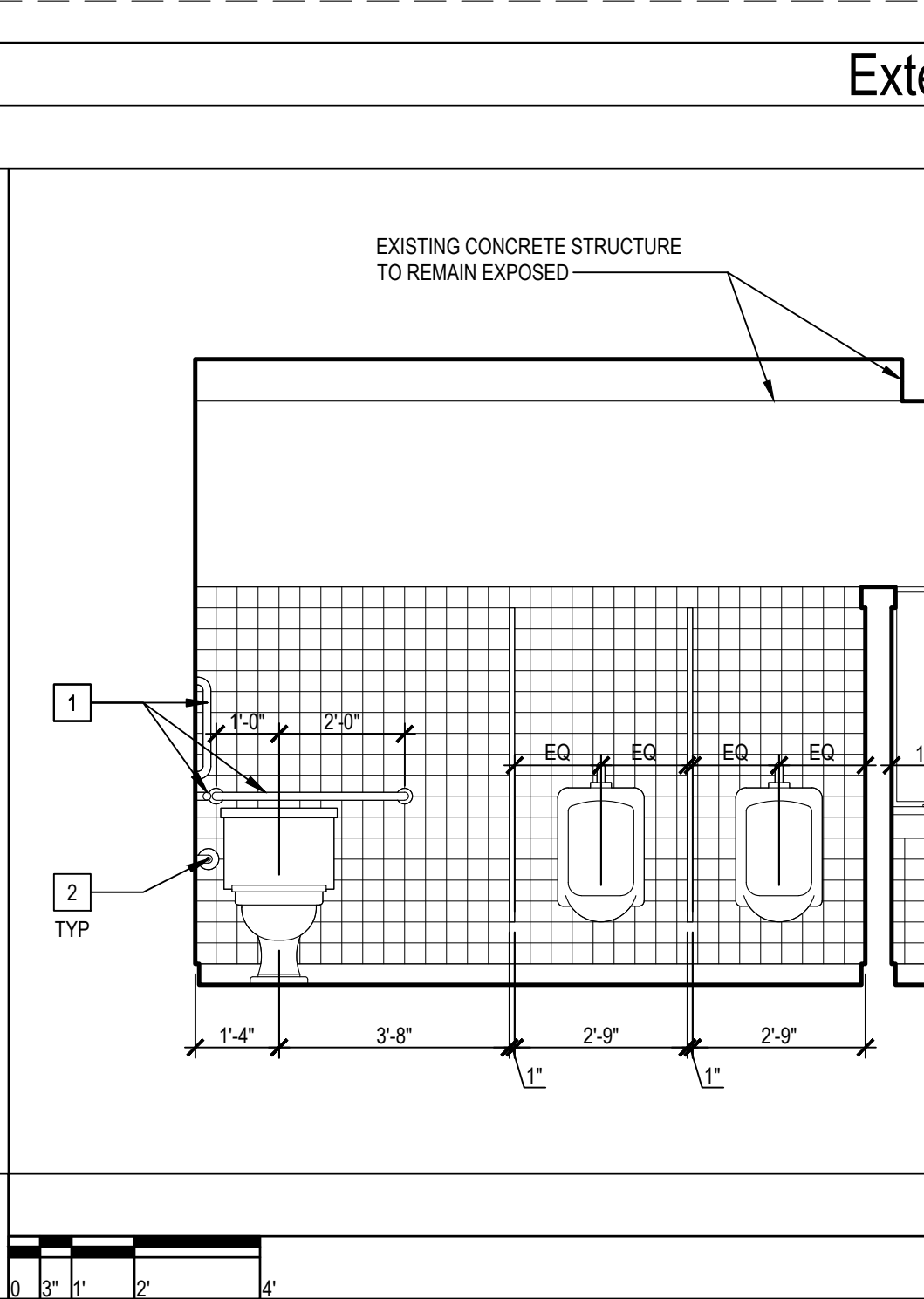
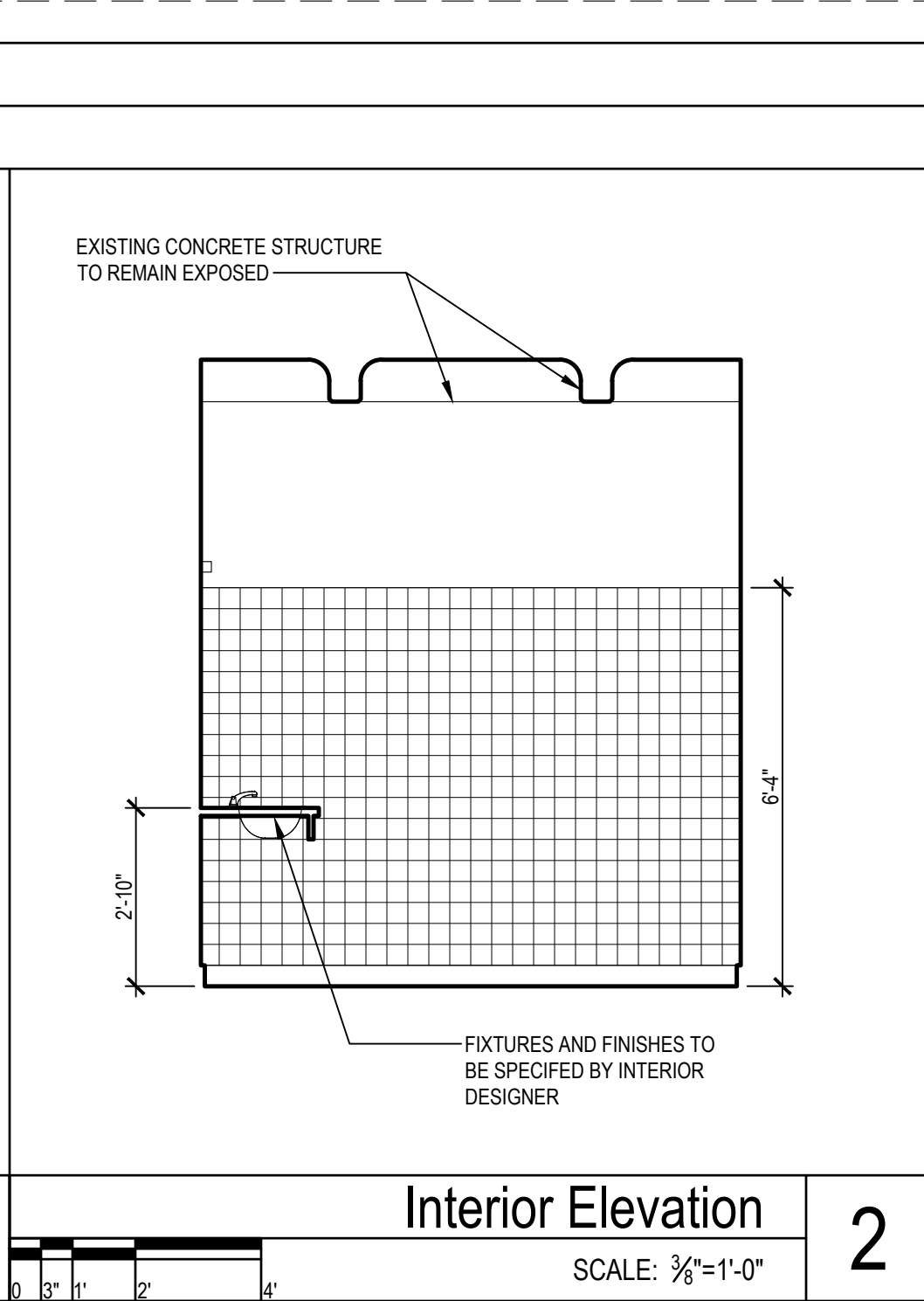
