



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Remove rear utility chimney

*Beyond this expiration date, NC Session Law 2021-03 grants an extension to all valid development permits until 150-days after NC Executive Order 116 is rescinded.

623 W South St

Address

Boylan Heights

Historic District

Historic Property

COA-0027-2022

Certificate Number

2/23/2022

Date of Issue

8/23/2022*

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Erin Morton

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name: BROOKE TATE

Mailing address: 115 1/2 E HARGETT ST

City: RALEIGH

State: NC

Zip code: 27601

Date: 9/15/2021

Daytime phone #: 828-808-9997

Email address: BROOKE@MAURERARCHITECTURE.COM

Applicant signature: *Brooke Tate*

Minor work (staff review) – one copy

Major work (COA committee review) – ten copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of approval

Office Use Only

Transaction #: _____

File #: COA-0027-2022

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address: 623 W. SOUTH ST.

Historic district: BOYLAN HEIGHTS

Historic property/Landmark name (if applicable):

Owner name: JANET COWELL

Owner mailing address: 4407 LAUREL HILLS RD. RALEIGH, NC 27612

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address
SPAIN, JOHN PO BOX 50157 RALEIGH NC 27650-6157	GREEN, M H JR HEIRS CAITLIN WARD, EXEC 521 W CABARRUS ST RALEIGH NC 27603-1911
VARGAS, AGUSTINE GARZA GARZA, MARIA LUISA AVILA 711 FLORENCE ST RALEIGH NC 27603-2107	YORK, EVERLEE HEIRS % MARILYN STURDIVANT 16 METROPOLITAN OVAL APT MA BRONX NY 10462-6767
BOWMAN, KEVIN M BOWMAN, MAUREEN BRIGID 705 FLORENCE ST RALEIGH NC 27603-2107	HUNTER, RALPH EDWARD JR 609 SAINT MARYS ST RALEIGH NC 27605-1703
GREEN, MOYLE H JR HEIRS CAITLIN WARD, EXEC 521 W CABARRUS ST RALEIGH NC 27603-1911	LAMBERT DEVELOPMENT SOUTH STREET LLC 5 HANOVER SQ FL 14 NEW YORK NY 10004-2672
SPANO, MICHAEL 625 W SOUTH ST RALEIGH NC 27603-2119	
RENGER, JULIA S ELLARD, HUGH 707 FLORENCE ST RALEIGH NC 27603-2107	

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Office Use Only Type of work: <u>22</u>
Did you consult with staff prior to filing the application? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
		Remove utility chimney- see clouded Revision 2 on drawings

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>08/23/2022</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Cair Morton</u>	Date <u>02/23/2022</u>

623 S. Boylan Street in Historic Boylan Heights

January 27, 2022

Submitted by Brooke Tate, Maurer Architecture

COA Minor Works Application: Summary of Work- Removal Utility Chimney

The existing utility chimney in the back left side of the house needs to be removed for structural integrity of the renovation upon discovery after demolition. The chimney does not add to the overall historic character of the building as it was a utility chimney and in an inconspicuous location on the house.

Masonry:

Cited Guidelines: 2.2 Masonry: Guidelines

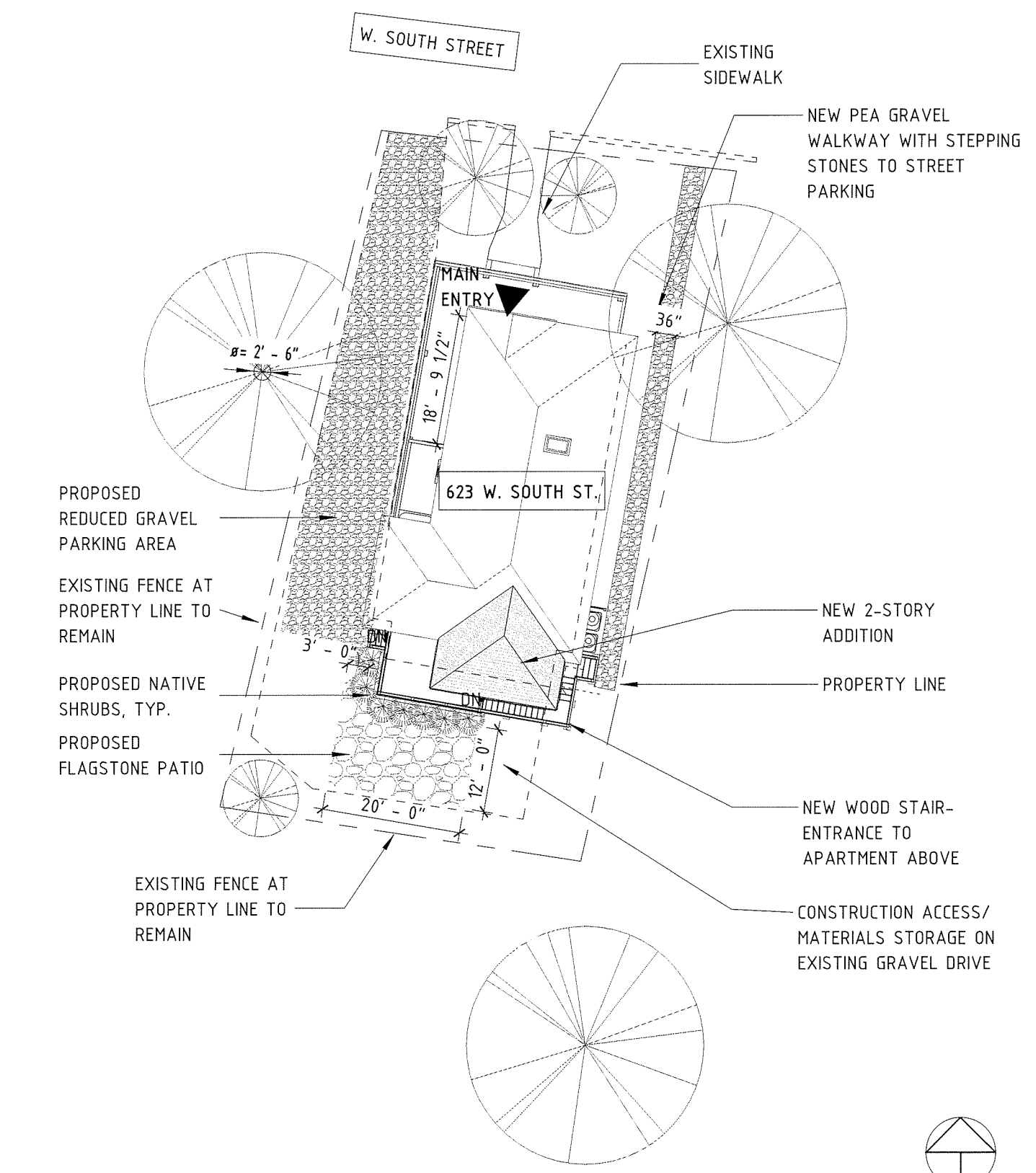
.1 Retain and preserve masonry features that contribute to the overall historic character of a building and a site, including walls, foundations, roofing materials, chimneys, cornices, quoins, steps, buttresses, piers, columns, lintels, arches, and sills.



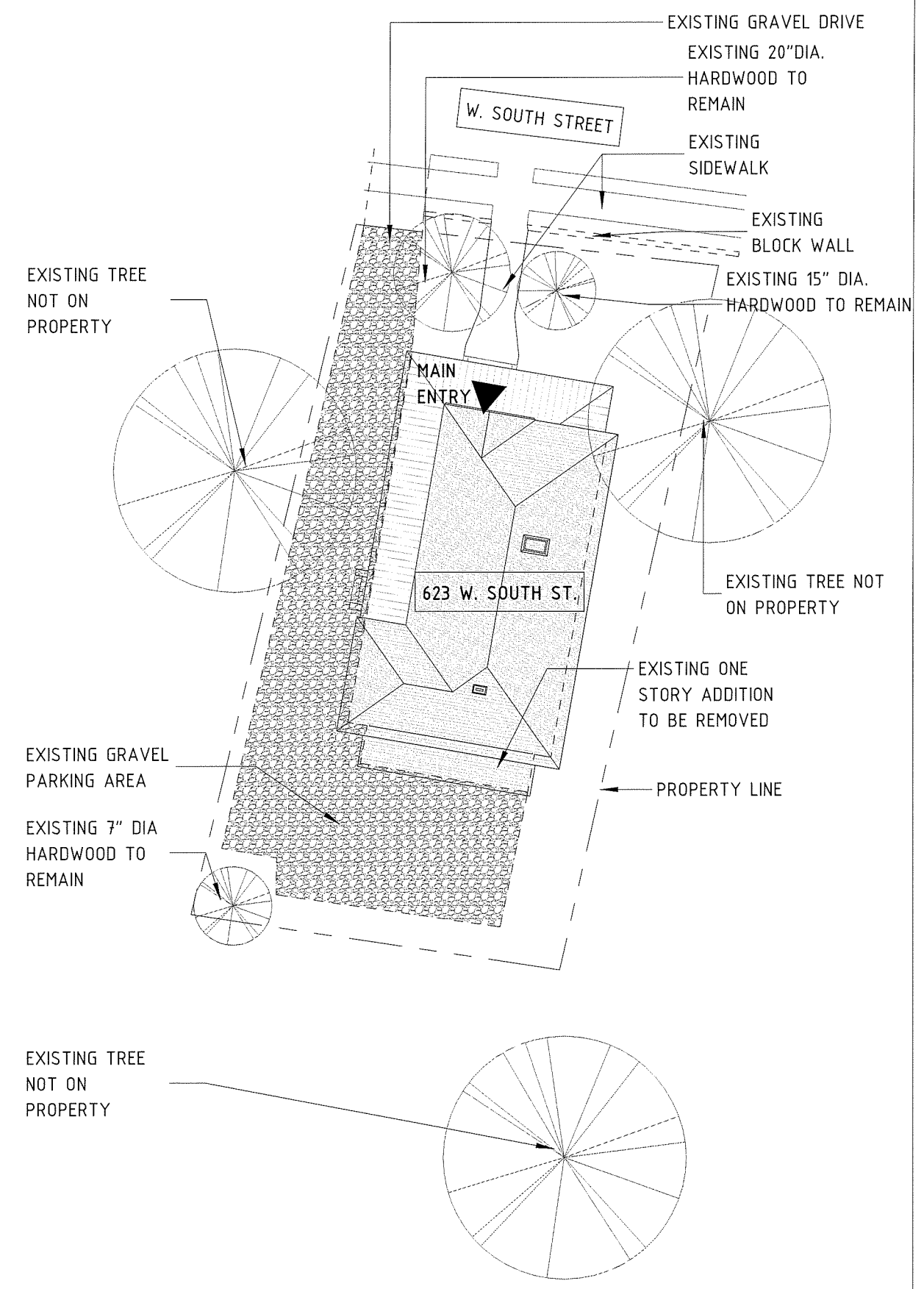








1 SITE PLAN - PROPOSED
SCALE: 1" = 20'-0"



2 SITE PLAN - EXISTING
SCALE: 1" = 20'-0"

623 W. South Tree Protection Notes:

Construction Access: The access for construction equipment will be along the driveway at the right side of the house, to the back yard. The area within the rear yard trees CRZ will need to be covered in a 6-8" inch layer of wood chips, and 1/2" sheets of plywood, to distribute the heavy impacts of equipment and foot traffic. This will help avoid damage to the trees.

