



# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

## Project Description:

Alter landscaping <25% of front yard including: Construct rear rain garden with minor regrading; install cistern under existing deck

624 N East St

Address

Oakwood

Historic District

Historic Property

COA-0027-2023

Certificate Number

2/27/2023

Date of Issue

8/27/2023

Expiration Date

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

*Sein Mochon*

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*



Type or print the following:

Applicant name: Frank Fee

Mailing address: 624 N East St

City: Raleigh

State: NC

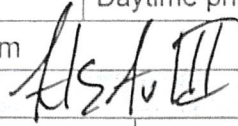
Zip code: 27604

Date: 2/24/2023

Daytime phone #: 919-324-4345

Email address: frankedwardfee3@gmail.com

Applicant signature:



Minor work (staff review) – one copy

Major work (COA committee review) – ten copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of approval

**Office Use Only**

Transaction #: \_\_\_\_\_

File #: COA-0027-2023

Fee: \_\_\_\_\_

Amount paid: \_\_\_\_\_

Received date: \_\_\_\_\_

Received by: \_\_\_\_\_

Property street address: 624 N East St, Raleigh, NC 27604

Historic district: Oakwood

Historic property/Landmark name (if applicable): The Nowell House

Owner name: Frank Fee

Owner mailing address: 624 N East St, Raleigh, NC 27604

**For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.**

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: <u>46</u>
Did you consult with staff prior to filing the application? Yes <input type="radio"/> No <input checked="" type="radio"/>	

Design Guidelines: please cite the applicable sections of the design guidelines ( <a href="http://www.rhdc.org">www.rhdc.org</a> ).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
1.3 / page	Site features and plantings	Construction of a 150 square foot rain garden,
		underground piping from downspouts to rain garden,
		addition of a cistern (hidden below existing deck), and
		installation of pop-up sprinklers to utilize water collected by the cistern.

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>08/27/2023</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Elin Math</u>	Date <u>02/27/2023</u>

## 624 N East Street Rainwater Runoff Project

### Overview:

My property is built on the side of a hill and has a substantial amount of impervious roof surface and the side yard slants down towards the back of the property. This results in a substantial amount of runoff that is eroding our side yard and floods into the basement of the property immediately behind ours. Our plan is to divert approximately half the runoff to a 150 square foot rain garden and capture the remaining in a cistern (hidden below view under an existing lattice screened deck) and install an irrigation system to utilize that cistern-captured stormwater. We will utilize the Raleigh Rainwater Rewards Program Assistance to help fund the project, this will result in additional city oversight.

### Details:

- Construction of a 150 square foot rain garden on the eastern (back) edge of the property
- Run approximately 150 feet of 4" underground drains from various existing downspouts
- Install native grasses and small shrubbery in the rain garden
- Installation of a 1,000 gallon cistern underneath the existing deck, obscured from view by existing latticework, connection of existing downspouts to cistern
- Installation of automatic underground irrigation system
- Addition of approximately 24 yards of soil conditioner and grading of same to 55'x40' of back yard to replace eroded topsoil
- Installation of 6 pallets of zenith zoysia sod to 55'x40' soil conditioned area