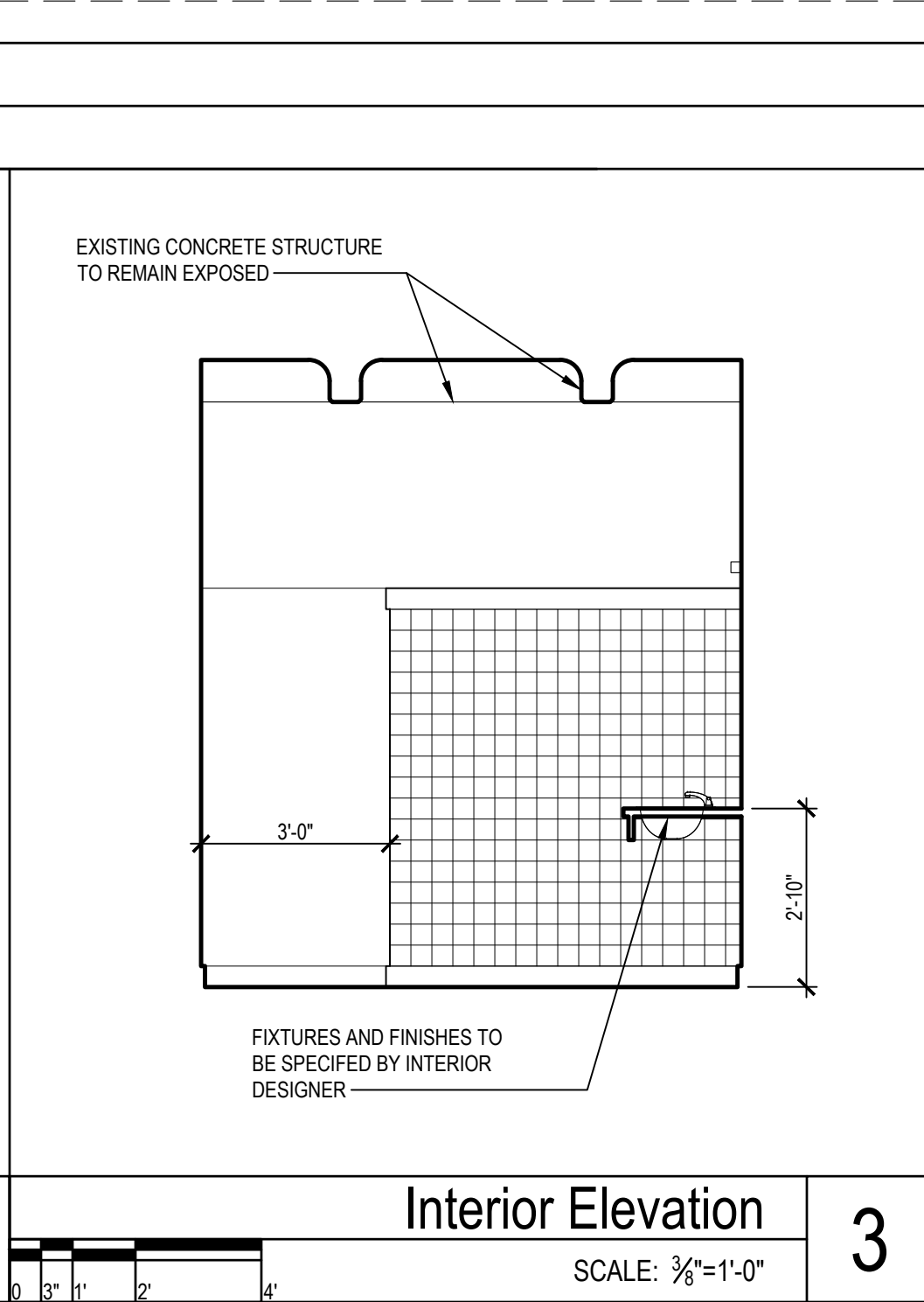
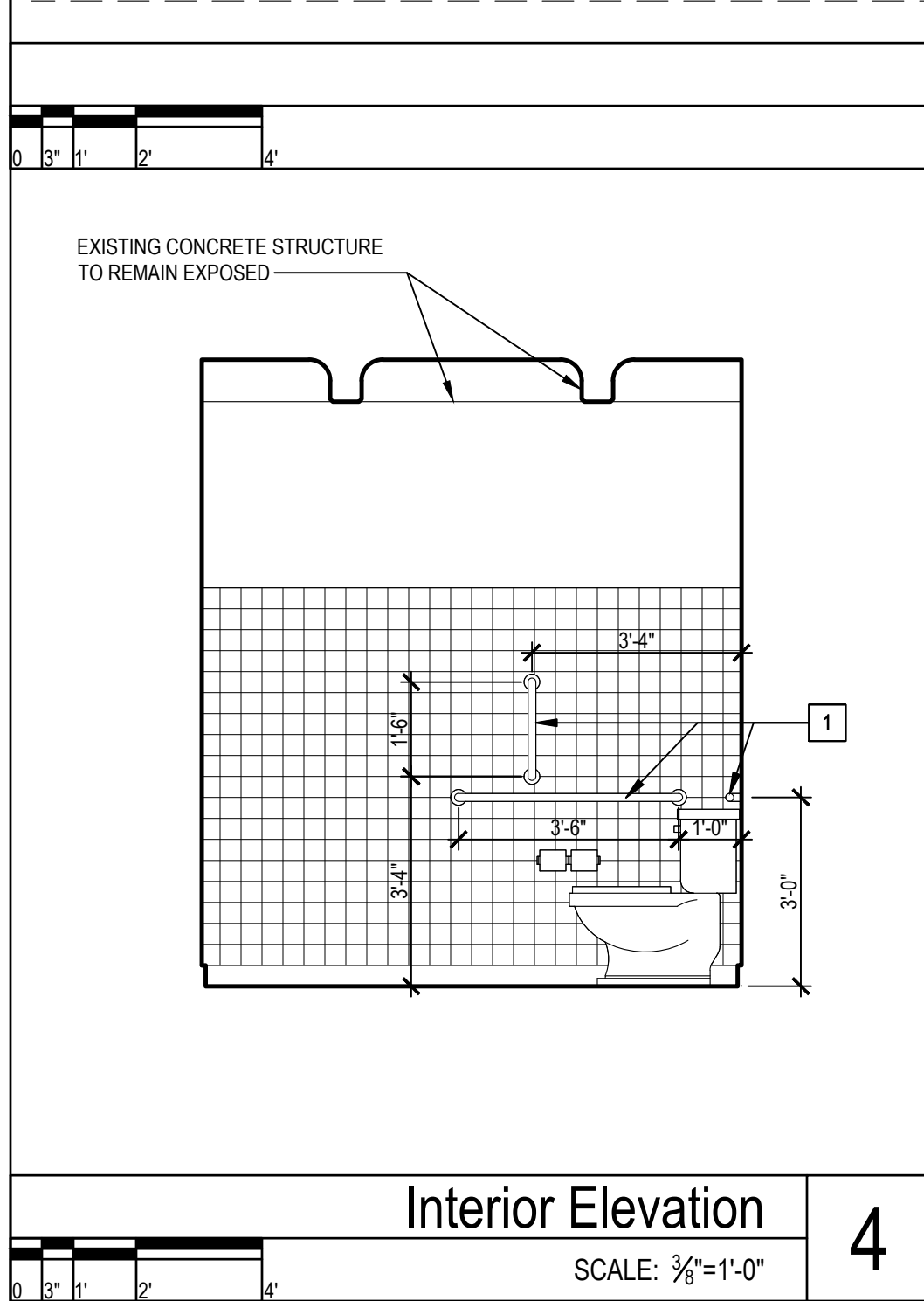