Tree Protection Fencing: Install tree protection fencing as indicated on plan.

Before Construction:

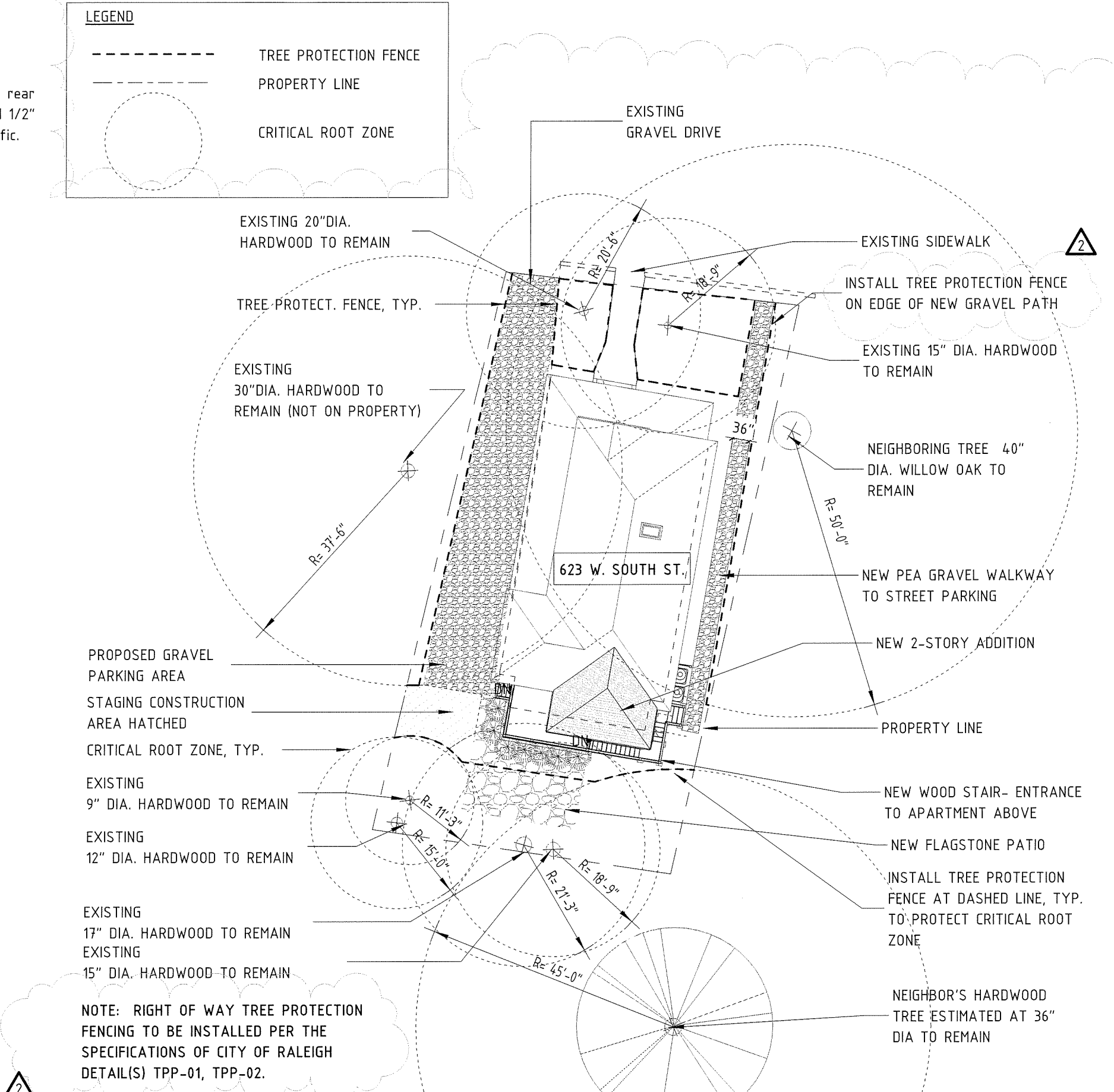
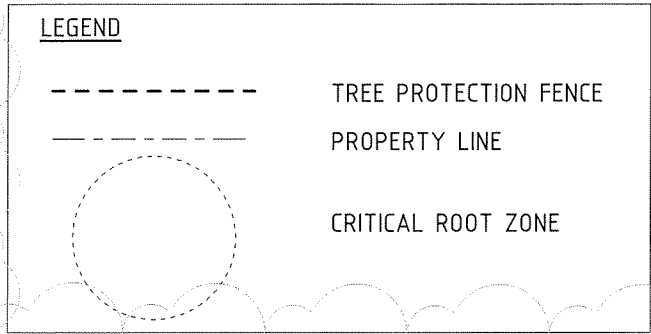
- a. Remove hazardous dead branches (usually 4" and larger)
- b. Anywhere the grade will be lowered, cuts will be made, trenches will be dug, or other activities will be required that involve disturbing soil or roots within or near the CRZ, the trees must undergo root pruning prior to the commencement of work. This will help avoid subterranean damage to the trees' root systems. All root pruning work must be completed under the supervision of an ISA Certified Arborist.

During construction:

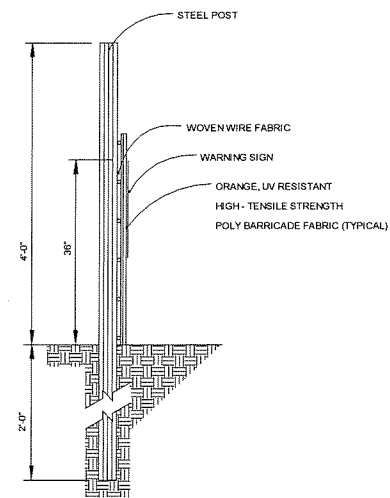
- a. Proactively provide the trees with ongoing borer prevention treatments.
- b. Provide the trees with adequate water during the hot months, typically May through September. Adequate water is essential to helping trees survive the stress of construction.
- c. Monitor the health of each tree on a monthly basis, at a minimum. This should be performed by an ISA Certified Arborist or an ISA Board Certified Master Arborist
- d. If there is a possibility of a truck or large piece of equipment damaging a tree's branch, this branch shall be tied back.
- e. If tying it back is not possible, the branch shall be pruned in advance to eliminate the possibility of being torn, which could cause irreparable harm to the tree. All pruning must be completed in strict accordance with ANSI A300 Pruning Standards under the oversight of an ISA Certified Arborist.
- f. Provide liquid compost to the trees every 6 months. If any leaves fall, leave them in place to rot.

Post construction:

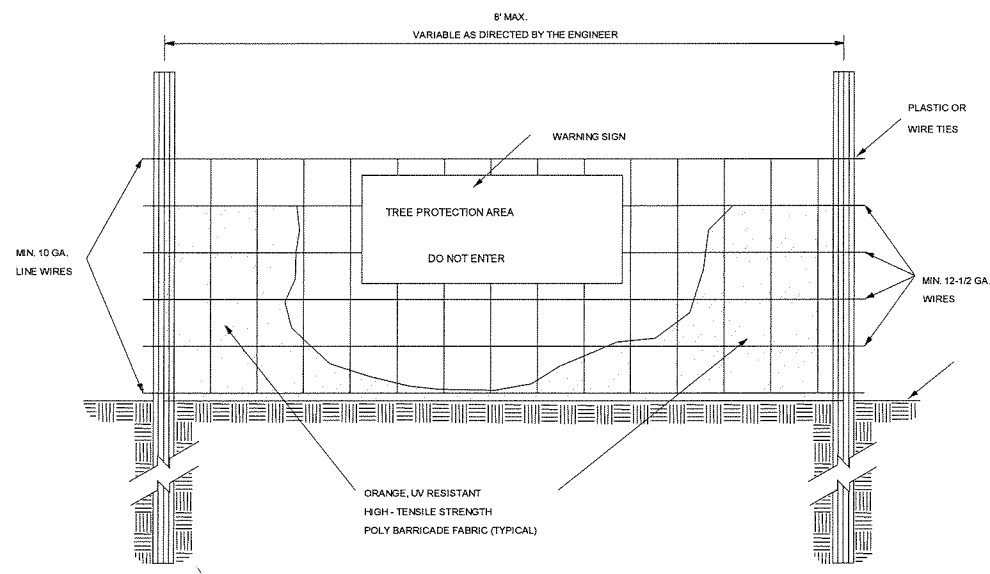
- a. Continue monitoring the health of each tree for at least one year following the end of construction. If issues emerge, treat accordingly.
- b. Provide liquid compost to the trees every 6 months.
- c. If any leaves fall, leave them in place to rot.
- d. If construction concludes during hot months, continue irrigation until the weather cools.



