

APPLICANT:
LAURIE JACKSON

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

COA-0033-2019 308 S BOYLAN AVENUE

Applicant: LAURIE JACKSON

Received: 3/13/19

Meeting Date(s):

Submission date + 90 days: 06/11/19

1) 04/25/2019 2) 3)

INTRODUCTION TO THE APPLICATION

Historic District: BOYLAN HEIGHTS HISTORIC DISTRICT

Raleigh Historic Landmark: THE BOYLAN MANSION

Zoning: HOD-G

Nature of Project: Construct rear addition; install wheelchair lift; alter balcony railing; install new balconies; replace columns

DRAC: An application was reviewed by the Design Review Advisory Committee at the April 1, 2019 meeting. Members in attendance were Jenny Harper, Mary Ruffin Hanbury, and Sarah David; also present were Laurie Jackson and David Maurer, architects; Sara and Jeff Shepherd, property owners; and Collette Kinane and Tania Tully, staff.

Staff Notes:

- COA cases mentioned are available for review.

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<u>Sections</u>	<u>Topic</u>	<u>Description of Work</u>
1.3	Site Features and Plantings	Construct an addition;
2.8	Entrances, Porches, & Balconies	Replace a balcony railing; install new balconies; replace columns
2.11	Accessibility, Health, & Safety	Install a wheelchair lift
3.2	Additions	Construct an addition; install a wheelchair lift

STAFF REPORT

Based on the information contained in the application and staff's evaluation:

- A. Constructing an addition; installing a wheelchair lift; replacing a railing; installing new balconies; and replacing columns are not incongruous in concept according to *Guidelines* 1.3.1, 1.3.2, 1.3.6, 1.3.7, 1.3.8, 1.3.9, 2.8.1, 2.8.5, 2.8.6, 2.8.10, 2.11.1, 2.11.2, 2.11.3, 2.11.5, 2.11.8, 3.2.2, 3.2.4, 3.2.5, 3.2.6, 3.2.7, 3.2.8, 3.2.9, 3.2.11, 3.2.12; and the following suggested facts:
- 1* The National Register of Historic Places nomination for Montfort Hall describes the relationship of the house to its site as: "The siting of Montfort Hall is still impressive, for it stands amid a one-acre plot of land on the highest elevation for some distance around.

From this vantage point, once located in a semi-rural area but now surrounded by early twentieth century development, Montfort Hall overlooks the immediate neighborhood of Boylan Heights...This siting recalls Montfort Hall's proud role as one of a series of luxurious suburban mansions built shortly before the Civil War for Raleigh's wealthy families."

- 2* A previous approved application (COA-0013-2019) included the removal of trees, removal of a portion of fence in the rear yard, reconstruction of the chimneys, and the installation of walkways and parking areas.
- 3* The application proposes the construction of a second story rear addition on top of an existing addition. A new two-story stair tower and covered entry with wheelchair lift will replace an existing wooden stair and lift. Lift details were not provided.
- 4* The addition will be clad in wood siding to match the existing addition on the south facade. It features a low slope roof that meets the historic structure below the decorative entablature.
- 5* The rear is a traditional location to add onto a house.
- 6* The eave is proposed to match the existing on the south addition. Neither detailed drawings nor close-up photos of the existing eave were provided.
- 7* The proposed fenestration of the addition matches the rhythm and proportion of the historic house. Window specifications were provided. Trim and casings are proposed to match existing on south addition. Detailed photos were not provided.
- 8* The application includes the following built **area** to open space analysis: The lot is 43,623 SF. The existing built area is 5,560 SF, or 13%. The approved built area (which includes the walkways, parking areas, and site changes from COA-0013-2019) is 9,279 SF, or 21%. The addition proposed in this application adds 502 SF to create a built area of 9,781 SF, or 22%. This is an increase in built area of 9% total.
- 9* The application does not distinguish between built mass and built area. However, the proposed first floor plan and side elevation drawings illustrate the diminutive size of the proposed new stair tower in comparison with the historic house.
- 10* The applicant provided photographs of other rear additions to properties in Boylan Heights.
- 11* The application proposes the repair of the Juliet balcony on the east façade. The existing railing is proposed to be removed and replaced with a decorative railing that is based on the railings present on The Barracks, a property in Tarboro designed by the same architect.