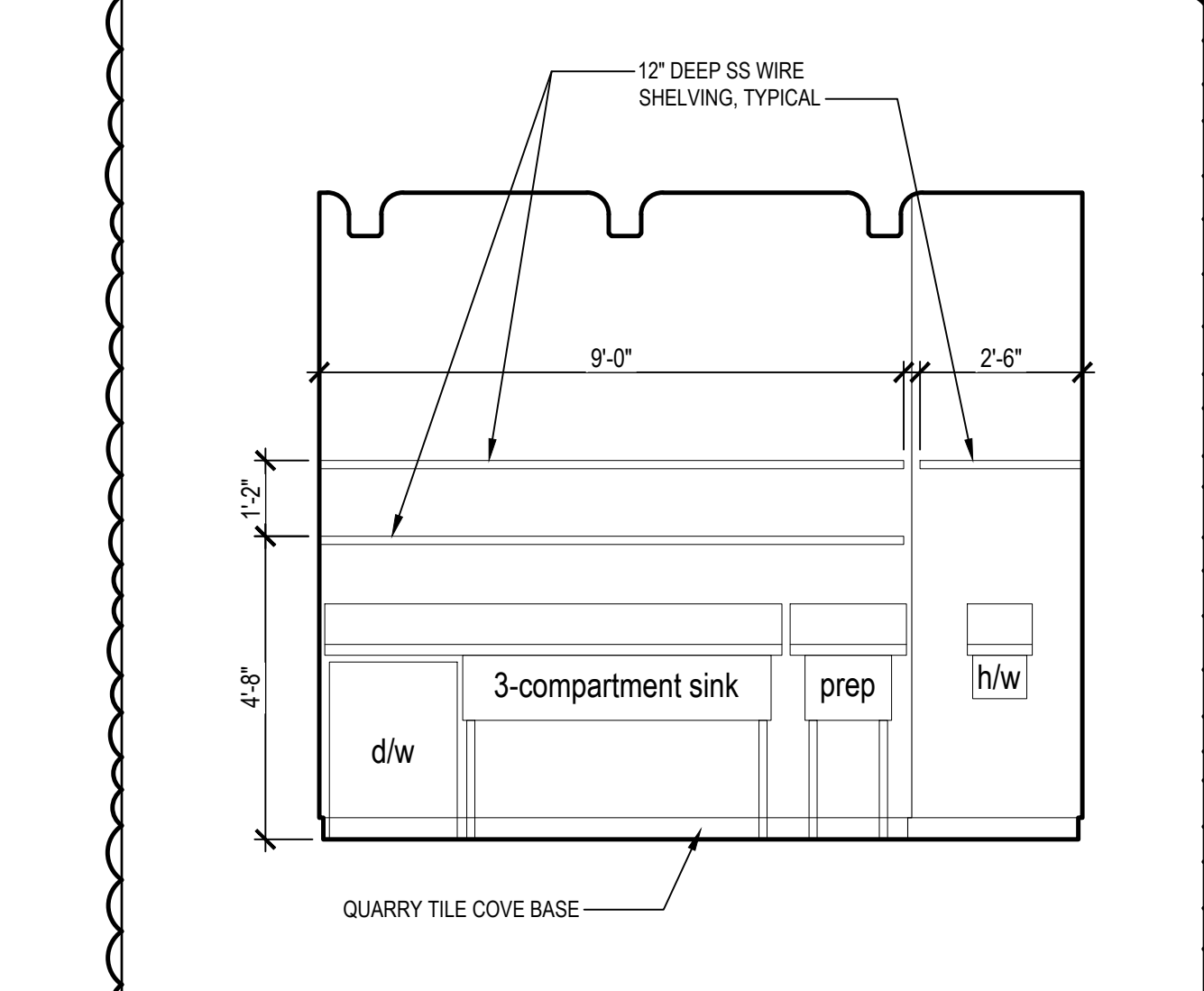
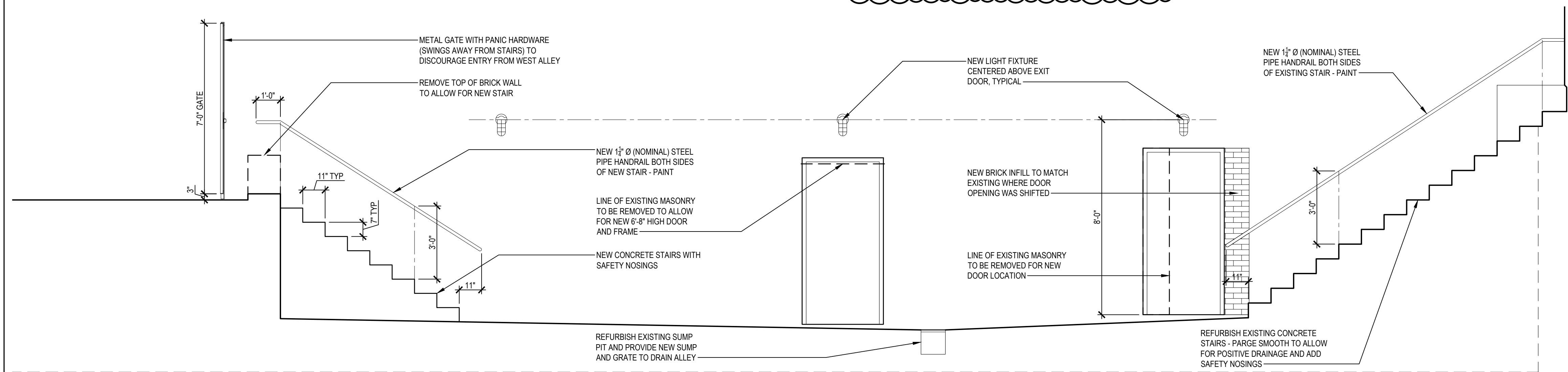