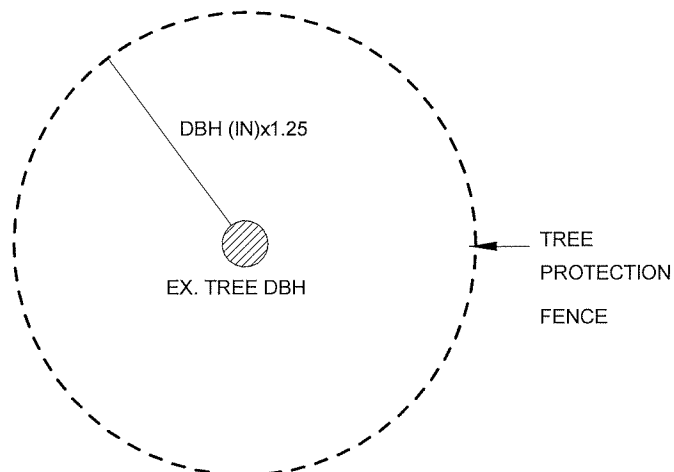
TREE PROTECTION FENCE DETAILS



SIDE VIEW

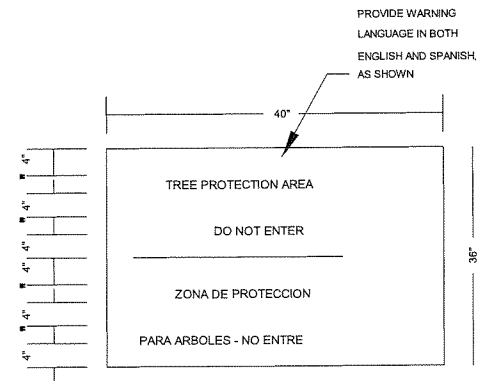


FRONT VIEW



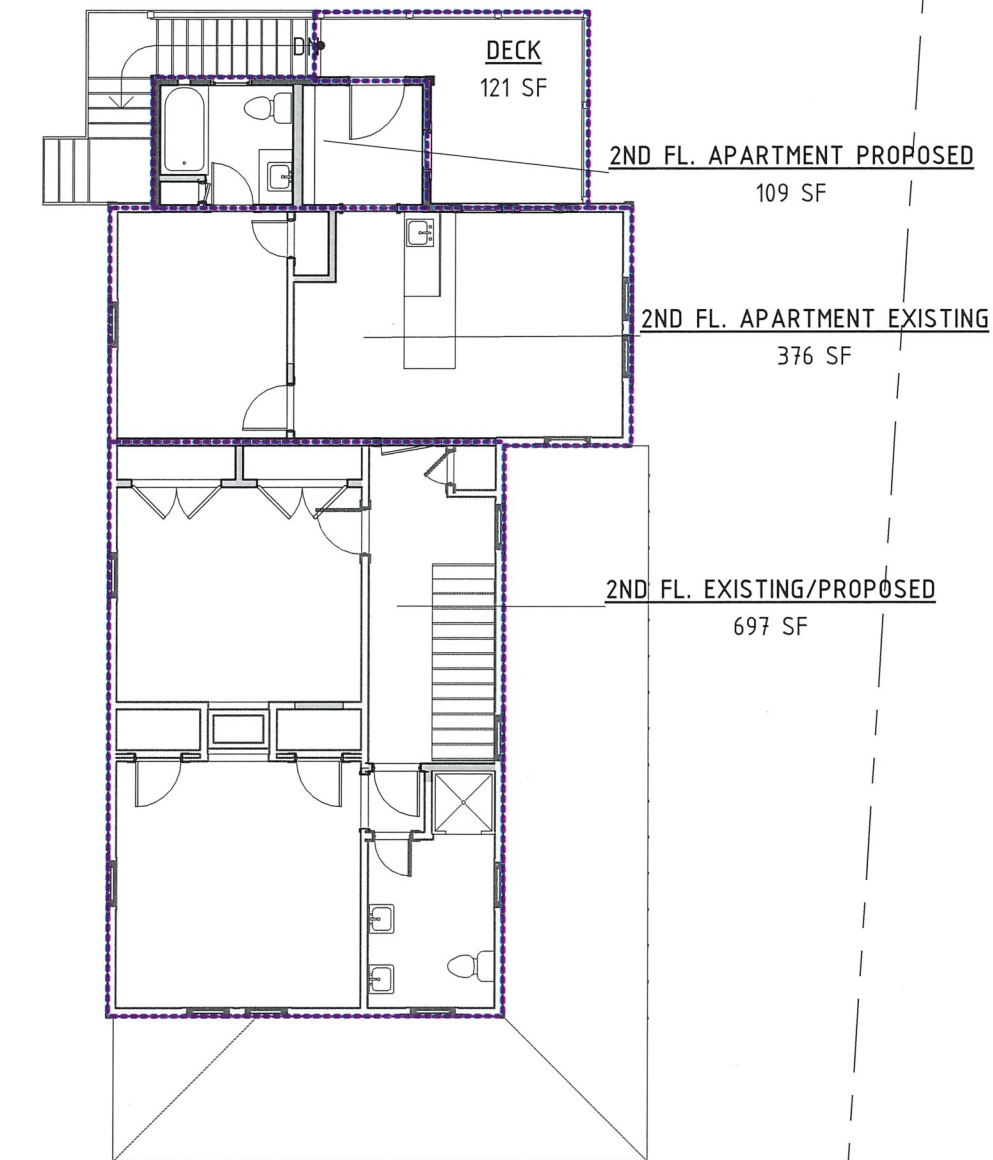
E. CIRCULAR LAYOUT
 FENCE LAYOUT DETAIL

WARNING SIGN DETAIL



GENERAL NOTES

1. TREE PROTECTION FENCING MUST BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (CRZ) OF TREES. (CRZ DEFINED AS DBH X 1.25' (FT) PER INCH AT DBH FROM TRUNK OF TREE, SEE TREE PROTECTION LAYOUT DETAIL)
- 2..THE TREE PROTECTION FENCING MUST REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE APPROVED BY URBAN FORESTRY STAFF.
3. THERE WILL BE ZERO TOLERANCE FOR STORING OR PARKING VEHICLES, SUPPLIES, OR EQUIPMENT UNDER PROTECTED TREES.
4. APPROVED IMPACT PROTECTION DEVICES MUST BE REMOVED AFTER CONSTRUCTION WHEN APPLICABLE.
5. TREE PROTECTION SIGNS ARE TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL WITH LETTERS A MINIMUM OF 3" HIGH, CLEARLY LEGIBLE AND SPACED AS SHOWN.
6. TREE PROTECTION SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER FOR THE REMAINDER.
7. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTED AREA.
8. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
9. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.



2 2ND FL. AREA
SCALE: 3/32" = 1'-0"

EXISTING BUILT MASS:
1635 SF
31.2%

PROPOSED BUILT MASS:
1825 SF
34.9%

CHANGE IN BUILT MASS:
+3.7%

EXISTING BUILT AREA/IMP.
SURF:
62.7%
1650 SF GRAVEL DRIVE
1635 SF HOUSE FOOTPRINT

PROPOSED BUILT AREA/IMP.
SURFACE:
59.4%
802 SF GRAVEL DRIVE
266 SF PATIO/WALK
224 SF PEA GRAVEL WALKWAY
1825 SF HOUSE FOOTPRINT