- 12* A new Juliet balcony is proposed for the north elevation. This balcony is based on documentation of the property from 1967 that indicates a balcony previously existed in the same location. Detailed drawings were not provided.
- 13* A walk-out balcony with a new French door is proposed for the west façade on the previous addition. Detail drawings were not provided.
- 14* The application also proposes the restoration of the columns on the north and south porches. The extant columns are non-historic PVC piping with concrete bases. The applicant proposes replacement with 10" wood columns, capitals, and bases.
- 15* Details were not provided for the following proposed changes:
- a. new entry doors for the rear entry.
 - b. new painted steel handrail and guardrail for the front entryway and porches
 - c. decorative steel security gate for the west façade.
- 16* Phase 1 of the tree protection plan was provided.

Staff suggests the committee approve the application with the following conditions:

1. That a tree protection plan be implemented and remain in place for the duration of construction.
2. That details and specifications for the following be provided to and approved by staff prior to construction or installation:
 - a. Balcony railing details;
 - b. New Juliet balcony detail drawings;
 - c. Walk-out balcony detail drawings;
 - d. Detail photos of trim and casings to be matched;
 - e. Wheelchair lift specifications;
 - f. Painted steel handrail and guardrail specifications;
 - g. Decorative security gate specifications;
 - h. French door specifications and section;
 - i. Rear entry door specifications and section;
 - j. Eave details.

Staff Contact: Collette Kinane, collette.kinane@raleighnc.gov

Certificate of Appropriateness | Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form can be submitted in person or via USPS at the above address.

Type or print the following:		
Applicant name:		
Mailing address:		
City:	State:	Zip code:
Date:		Daytime phone #:
Email address:		
Applicant signature:		
<div>Minor work (staff review) – one copy Major work (COA committee review) – one copy (10 copies will be required after initial staff review) Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval</div>		<div>Office Use Only Transaction #: _____ File #: _____ Fee: _____ Amount paid: _____ Received date: _____ Received by: _____ _____</div>
Property street address:		
Historic district:		
Historic property/Landmark name (if applicable):		
Owner name:		
Owner mailing address:		

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes No Did you consult with staff prior to filing the application? Yes No	Office Use Only Type of work: _____ _____
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Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).

<p align="center">Minor Work Approval (office use only)</p> <p>Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____.</p> <p>Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.</p> <p>Signature (City of Raleigh) _____ Date _____</p>

To be completed by applicant			Office Use Only		
	Yes	N/A	Yes	No	N/A
Attach 8-1/2"x11" or 11"x17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 1 copy (10 copies will be required after initial staff review).					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, tree species, etc.)					
2. Description of materials (Provide samples, if appropriate)					
3. Color Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page. Photos should be of each side of the house, fully show the yards, and include streetscapes.					
4. Paint Schedule (if applicable)					
5. Site Drawings. Required for projects that include any addition, demolition, fences, walls, or other landscape work. <ul style="list-style-type: none"> • Plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc. • Tree survey include size, species, and critical root zone for each tree over 8" diameter when measured 4' above ground level • Tree protection plan include material staging area, construction access, limits of disturbance, location of tree protection fencing • Grading plan • Dimensions shown on drawings and/or graphic scale (required) • 11"x17" or 8-1/2"x11" reductions of full-size drawings 					
6. Architectural Drawings showing existing and proposed work (if applicable) <ul style="list-style-type: none"> • Plan drawings • Elevation drawings showing the façade(s). For additions, deck, and porches, include the grade. • Dimensions shown on drawings and/or graphic scale (required) • 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 					
7. Stamped envelopes addressed to all property owners within 100 feet of property, on all sides of the property, as well as the property owner (required for Major Work). Use the Label Creator to determine the addresses.					
8. Fee (See Development Fee Schedule)					