### Estimated surface area of the project:

- Approximately 55' x 40', or 35% of existing side and rear yard

### Proposed project work dates:

- 2 – 3 days during April 2023





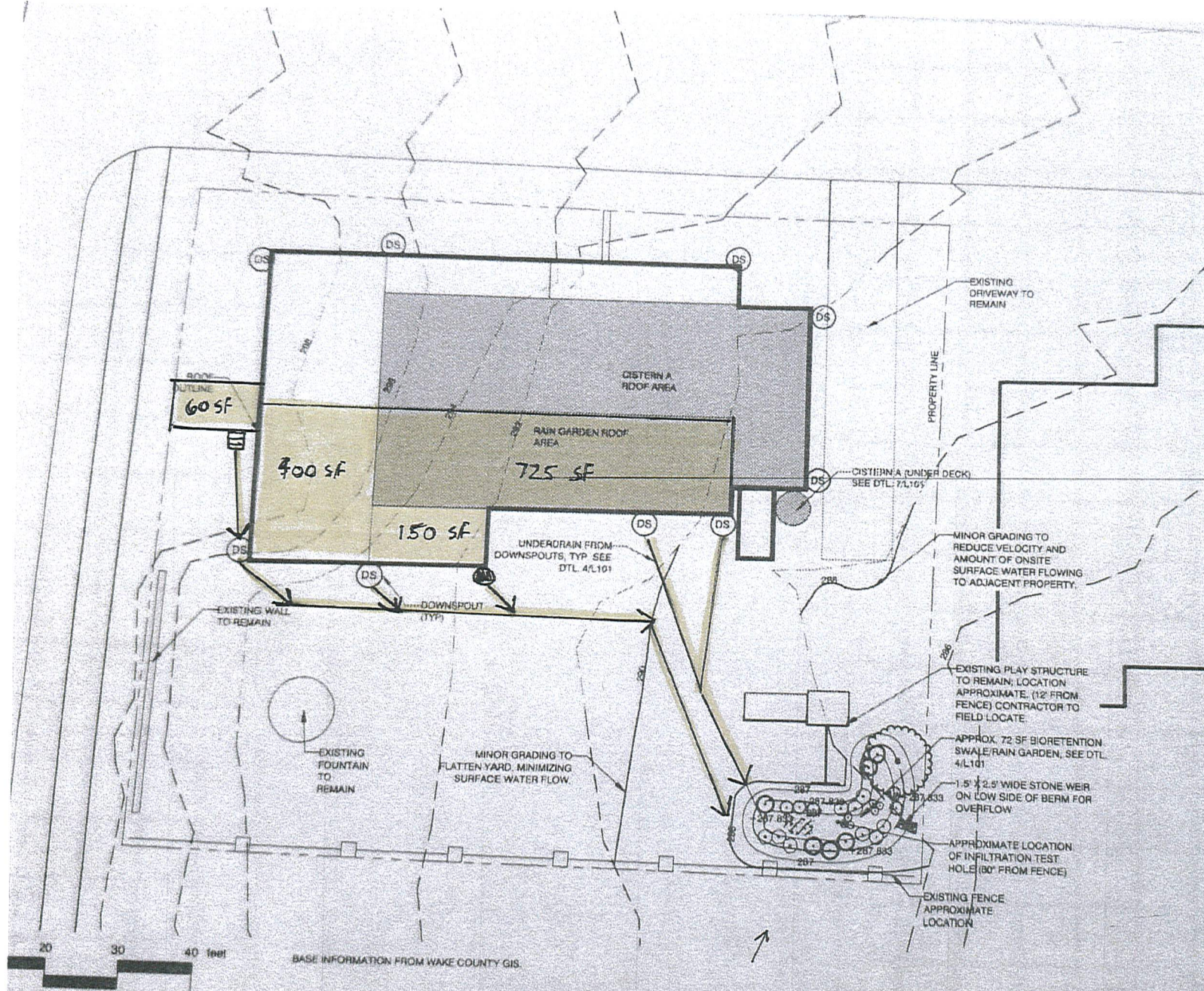













CISTERN A SIZING  
 1148 SF \* .62 = 712 GALLONS  
 (STANDARD 865 GAL BARREL  
 SEE DETAIL 7/L101)