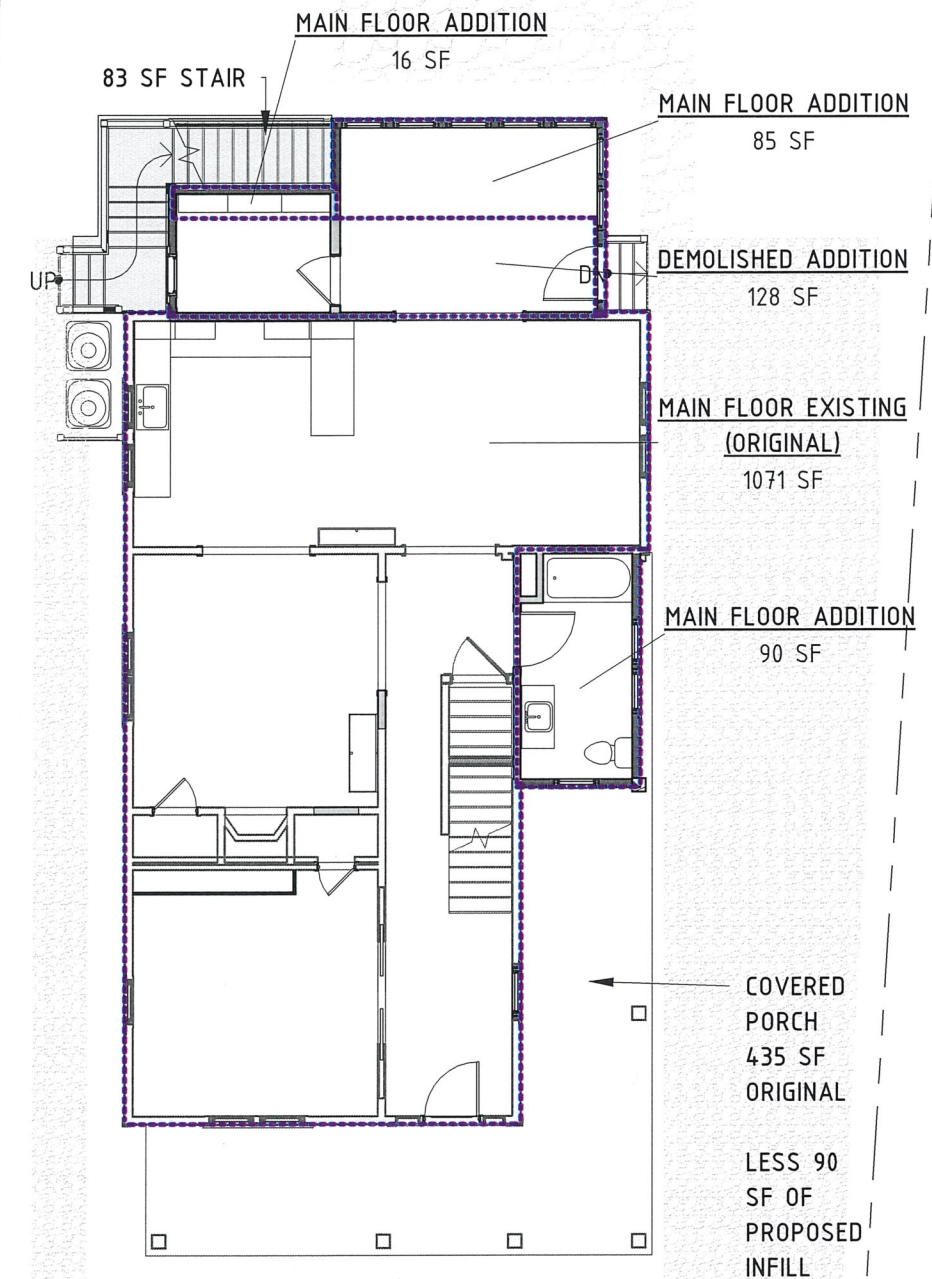
CHANGE IN BUILT AREA:
-3.3%

LOT AREA:
5,235

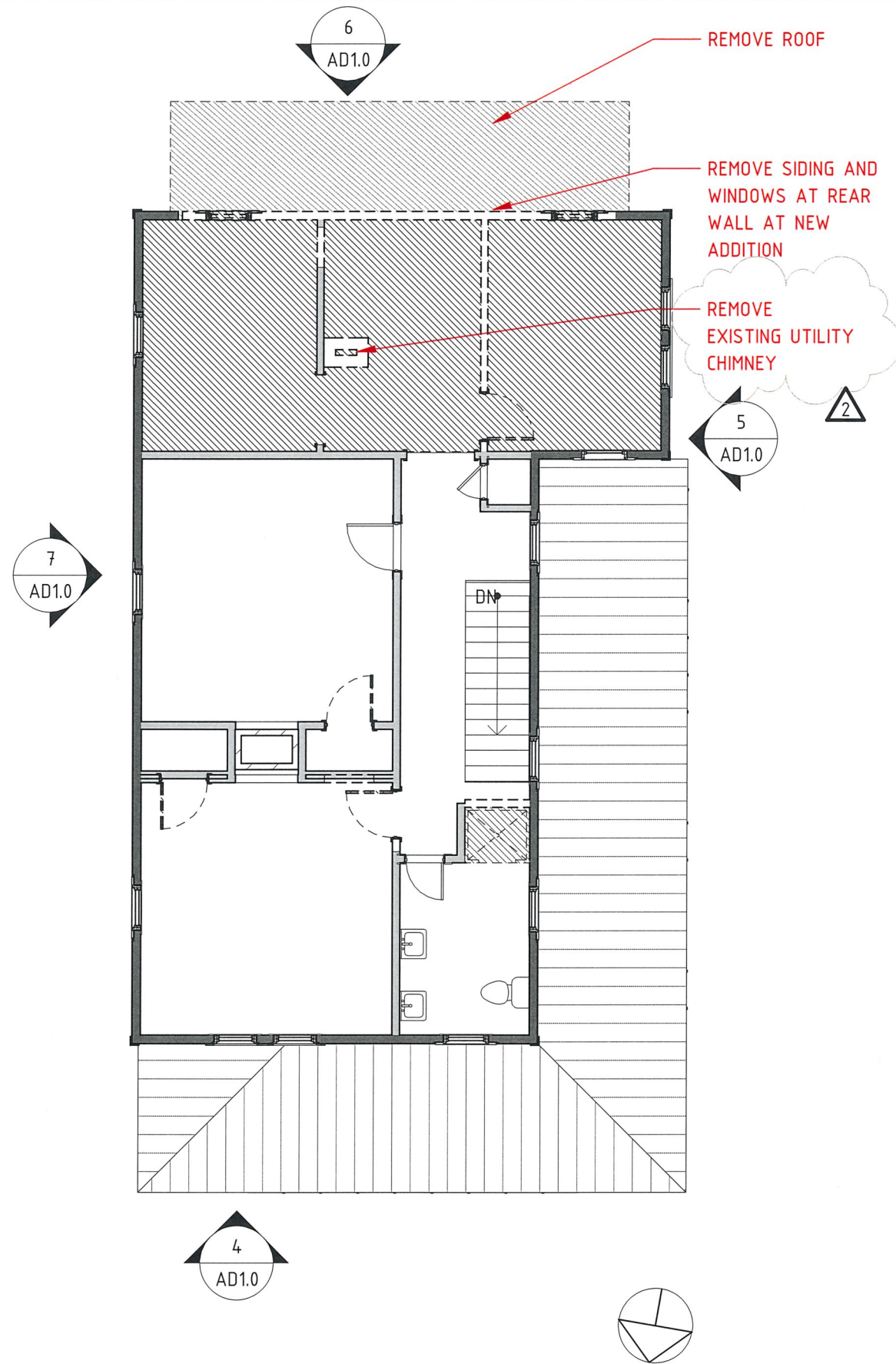
FACT:
BUILT MASS COMPARISON TO
APPROVED ADDITION 125-17-CA
AT 1012 W. CABARRUS STREET
IN BOYLAN HEIGHTS:

1012 W. CABARRUS ST.
LOT SIZE: 7500 SF
APPROVED BUILT MASS: 41%

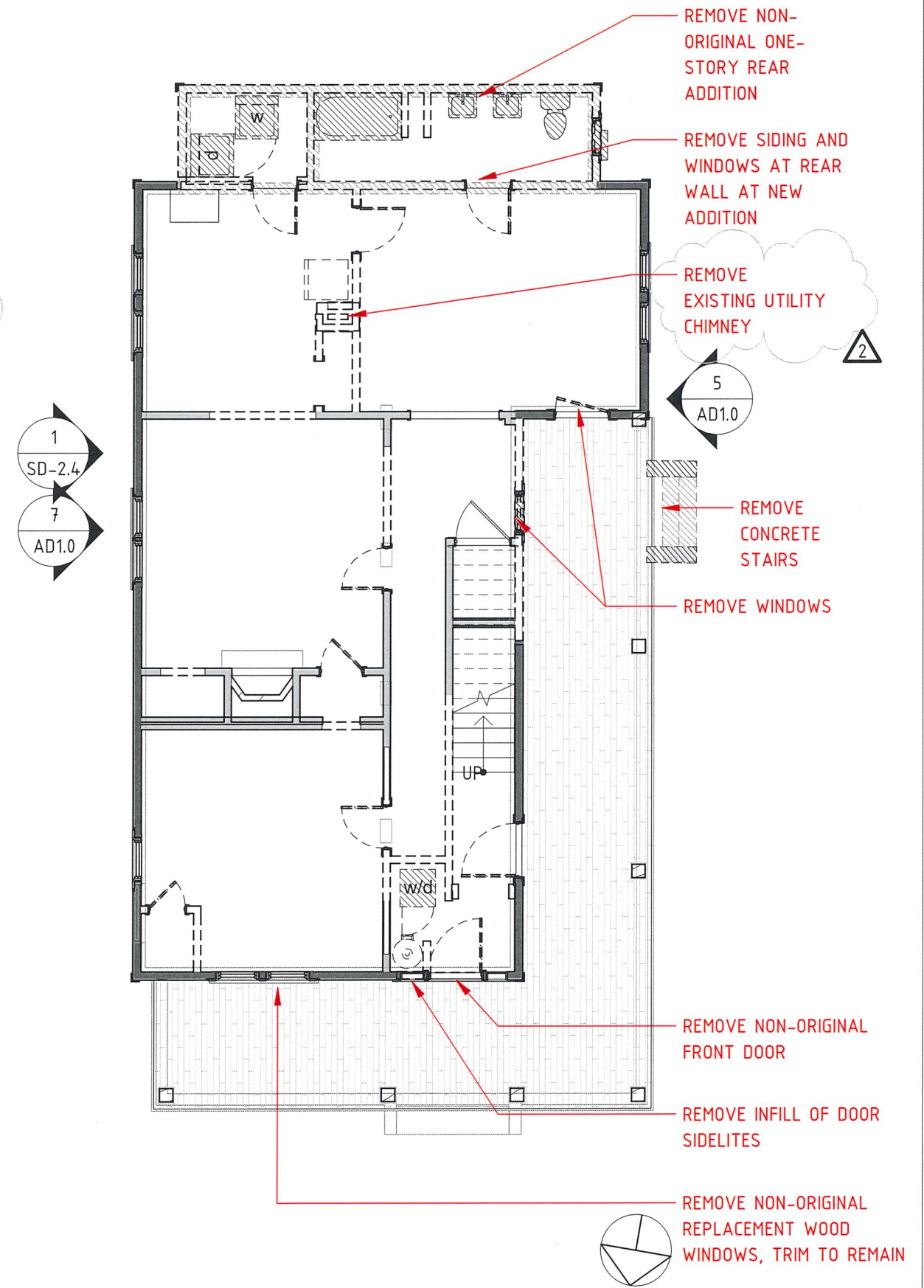
FACT:
PROPOSED BUILT MASS AT 623
W. SOUTH STREET IS LESS
THAN THE APPROVED BUILT
MASS AT 1012. W. CABARRUS
STREET
PROPOSED BUILT AREA IS LESS
THAN CURRENT EXISTING BUILT
AREA BY 3.3%



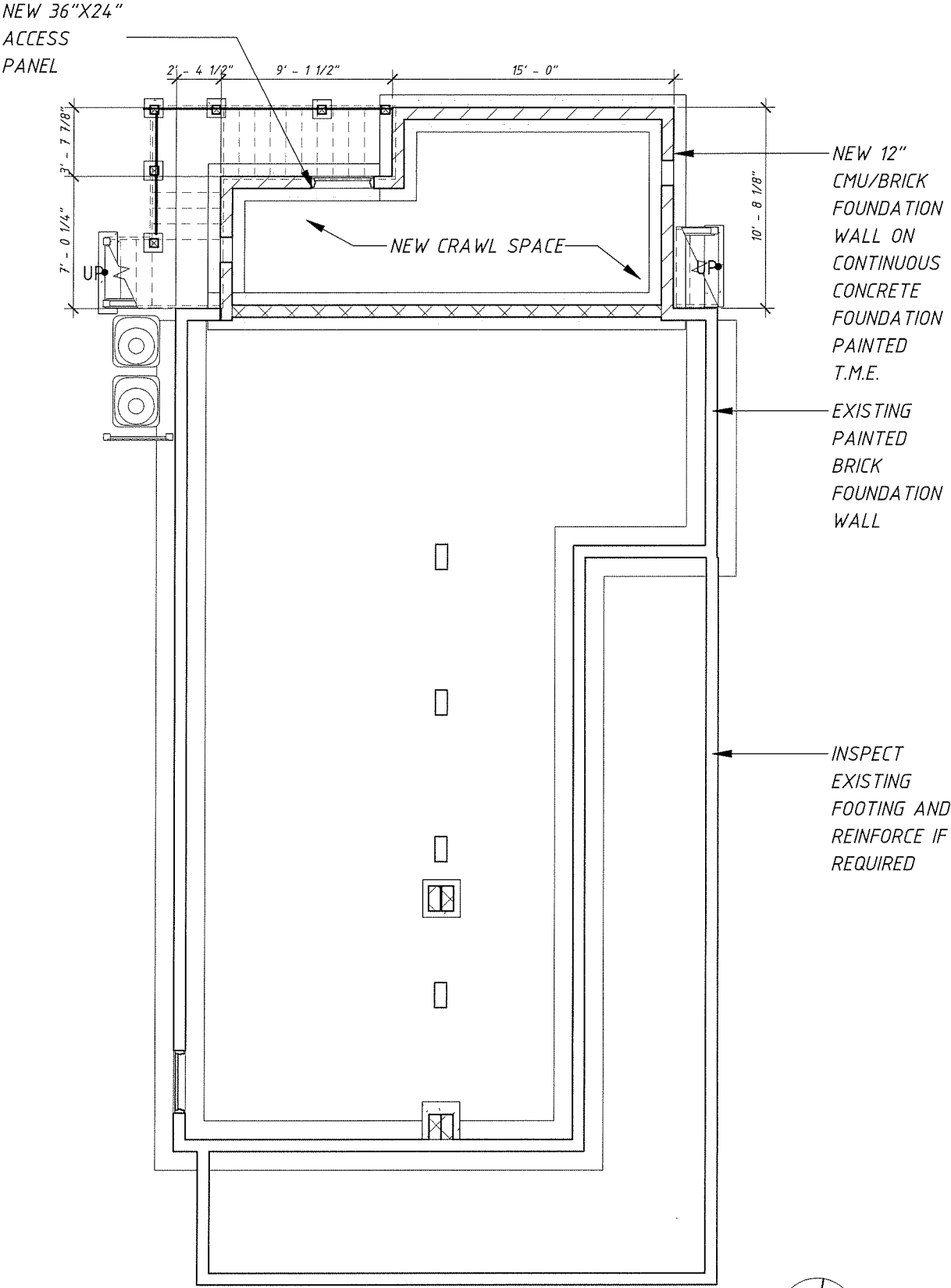
1 MAIN FL. AREA
SCALE: 3/32" = 1'-0"