DOOR SCHEDULE													
LEVEL	DOOR NO.	ROOM NAME	DOOR						FRAME		FIRE LABEL	HDFR SET	REMARKS
			Width	Height	Thick	Type	Mat'l	Finish	Type	Mat'l			
FIRST FLOOR	D100	ENTRY	3'-0"	6'-8"	1 3/4"	D1	HM	P	F1	HM	-	01	HM DOOR AND FRAME TO BE GALVANIZED
	D101	STORAGE	ETR	ETR	ETR	ETR	ETR	P	ETR	ETR	-	ETR	ADD NEW LOCKSET. REFURBISH EXISTING DOOR AND HARDWARE
	D103	MEN	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	02	-
	D104	WOMEN	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	02	-
	D105	BACK OF HOUSE	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	03	-
	D107	DRY GOODS	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	04	-
	D108	STAIR	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	05	NOTE THAT THIS IS A NON-RATED COMMUNICATING STAIR
	D109	STORAGE	ETR	ETR	ETR	ETR	ETR	P	ETR	ETR	-	ETR	ADD NEW LOCKSET. REFURBISH EXISTING DOOR AND HARDWARE
	D110	KITCHEN	3'-0"	7'-0"	1 3/4"	D3	ALUM	PRE	F1	WD	-	N/A	DOUBLE ACTING TRAFFIC DOOR WITH VIEW LITE (BY REGENCY OR EQUAL)
	D111	DINING	3'-0"	6'-8"	1 3/4"	D1	HM	P	F1	HM	-	01	HM DOOR AND FRAME TO BE GALVANIZED
	D113	HC ACCESS	3'-0"	6'-8"	1 3/4"	D2	WD	P	F1	WD	-	03	-