1703375717
MH BOYLAN LLC
308 S BOYLAN AVE
RALEIGH NC 27603-1908

1703373634
MARSCHALL, DAVID J
315 CUTLER ST
RALEIGH NC 27603-1919

1703373648
LEE, RICHARD EUGENE
311 CUTLER ST
RALEIGH NC 27603-1919

1703373754
SHACKLETON, SCOTT P
PO BOX 28123
RALEIGH NC 27611-8123

1703373767
FUTORANSKY, DONNA
307 CUTLER ST
RALEIGH NC 27603-1919

1703373882
ROWE, MATTHEW ROWE, TRACI
305 CUTLER ST
RALEIGH NC 27603-1919

1703373899
CAMPBELL, KEVIN S
2805 NC 97 HWY
WENDELL NC 27591-6986

1703374566
ZAYTOUN REALTY GROUP LLC
320 S BOYLAN AVE STE A
RALEIGH NC 27603-1908

1703374673
WHELAN, ANDREW EDWARD KREMER,
DARLA J
316 S BOYLAN AVER
RALEIGH NC 27603

1703374838
WILKINS, CHARLES P JR
626 W JONES ST
RALEIGH NC 27603-1575

1703375997
MOUNTFORD AVENUE ASSOCIATES
706 MOUNTFORD ST
RALEIGH NC 27603-1944

1703376583
ZAYTOUN, ADAM MABE ZAYTOUN, SARAH
JENSEN
317 S BOYLAN AVE
RALEIGH NC 27603-1907

1703377518
WOOSTER, ANDREW WOOSTER, DONNA
315 S BOYLAN AVE
RALEIGH NC 27603-1907

1703377648
WARD, CAITLIN HARTWELL
521 W CABARRUS ST
RALEIGH NC 27603-1911

1703377911
WAZEE PROPERTIES LLC
C/O RILEY LEWIS GENERAL
CONTRACTORS
PO BOX 6481
RALEIGH NC 27628-6481



Montfort Hall
308 S. Boylan Ave, Raleigh

April 25, 2019

Summary of Work:

The project scope includes the removal of roof, rotted siding and windows in existing addition on south elevation and the removal of a non-original rear deck, stair and wheelchair lift on the west elevation. The existing brick foundation of the south addition will remain. A new second-story addition will be constructed on the existing, one-story rear portion of the building, and a two-story addition with entry porch and stair will be constructed on the back or west elevation. A new wheelchair lift will also be installed at the new entry porch. The existing addition will be re-clad in wood siding to match the original, and new windows, a new double leaf door and a new roof will be installed on the existing addition. A small, walk-out balcony will be constructed at the west elevation of the existing addition.

The existing juliete balcony on the east elevation will be repaired and the non-original railing removed. A new railing will be installed, based on railing details from The Barracks in Tarboro. The Barracks is a historic plantation house built by the same architect at the same time as Montfort Hall. Per the National Register nomination, *Montfort Hall is closely related to the Barracks, designed in 1858 by William Percival. The massing, use of classical and Italianate detail and interior plan are similar. Several decorative features, such as the louvered interior shutters, coved ceilings and the stained glass oculus, are found in both houses.* This page from the NR nomination is included for reference, as well as photographs from The Barracks showing the existing historic railing at that location. Finally, an original juliete balcony on the north elevation will be reconstructed and a new railing matching the historic detailing installed. The juliete balcony is shown in this location in the 1967 documentation of Montfort Hall found in the Special Collections Research Center at NCSU libraries. The north elevation drawing from this documentation set is included, showing the location of the juliet balcony on the north elevation.

The north and south porches on the east elevation are undergoing repair prior to the installation of new roofing. When the existing columns were removed, it was discovered that they were later replacements along with the cast capitals and bases. The column material itself is PVC piping. Both porches have a concrete slab topping that is not original, and it appears that the replacement columns were constructed at the same time. The column bases were clearly cast into the slab topping and evidence of 6x6 wood supports within the column were observed. It is proposed to replace the non-original PVC columns and concrete capitals & bases with new, 10" wood columns with a similar 'Temple of the Winds' Corinthian capital and base. Photographs of the existing conditions are included, along with updated site conditions photographs.

Per CoA 0013-2019, the following has already been approved by the Certificate of Appropriateness Committee:

- Alter driveway and replace curb cut
- Remove 15 trees, portions of existing fence, construct parking area
- Replace masonry chimneys, install metal roof



Additions (Section 3.2): The existing fascia of the one-story portion of the building will remain in order to differentiate the second-story addition from the original construction. There will be a low metal roof on the second story addition and the rear addition. The rear addition on the west elevation is inset several feet from the body of the main house on both sides. The rear porch and stair will be built in the same location as the existing porch and stair. The size and scale of the additions are limited so as not to visually overpower the historic building.

Exterior finishes (Sections 2.1-2.2): The new addition will be clad in wood lap siding to match the existing siding. All trim details will match the existing wood trim on the south addition. The foundation wall of the new addition will be brick matching the existing brick foundation on the south addition.

Windows (Section 2.7): The existing windows on the addition will be removed and replaced with new wood windows in the same location. In the new additions, new wood windows will be installed. All new windows shall be Marvin Ultimate Double Hung with putty profile. *Attached are the elevations and head, jamb, and sill details for review.*

Doors (Section 2.7): A new custom wood door with 1/4 glass shall be installed at the rear entry porch. A double leaf, full-lite wood door shall be installed on the west side of the existing south addition. All new exterior doors shall be TruStile Reserve wood doors with insulated glass.