2 SECOND FLOOR PLAN- DEMO
SCALE: 1/8" = 1'-0"



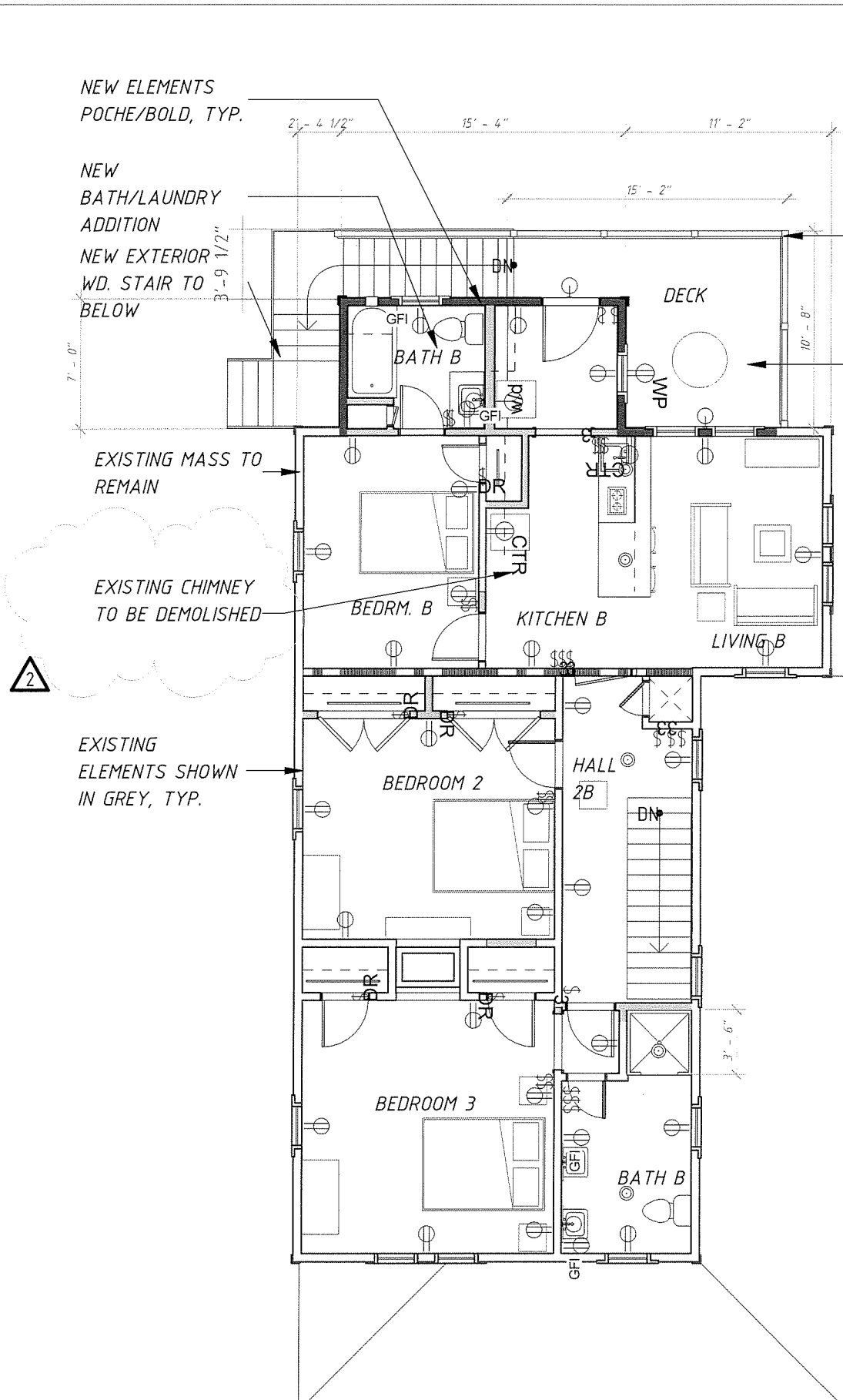
1 MAIN FLOOR PLAN- DEMO
SCALE: 1/8" = 1'-0"



1

CONCEPTUAL FDN. PLAN

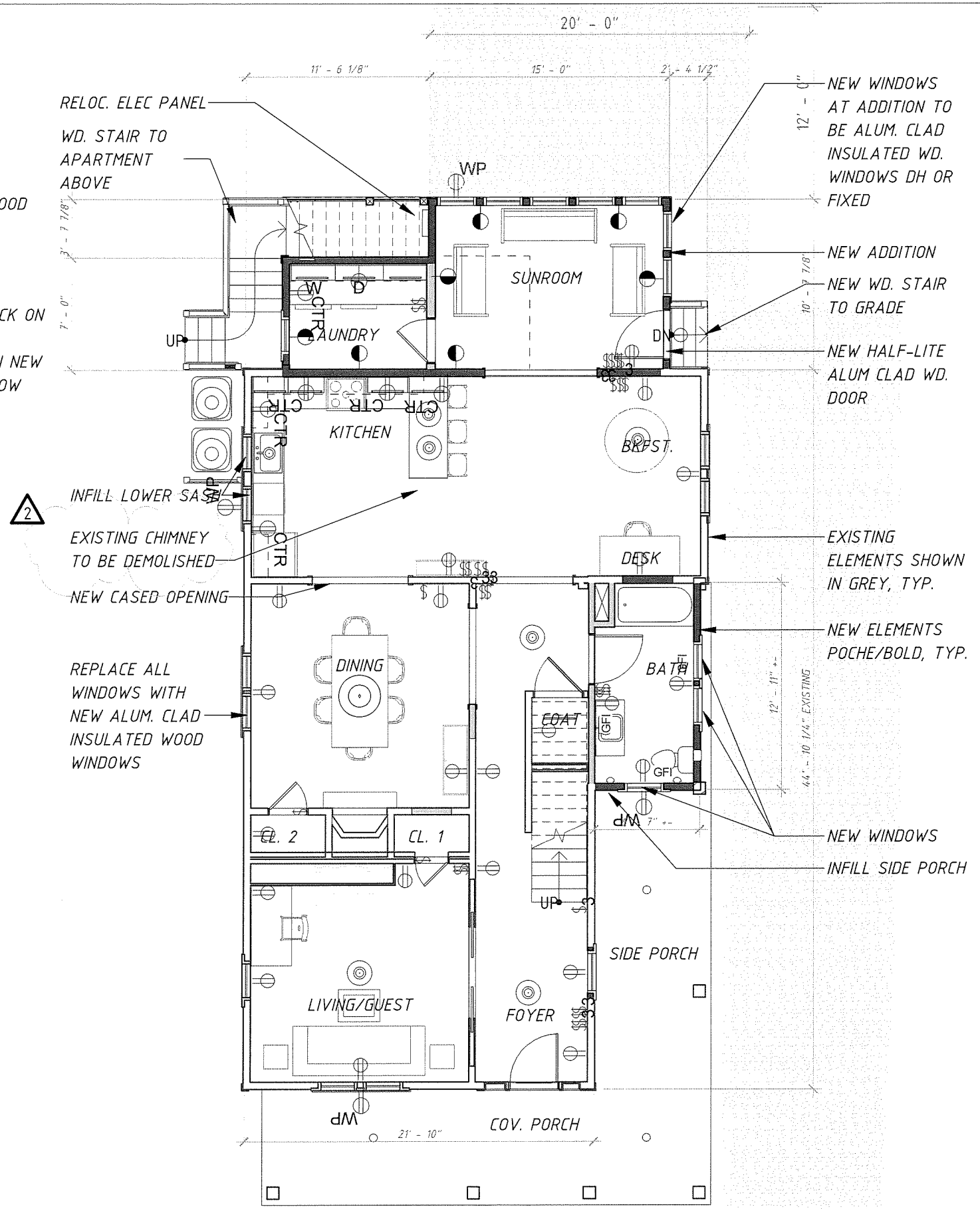
SCALE: 1/8" = 1'-0"



2

CONCEPTUAL 2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"