- DOOR and FRAME NOTES**
- DOOR MANUFACTURER SHALL VERIFY THAT ALL EXIT DOORS MEET ALL STATE REQUIREMENTS FOR EGRESS.
 - ALL FRAMES TO HAVE A MINIMUM RETURN OF 1'-6" TO THE ADJACENT WALL ON THE PULL SIDE FOR ACCESSIBILITY.
 - VERIFY THROAT DIMENSION OF FRAMES WITH PARTITION TYPE.
 - DOOR TYPE D1 TO BE FLUSH INSULATED GALVANIZED HOLLOW METAL - PAINT.
 - DOOR TYPE D2 TO BE 2 PANEL SIMILAR TO EXISTING DOOR D109.
 - HARDWARE SET '01' TO CONSIST OF: (3) BUTT HINGES, PANIC HARDWARE (LEVER LOCKSET AT EXTERIOR), CLOSER, WEATHERSTRIPPING, AND THRESHOLD.
 - HARDWARE SET '02' TO CONSIST OF: (3) BUTT HINGES, PUSH/PULL HARDWARE, CLOSER, AND WALL STOP.
 - HARDWARE SET '03' TO CONSIST OF: (3) BUTT HINGES, ENTRY LOCKSET, AND WALL STOP.
 - HARDWARE SET '04' TO CONSIST OF: (3) BUTT HINGES, STOREROOM LOCKSET, AND WALL STOP.
 - HARDWARE SET '05' TO CONSIST OF: (3) BUTT HINGES, PANIC HARDWARE (LEVER TRIM AT INSIDE), CLOSER, AND WALL STOP.
 - WOOD FRAMES (TYPE F1) TO RECEIVE PAINTED WOOD CASING AS SPECIFIED BY INTERIOR DESIGNER.