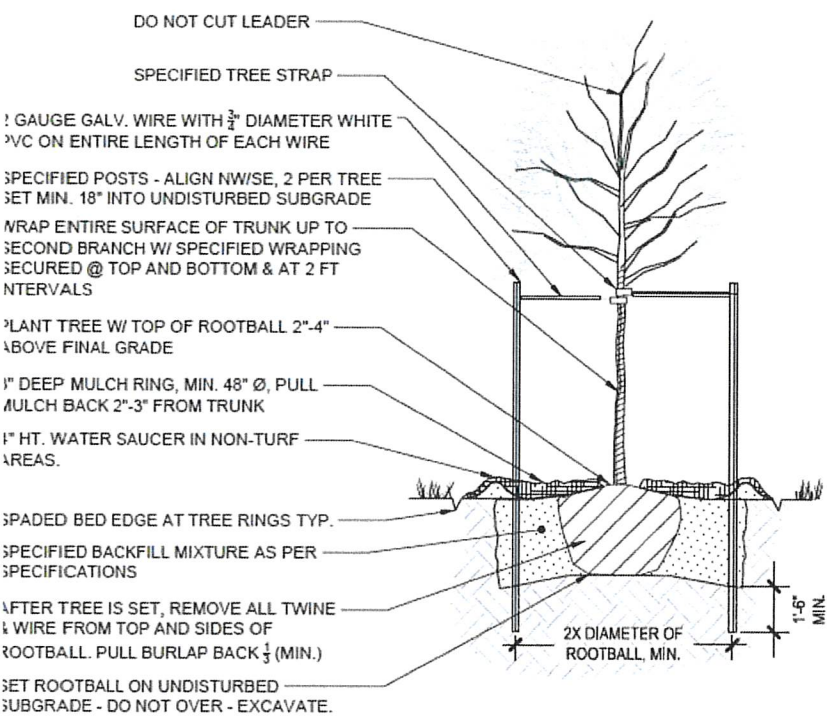
RAIN GARDEN SIZING  
 722 SF IMPERVIOUS \* 10% = 72 SF  
 (WITH 10' OF SURFACE PONDING)  
 SEE DETAIL 4/L101

1335 SF  
 ~ 150 SF RAIN GARDEN

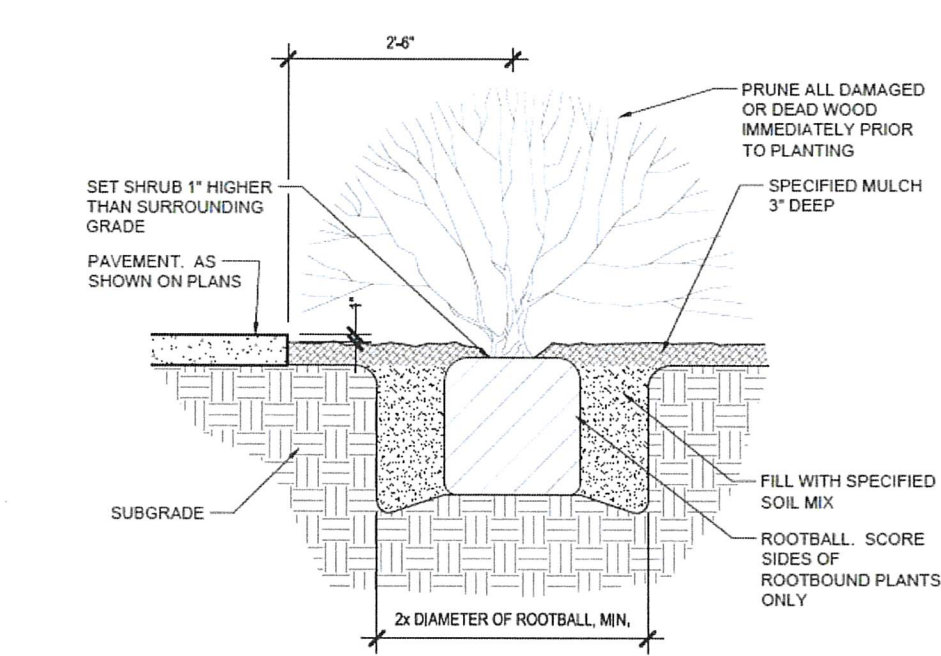
## PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SI
	MS	Magnolia virginiana	Sweet Bay	1
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SI