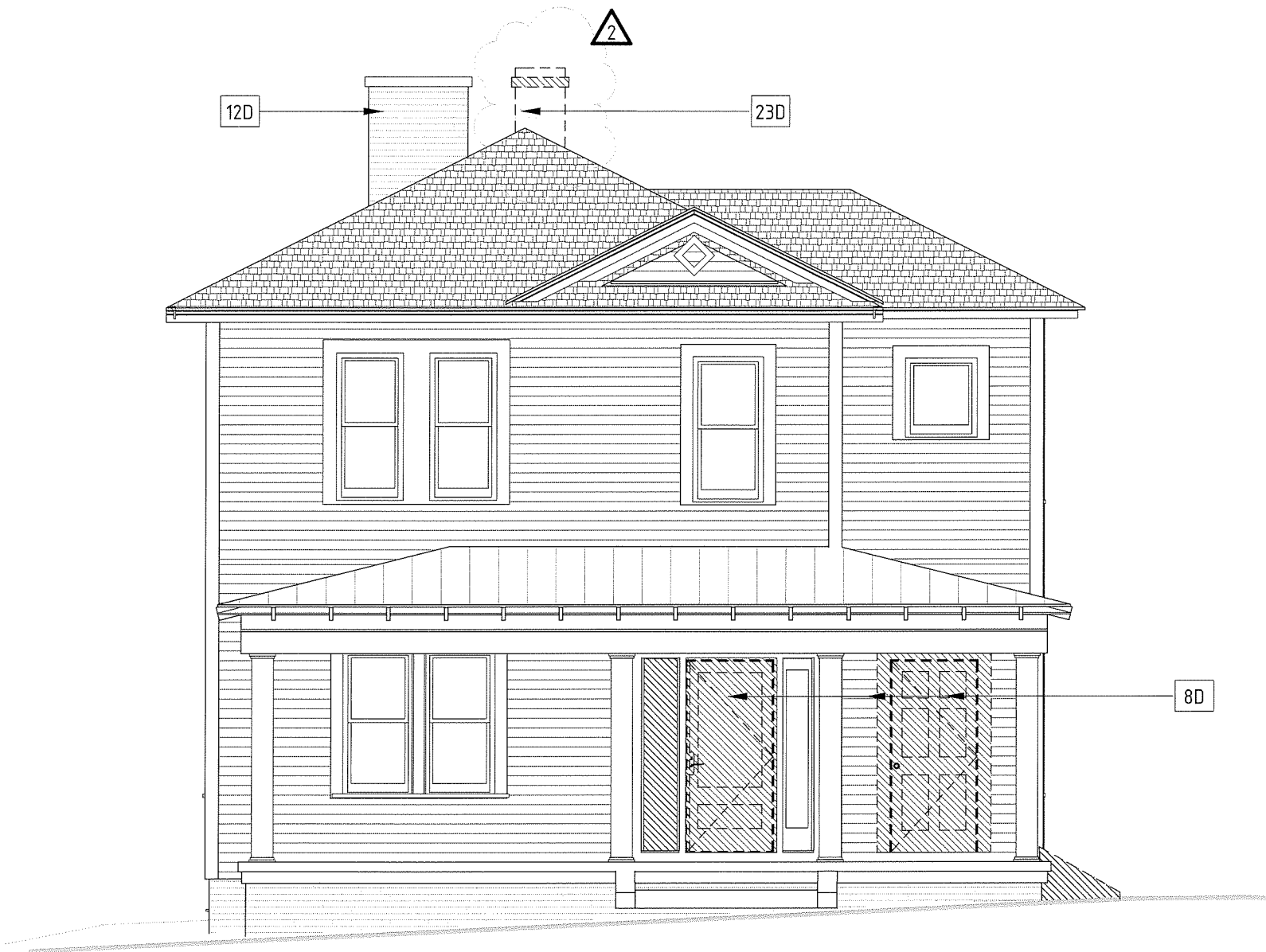
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CONCEPTUAL MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"

DEMOLITION KEYNOTES

NO.	DESCRIPTION
1D	REMOVE REAR ADDITION AND ONE-STORY INFILLED PORCH
2D	REMOVE SIDING AND WINDOWS AT NEW ADDITION , TRIM TO BE SALVAGED IF POSSIBLE
3D	REMOVE CONCRETE STAIR
4D	REMOVE ROOF AND FRAMING
5D	REMOVE NON ORIGINAL DOOR
6D	REMOVE WINDOW
7D	REMOVE NON ORIGINAL ADDITION
8D	REMOVE DOOR AND SIDING
9D	REMOVE NON ORIGINAL ADDITION
10D	REMOVE COLUMN
11D	REMOVE ELECTRICAL PANEL
12D	CHIMNEY TO REMAIN
13D	REMOVE PORCH FLOOR AND FRAMING AT NEW ADDITION
14D	REMOVE WALL
15D	REMOVE PORTION OF WALL FOR NEW CASED OPN'G
16D	REMOVE PORTION OF WALL FOR NEW DOOR
17D	REMOVE H2O HTR. AND W/D CONNECTIONS
18D	REMOVE INFILL OF DOOR SIDELITES
19D	REMOVE DOOR AND TRIM
20D	REMOVE SHOWER AND WALL
21D	REMOVE ALL WINDOWS, TRIM TO REMAIN, TYP.
22D	REMOVE EXISTING TENANT DEMISING WALLS
23D	REMOVE EXISTING UTILITY CHIMNEY



1 NORTH ELEVATION - DEMOLITION-
SCALE: 3/16" = 1'-0"

DEMOLITION KEYNOTES

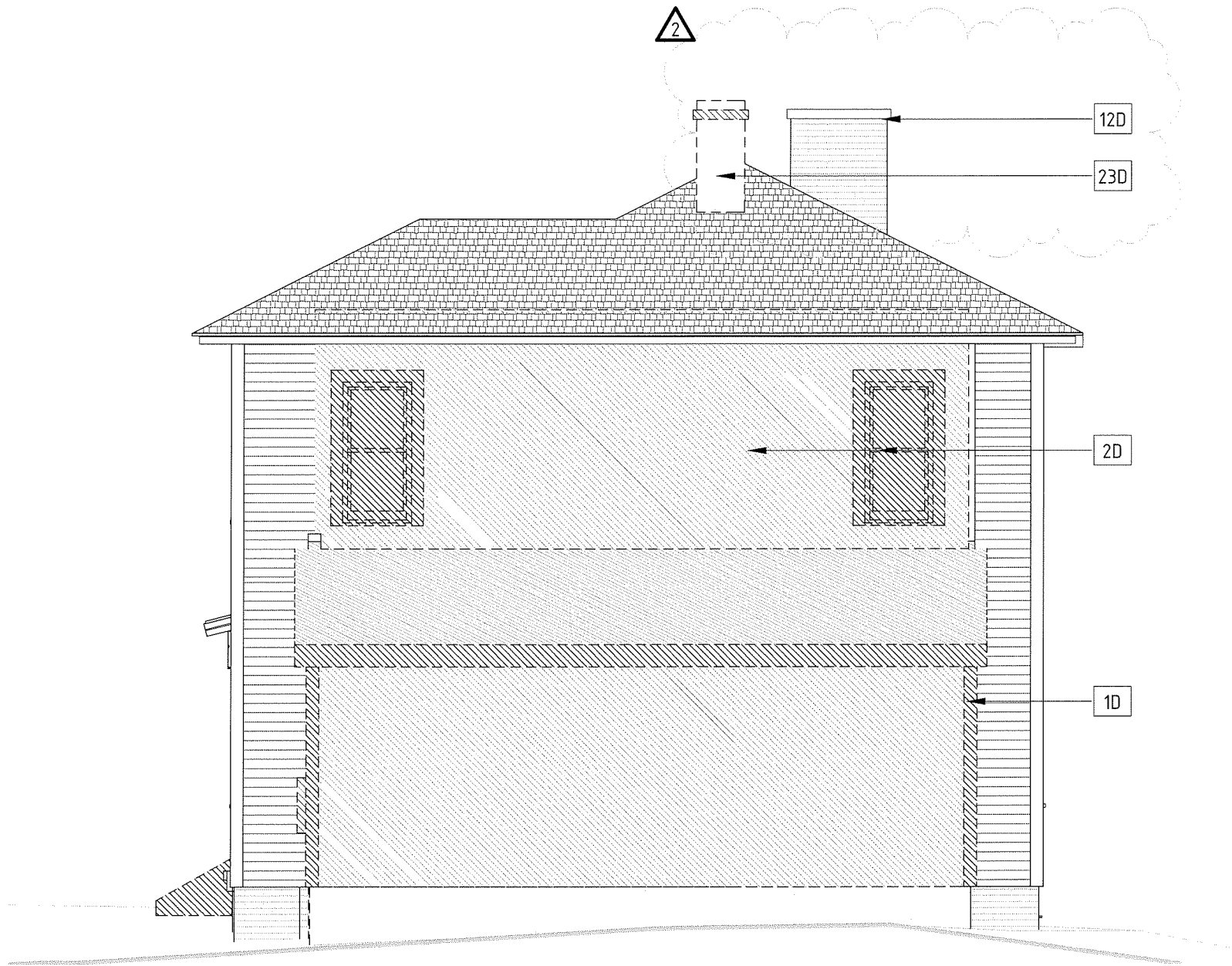
NO.	DESCRIPTION
1D	REMOVE REAR ADDITION AND ONE-STORY INFILLED PORCH
2D	REMOVE SIDING AND WINDOWS AT NEW ADDITION , TRIM TO BE SALVAGED IF POSSIBLE
3D	REMOVE CONCRETE STAIR
4D	REMOVE ROOF AND FRAMING
5D	REMOVE NON ORIGINAL DOOR
6D	REMOVE WINDOW
7D	REMOVE NON ORIGINAL ADDITION
8D	REMOVE DOOR AND SIDING
9D	REMOVE NON ORIGINAL ADDITION
10D	REMOVE COLUMN
11D	REMOVE ELECTRICAL PANEL
12D	CHIMNEY TO REMAIN
13D	REMOVE PORCH FLOOR AND FRAMING AT NEW ADDITION
14D	REMOVE WALL
15D	REMOVE PORTION OF WALL FOR NEW CASED OPN'G
16D	REMOVE PORTION OF WALL FOR NEW DOOR
17D	REMOVE H2O HTR. AND W/D CONNECTIONS
18D	REMOVE INFILL OF DOOR SIDELITES
19D	REMOVE DOOR AND TRIM
20D	REMOVE SHOWER AND WALL
21D	REMOVE ALL WINDOWS, TRIM TO REMAIN, TYP.
22D	REMOVE EXISTING TENANT DEMISING WALLS
23D	REMOVE EXISTING UTILITY CHIMNEY



1 WEST ELEVATION - DEMOLITION-
SCALE: 3/16" = 1'-0"

DEMOLITION KEYNOTES

NO.	DESCRIPTION
1D	REMOVE REAR ADDITION AND ONE-STORY INFILLED PORCH
2D	REMOVE SIDING AND WINDOWS AT NEW ADDITION , TRIM TO BE SALVAGED IF POSSIBLE
3D	REMOVE CONCRETE STAIR
4D	REMOVE ROOF AND FRAMING
5D	REMOVE NON ORIGINAL DOOR
6D	REMOVE WINDOW
7D	REMOVE NON ORIGINAL ADDITION
8D	REMOVE DOOR AND SIDING
9D	REMOVE NON ORIGINAL ADDITION
10D	REMOVE COLUMN
11D	REMOVE ELECTRICAL PANEL
12D	CHIMNEY TO REMAIN
13D	REMOVE PORCH FLOOR AND FRAMING AT NEW ADDITION
14D	REMOVE WALL
15D	REMOVE PORTION OF WALL FOR NEW CASED OPN'G
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19D	REMOVE DOOR AND TRIM
20D	REMOVE SHOWER AND WALL
21D	REMOVE ALL WINDOWS, TRIM TO REMAIN, TYP.
22D	REMOVE EXISTING TENANT DEMISING WALLS
23D	REMOVE EXISTING UTILITY CHIMNEY



1 SOUTH ELEVATION - DEMOLITION-
SCALE: 3/16" = 1'-0"

DEMOLITION KEYNOTES

NO.	DESCRIPTION
1D	REMOVE REAR ADDITION AND ONE-STORY INFILLED PORCH
2D	REMOVE SIDING AND WINDOWS AT NEW ADDITION , TRIM TO BE SALVAGED IF POSSIBLE
3D	REMOVE CONCRETE STAIR
4D	REMOVE ROOF AND FRAMING
5D	REMOVE NON ORIGINAL DOOR
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19D	REMOVE DOOR AND TRIM
20D	REMOVE SHOWER AND WALL
21D	REMOVE ALL WINDOWS, TRIM TO REMAIN, TYP.
22D	REMOVE EXISTING TENANT DEMISING WALLS
23D	REMOVE EXISTING UTILITY CHIMNEY



1

EAST ELEVATION - DEMOLITION-

SCALE: 3/16" = 1'-0"



1 BUILDING ELEVATION - NORTH .
SCALE: 3/16" = 1'-0"

REMOVE EXISTING UTILITY CHIMNEY
NEW 2 STORY ADDITION

NEW WD. STAIR
AND WD. DECK

REV 1 11-9-2021

NEW 90 DEG.
WOOD LATTICE
UNDER STAIR,
TYP.