ABBREVIATIONS	
HM	-HOLLOW METAL
WD	-WOOD (SOLID)
PRE	-PREFINISHED
P	-PAINT
ETR	-EXISTING TO REMAIN

- KEYNOTES**
- 1 STAINLESS STEEL GRAB BAR
 - 2 SURFACE-MOUNTED STAINLESS STEEL TP DISPENSER



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Sir Walter Speakeasy

400 Fayetteville Street
Raleigh, NC

- Job Number: 2412
Date: 12.20.24
Revisions:
Review Comments-1 04.01.25

Professional Engineer Seal: TISE • KIESTER ARCHITECTS, P.A. 8792 NORTH CAROLINA CHAPEL HILL • NC 12.20.24

Professional Engineer Seal: TISE • KIESTER ARCHITECTS, P.A. 50404 NORTH CAROLINA CHAPEL HILL • NC

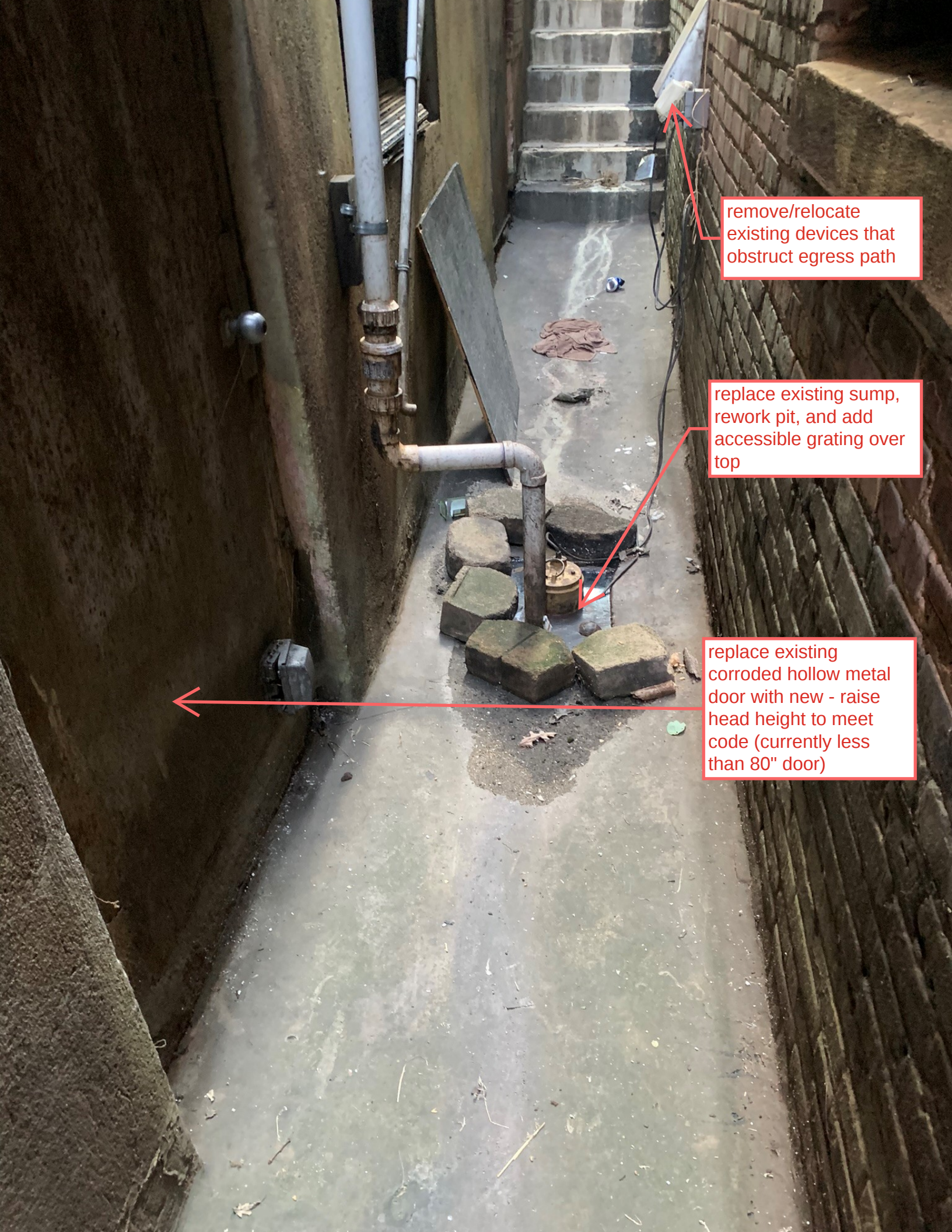


relocate existing pipes, etc.
that obstruct egress path

remove abandoned roof
drain leader at top of stair

refurbish existing concrete
stairs - add new safety tread
nosings and handrails

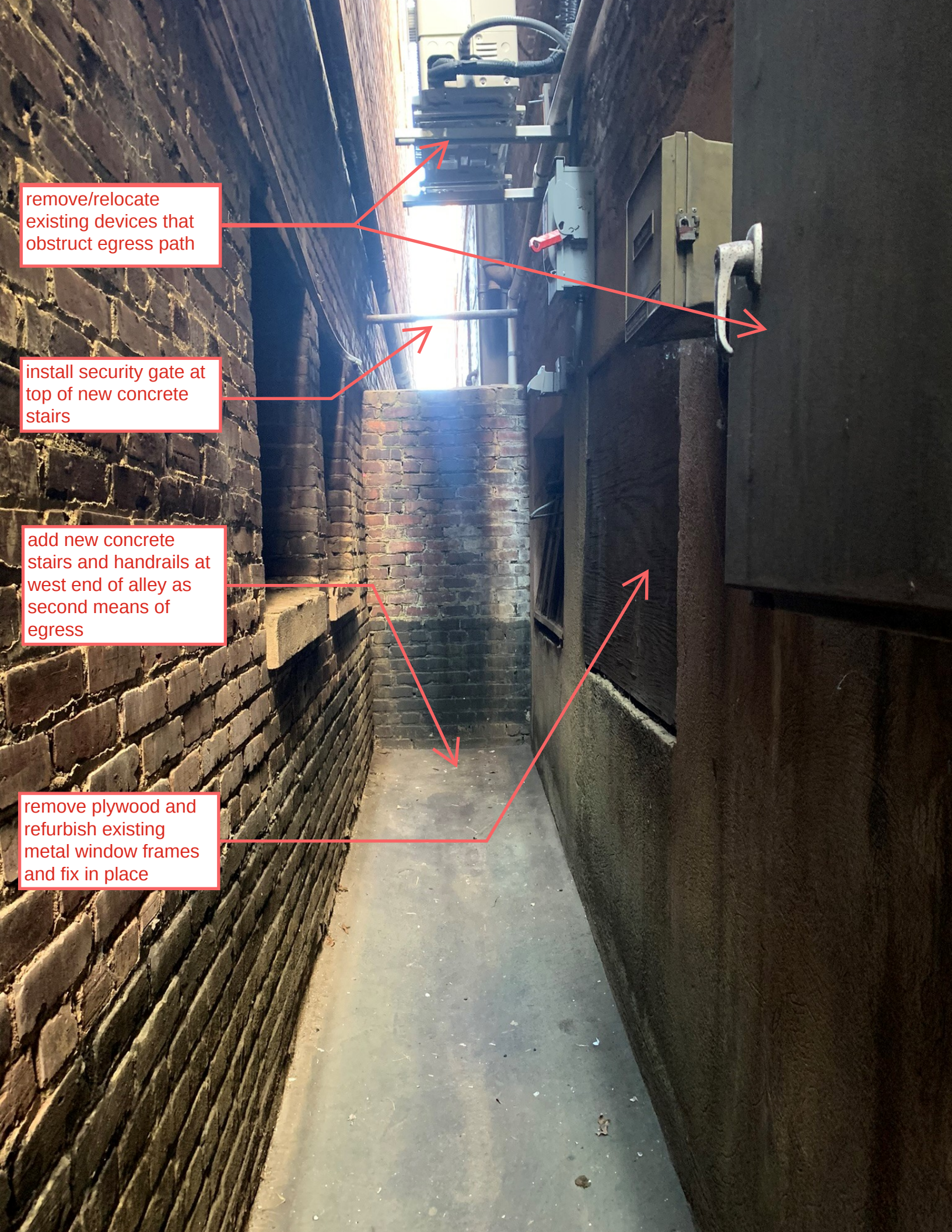
replace and shift door to
allow for reworked stairs and
new handrails



remove/relocate
existing devices that
obstruct egress path

replace existing sump,
rework pit, and add
accessible grating over
top

replace existing
corroded hollow metal
door with new - raise
head height to meet
code (currently less
than 80" door)



remove/relocate
existing devices that
obstruct egress path

install security gate at
top of new concrete
stairs

add new concrete
stairs and handrails at
west end of alley as
second means of
egress

remove plywood and
refurbish existing
metal window frames
and fix in place

relocate condensing unit as required for new stair headroom

remove/relocate existing pipes at egress path

remove portion of wall (at top of new concrete stair)





remove existing security gate at main entrance to alley

refurbish existing concrete stairs to better meet life-safety codes

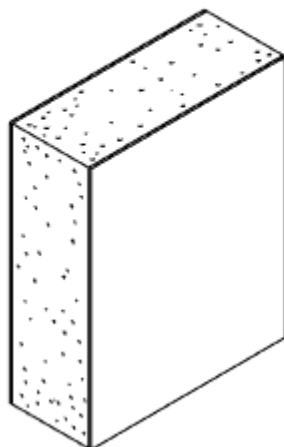
remove abandoned roof drain leader



Alley

1-3/4" IMPERIAL (IQ) WITH QMAX THERMALLY ENHANCED CORE

FLUSH PANEL STEEL DOORS, BEVELED LOCK EDGE, HANDED



QMAX
THERMALLY
ENHANCED CORE

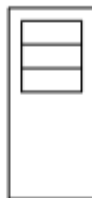
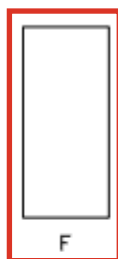
Full flush or seamless style...
QMAX thermally enhanced core bonded to the inside of both facesheets with a waterproof contact adhesive.