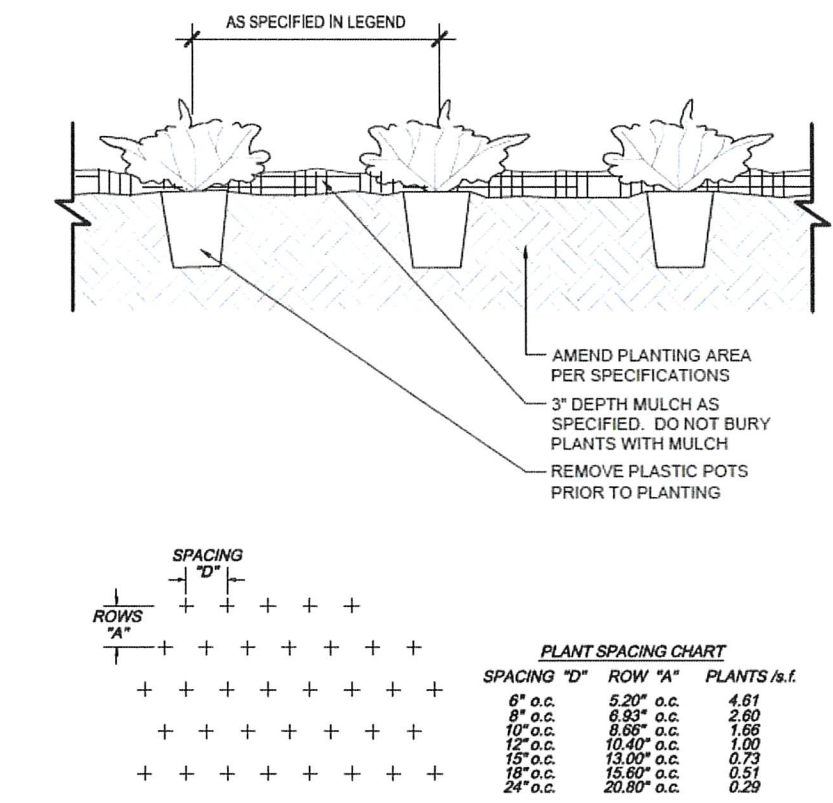




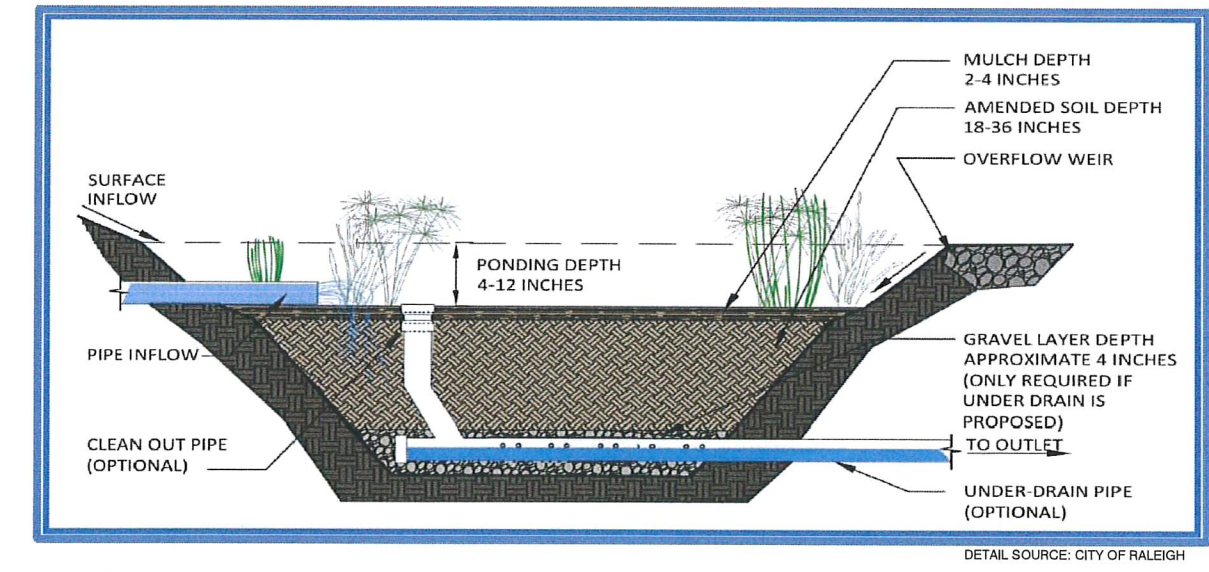
DETAIL 1 - TREE PLANTING



DETAIL 2 - SHRUB PLANTING



DETAIL 3 - GROUNDCOVER & SPACING



DETAIL 4 - RAIN GARDEN

- RAIN GARDEN SOILS:
- 75% SAND
  - 15% CLAY
  - 10% ORGANIC MATTER
  - DO NOT COMPACT SOIL.
- ADD A 2-4" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH ON THE SURFACE.
  - PONDING DEPTH: 10 INCHES
  - NO UNDER-DRAIN PIPE IN RAIN GARDEN NEEDED.
  - OVERFLOW WEIR AS SHOWN.
  - 4" CORRUGATED PIPE CONNECTING FROM ROOF DOWNSPOUT TO RAIN GARDEN

DETAIL 5 - NOT USED

DETAIL 6 - NOT USED

**Bushman**

**BRTT865**




**TOP VIEW**

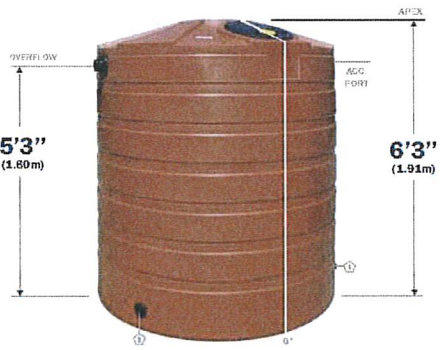
STRAINER BASKET  
Material: Polypropylene  
Color: Black  
Dimension: 16" x 4"  
Mesh: 20x20 S.S.  
COVER  
Material: Polypropylene  
Color: Black  
Diameter: 16"  
Holes: 2 - 4" K.D.  
1 - 3" Precut

**SIDE VIEW**

TANK  
Material: Polyethylene  
Ribs: 7  
OVERFLOW  
Material: Polypropylene  