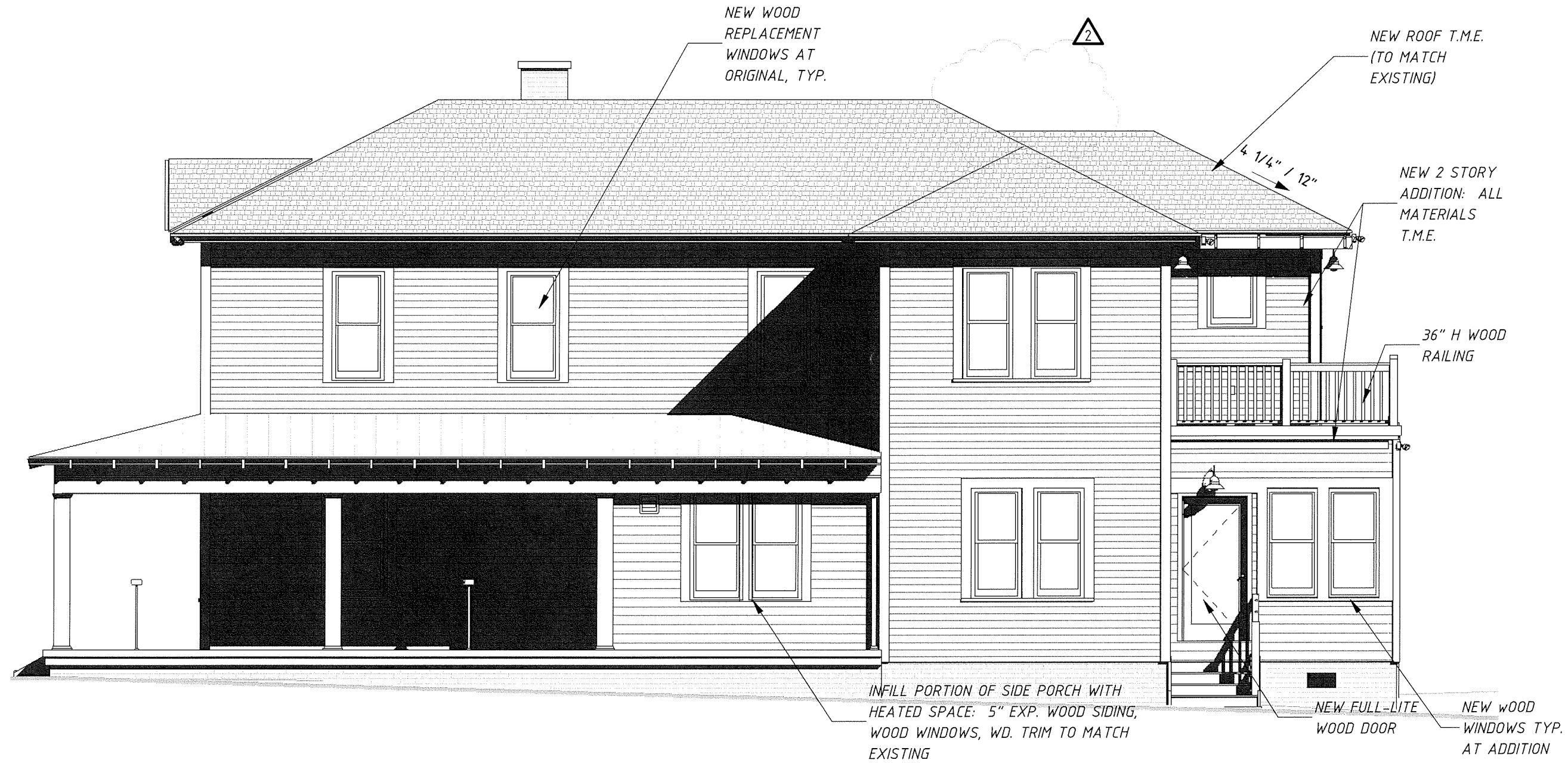
NEW PAINTED BRICK
FOUNDATION T.M.E.

INFILL LOWER SASH
BEHIND WINDOW FOR
KITCHEN COUNTER

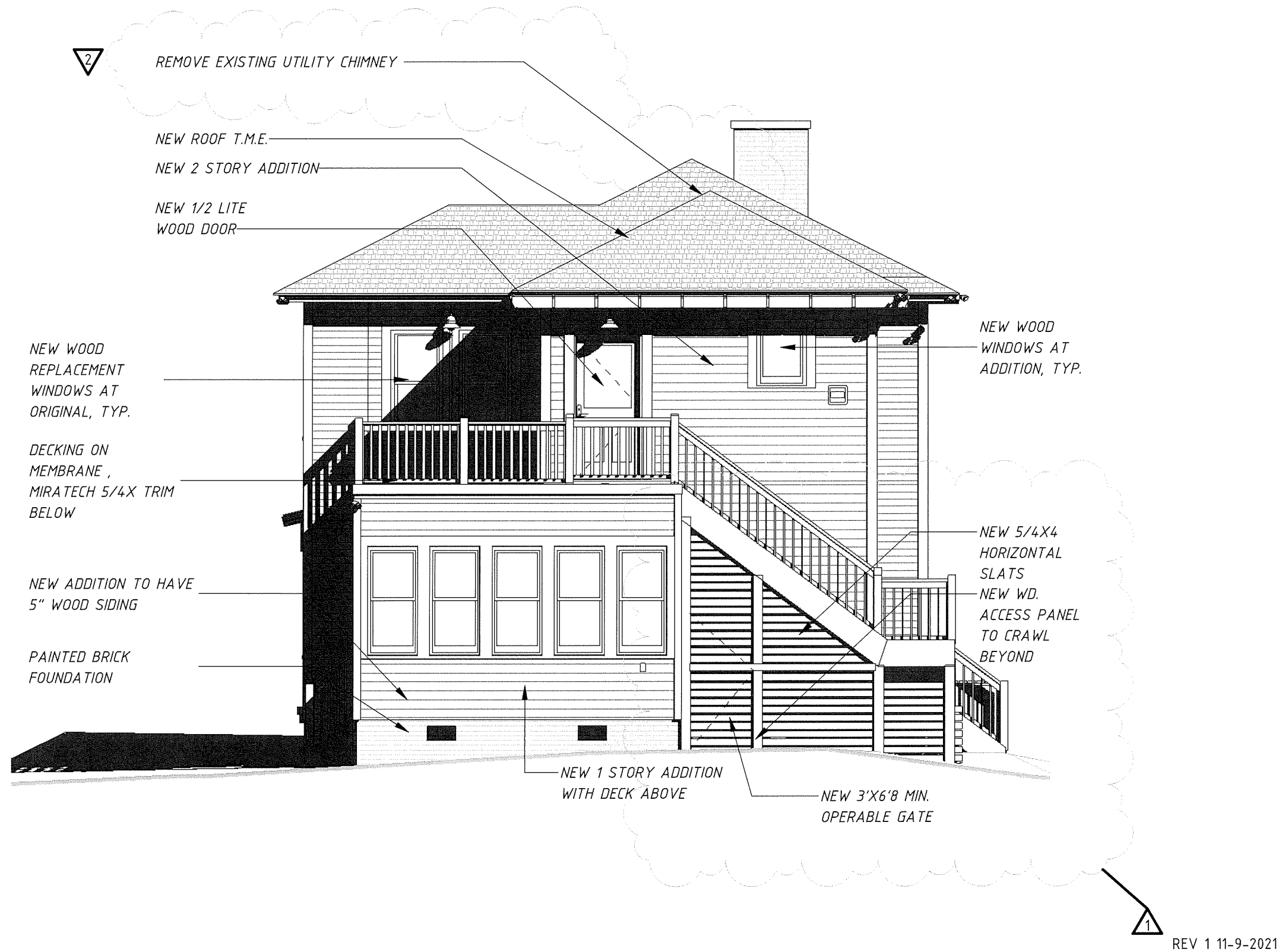
1

BUILDING ELEVATION - EAST.

SCALE: 3/16" = 1'-0"



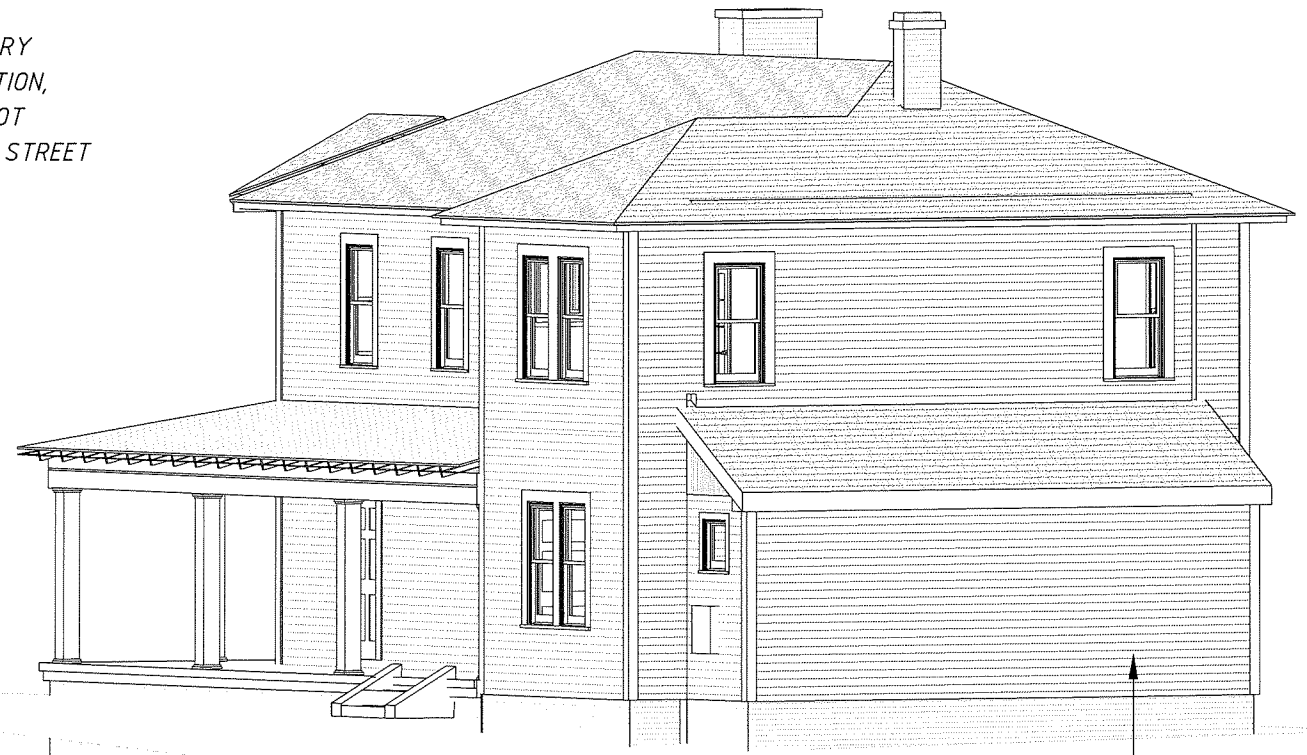
1 BUILDING ELEVATION - WEST
SCALE: 3/16" = 1'-0"