SUGGESTED USE:

- Interior or Exterior ...
- Data processing
- Condominiums
- Dormitories
- Motels/Hotels
- Office buildings
- Urban renewal
- Health care
- Institutional
- Mercantile
- Food processing

DOOR DESIGNS

FLUSH DESIGNS



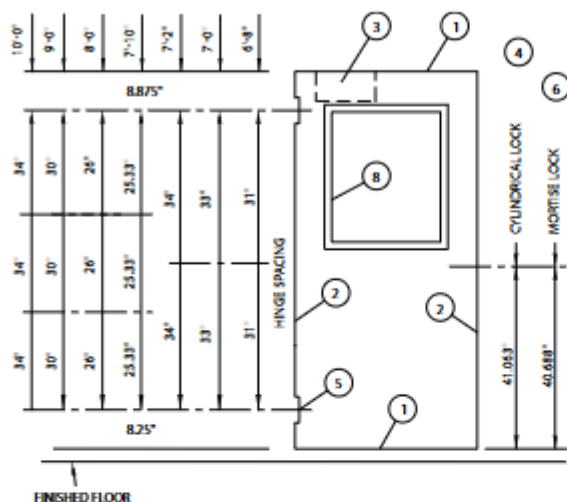
SEE LEGION
(LP) SERIES
FOR AVAILABLE
EMBOSSED
DESIGNS



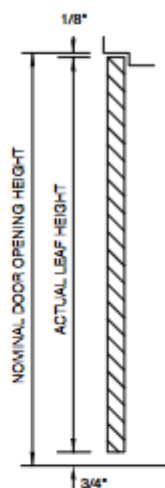
DUTCH
V, G, & N
DESIGNS AVAILABLE

IMPERIAL (IQ) WITH QMAX THERMALLY ENHANCED CORE

DOOR ELEVATION

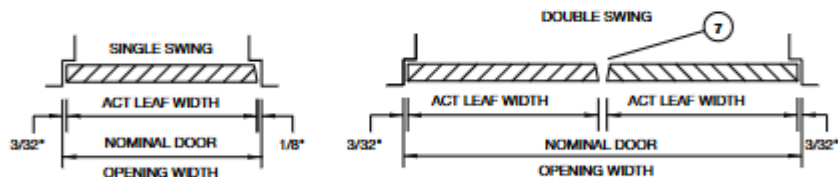


VERTICAL SECTION

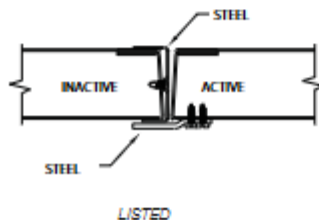


HARDWARE LOCATIONS SHOWN MATCH CECO STANDARD FRAMES.

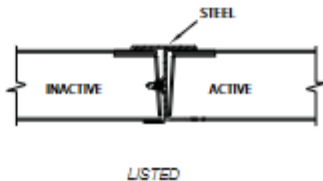
HORIZONTAL SECTIONS



⑦ OVERLAPPING ASTRAGAL 4441
FOR 1-3/4" THICK DOORS



⑦ OVERLAPPING ASTRAGAL 4471
FOR 1-3/4" THICK DOORS



IMPERIAL (IQ) WITH QMAX THERMALLY ENHANCED CORE

① 16 GAUGE STEEL END CHANNELS

WELDED TO BOTH FACE SHEETS

INVERTED TOP AND BOTTOM



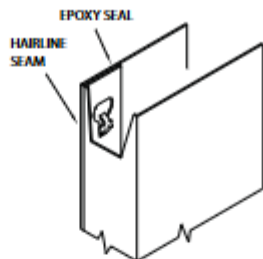
OPTIONAL TOP AND BOTTOM CAPS ARE AVAILABLE

② VERTICAL EDGES

MECHANICALLY INTERLOCKED HEMMED EDGES
14 GAUGE WELDED SEAMLESS (ONLY)

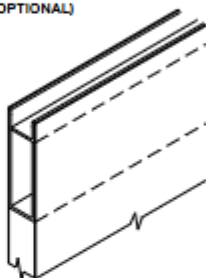
OPTIONAL:
SEAMLESS (WELDED OR BODY FILLER)

DOORS OVER 4'0" X 9'0" WILL BE CENTER EDGE SEAM CONSTRUCTION



③ CLOSER REINFORCEMENT (OPTIONAL)

14 GAUGE STEEL CHANNEL 20" LONG



④ LOCK PREPARATION

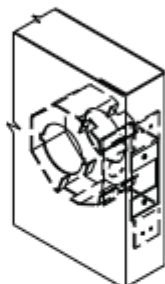
GOV. 160/161 CYLINDRICAL TYPE

(LC1)

(ANSI A115.2)

2-3/4" BACKSET

LOCK EDGE IS BEVELED
1/8" IN 2" (1:16)

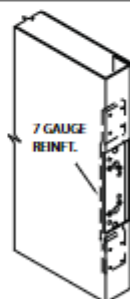


⑤ HINGE PREPARATION

4-1/2" OR 5 IN. HIGH,
STANDARD OR HEAVY WEIGHT,
FULL MORTISE HINGE PREPS

ANSI A156.7 TEMPLATE

HINGE EDGE IS HANDLED AND NOT BEVELED.

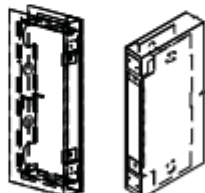


⑥ LOCK PREPARATION

GOV. 96, ANSI/BHMA A115.1 MORTISE TYPE

(LMQ)

NOTE: EITHER OF THE LOCK REINFORCEMENTS/GUARDS SHOWN MAY BE INSTALLED WITH ANY MORTISE LOCK PREPARATION. LOCK EDGE IS BEVELED 1/8" IN 2" (1:16).