Diameter: 3" SDR 35  
FITTINGS  
Type: Bulkhead  
Height: 5.5"/80°  
26"/180°  
5.5"/300°  
Location: Every 120°  
Diameter: 1" NPT

**FEATURES**





5'3" (1.60m)

5'1" (1.55m)

6'3" (1.91m)

www.bushmanusa.com

Substitutions acceptable with landscape architect approval.


Corporate Headquarters  
26040 Ynez Road, P.O. Box 893051  
Tampa, FL 33689-3051  
806.920.3265 (p)  
951.276.6123 (f)  
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General Notes

3	RAINWATER REWARDS #2	2021/10/25
2	RAINWATER REWARDS	2021/09/03
1	OWNER REVIEW	2021/06/24
No.	Revision/Issue	Date

Designed By:  
PROSPECT LANDSCAPE ARCHITECTURE, PLLC  
227 GLASCOCK STREET  
RALEIGH NC 27604  
WWW.PROSPECT-LA.COM  
JENWAGNERLANDSCAPE@GMAIL.COM  
919-607-0025

PROSPECT LANDSCAPE ARCHITECTURE



Project/Client:  
FRANK FEE  
RESIDENTIAL STORMWATER CONTROL  
DESIGN  
624 N EAST STREET  
RALEIGH, NC 27604

Project FEE RESIDENCE	Sheet SHEET DESCRIPTION
Date 2021/10/25	L#101
Scale NTS	