1 BUILDING ELEVATION - SOUTH.
SCALE: 3/16" = 1'-0"



4 PROPOSED SW VIEW
SCALE:



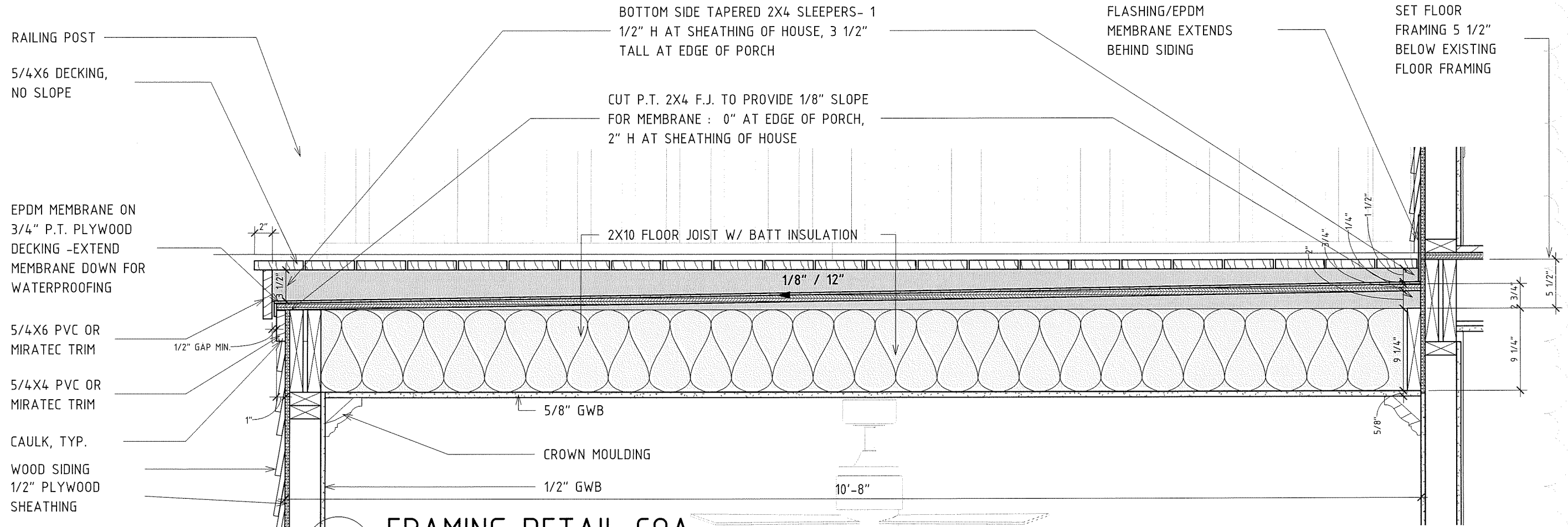
3 EXISTING SW VIEW
SCALE:



2 PROPOSED NW VIEW
SCALE:



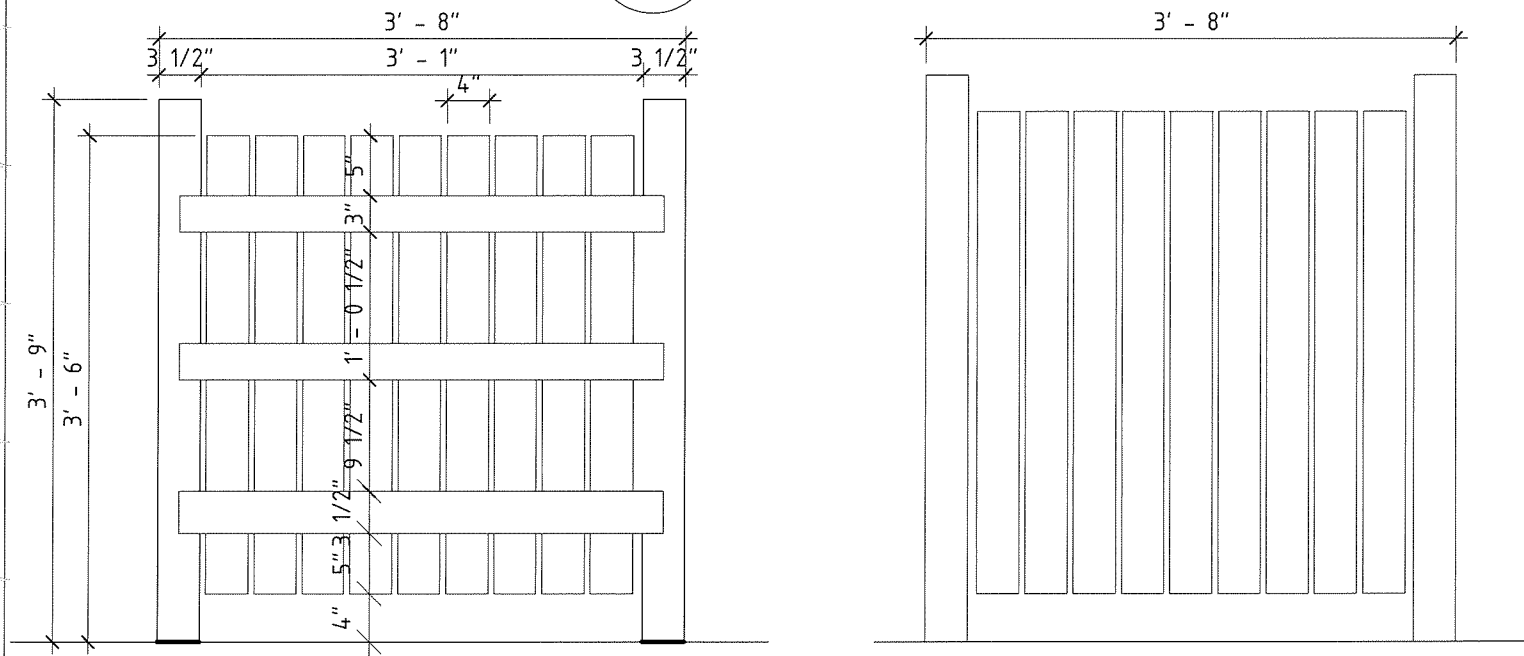
1 EXISTING NW VIEW
SCALE:



2

FRAMING DETAIL COA

SCALE: 1" = 1'-0"



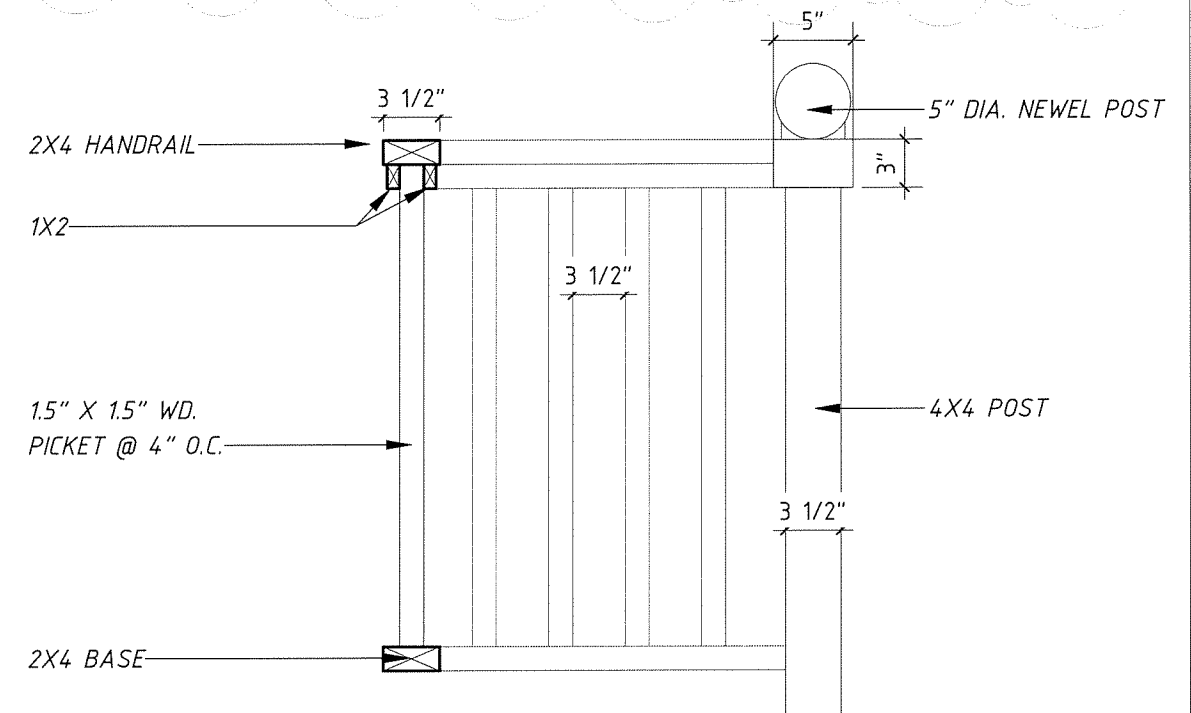
BACK SIDE FACING PROPERTY

FRONT SIDE FACING STREET

3

VERT. HVAC SCREEN DETAIL-COA

SCALE: 3/4" = 1'-0"



1

WD. HANDRAIL DETAIL-COA

SCALE: 1" = 1'-0"