⑦ VERTICAL EDGES

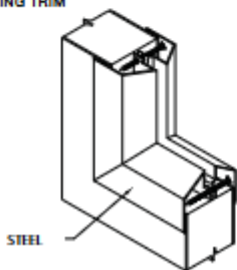
16 GAGE FULL HEIGHT CHANNEL
VISIBLE EDGE SEAM (STANDARD)
WELD SEAMLESS AND BODY FILLER SEAMLESS IS OPTIONAL



⑧ GLAZING TRIM

SLIMTRIM
3/8" WIDE GLAZING POCKET

LISTED

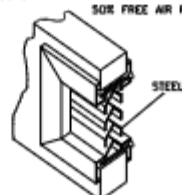


⑨ FIXED SLAT TYPE LOUVER

4654

FOR 1-3/4" THICK DOORS

SOR FREE AIR FLOW



IMPERIAL (IQ) WITH QMAX THERMALLY ENHANCED CORE

STANDARD SIZES
NOMINAL DOOR OPENING

WIDTH		HEIGHT
SINGLE	DOUBLE	
2'-0"	4'-0"	
2'-4"	4'-8"	
2'-6"	5'-0"	6'-8"
2'-8"	5'-4"	7'-0"
2'-10"	5'-8"	7'-2"
3'-0"	6'-0"	7'-10"
3'-4"	6'-8"	8'-0"
3'-6"	7'-0"	9'-0"
3'-8"	7'-4"	10'-0"
3'-10"	7'-8"	
4'-0"	8'-0"	
5'-0"	10'-0"	

FIRE DOORS

LABELING AGENCIES :
UL SOLUTIONS
WARNOCK HERSEY

TEST: UL 10C, UL 10B, UL 1784,
& NFPA 252

RATING: 20 MIN, 3/4 HR, 1-1/2 HR,
OR 3 HR

MAX. SIZE: 4'-0" X 8'-0" SINGLE
8'-0" X 8'-0" PAIR

8'-0" X 9'-0" WITH VERTICAL ROOF

DESIGNS: F, G, N, & V

NOT ALL RATINGS ARE AVAILABLE
IN ALL SIZES, DESIGNS AND
MATERIALS.

MATERIAL

PRODUCT SPECIFICATIONS:

1-3/4" Thick steel doors shall be as manufactured by Ceco Door Products, Milan, TN USA. Doors shall conform to the Steel Door Institute guide specification, ANSI A250.8; see chart below for performance classifications.

IMPERIAL doors are made full-flush or (optional) seamless style. Face sheets are commercial quality cold rolled steel conforming to ASTM A1008 and A568 ... or (optional) hot-dipped galvanized or galvanized steel conforming to ASTM A924 and A653 -- see chart below.

Imperial full-flush doors have mechanically interlocked, hemmed, hairline seams on vertical edges and have no visible seams on faces. Doors specified "seamless" have no visible seams on faces or vertical edges (S.D.I. Model 2). A QMAX thermally enhanced core, conforming to ASTM C578 TYPE 1, is bonded to the inside of both face sheets with a waterproof contact adhesive. The top and bottom door edges are closed with 16 gauge steel channels welded to both face sheets.

Hardware Provisions: Hinge preparations are handed. Hinge edges are mortised for 4-1/2" or 5" high, standard and heavy weight hinges (specify which). 7 gauge steel hinge reinforcements are welded inside the door edge and are drilled and tapped for fasteners in accordance with ANSI A156.7. The lock edge has a standard bevel (1 : 16) and is prepared for Gov. series 88, 160/161, or 90 locks in accordance with ANSI A115 (specify which). Optional closer reinforcement is a 14 gauge steel channel.

Paint: 1-3/4" steel doors shall be provided with one coat of oven-cured neutral color primer paint. Primer coat shall conform with ANSI A250.10. The primer coat is a preparatory base or necessary finish painting. "Colorstyle" finish coat is also available from a selection of standard colors (optional). Colorstyle finish is electrostatically applied, oven-cured urethane enamel and shall conform to ANSI A250.3. For accurate color selectors ask for a Ceco Colorstyle chart.

SIZE LIMITS - DESIGNS

	FLUSH DESIGNS
MAX.	5'0"x10'0"
MIN.	2'0"x6'8"

DOOR FACE SHEETS	LEVEL	C.R.	GALV		RECOMMENDED DOOR FRAME MATERIAL
			A40	G90	
20 GAUGE STEEL (4080 MAX.)	STANDARD DUTY	N/A	A60	N/A	16 GAUGE STEEL
18 GAUGE STEEL	HEAVY DUTY	STD	OPT	OPT	16 GAUGE STEEL
16 GAUGE STEEL	EXTRA HEAVY DUTY	STD	OPT	OPT	16 OR 14 GAUGE STEEL
14 GAUGE STEEL	MAXIMUM DUTY	STD	OPT	OPT	14 OR 12 GAUGE STEEL

PERFORMANCE

THERMAL CHARACTERISTIC VALUE	CORE CALCULATED (ASTM C518)		R=7.8	U=0.13
	SDI-113 & NFRC 102-2023 FLUSH DOOR WITH MERCURY 3 FRAME		R=3.10	U=0.32
	SDI-113 & NFRC 102-2023 FLUSH DOOR WITH WEATHERKING FRAME		R=2.72	U=0.37
	SDI-113 & NFRC 102-2023 FLUSH DOOR WITH STANDARD FRAME		R=2.68	U=0.37

CORE CALCULATED VALUE IN ACCORDANCE WITH ASTM C518.

OPERABLE VALUES TESTED IN ACCORDANCE WITH SDI-113, NFRC 102-2023, ASTM C1199 ASTM C1363, & ASTM E1423.

SOUND TRANSMISSION CLASS	STC 27 (F DESIGN, 16 GAUGE FACE SHEETS, ASTM E90 & E413 (FULLY OPERABLE))
PHYSICAL ENDURANCE LEVEL	MEETS ANSI A250.4 PERFORMANCE TEST, 20 GAUGE: LEVEL B (500,000 CYCLES); 18 AND 16 GAUGE: LEVEL A (1,000,000 CYCLES)