Roofing (Section 2.5): The low hip roof of the second story addition and the rear addition will be copper standing seam with 15" wide panels and 1" high ribs with no hip or ridge caps.

Rear Porch (Section 2.8): The new porch and stair on the west elevation will have wood tongue and groove flooring on wood joists. Columns are to be 10" wood with a simple capital and base. The ceiling of the porch will be beaded board. The guard and handrail at the new stair will be wood; details are provided.

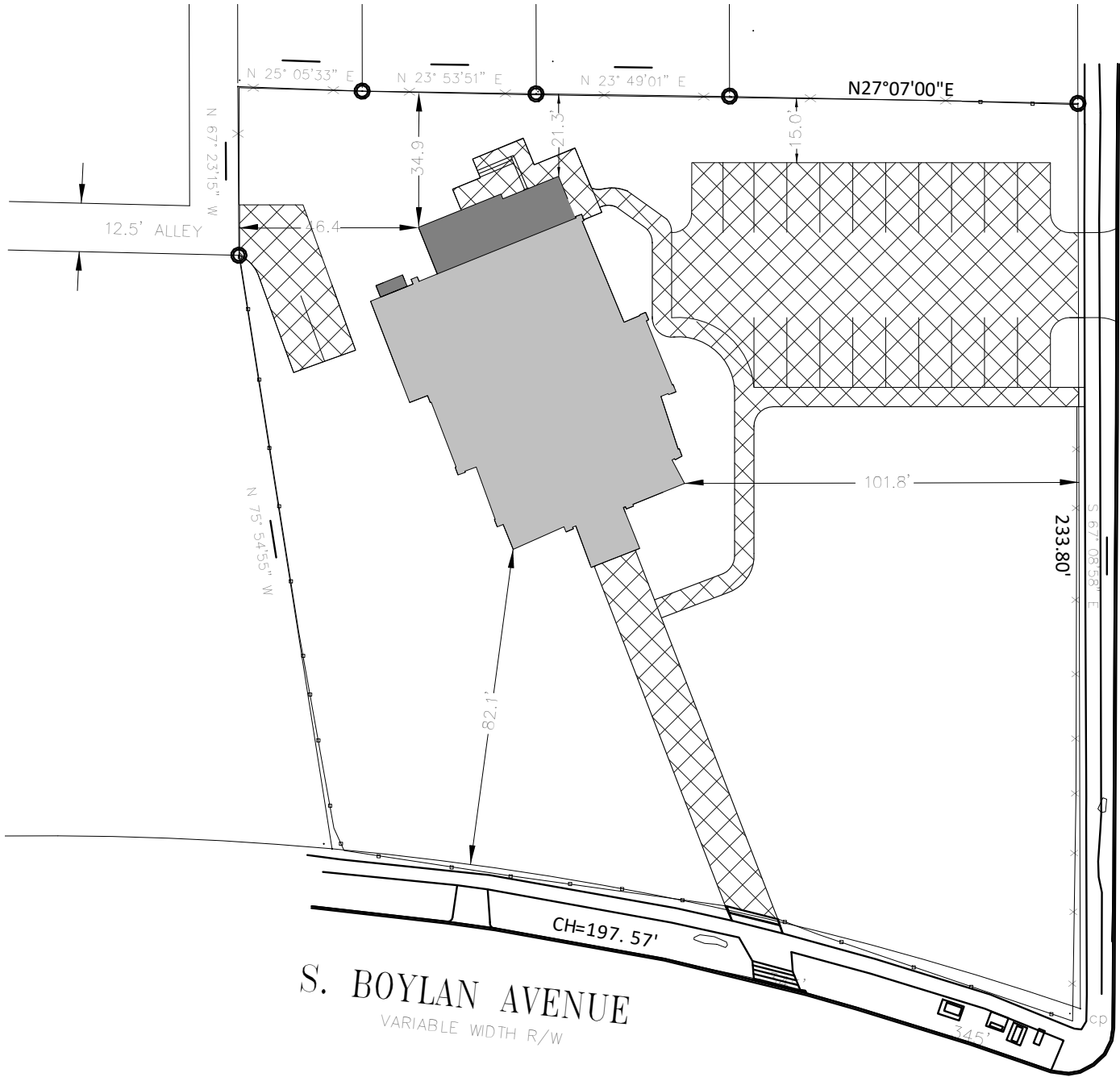
Built Mass




The existing built area is 5,660 SF, which is 13% of the 43,623 SF site. The approved built area is 9,279 SF or 21% of the site. The approved built area consists of site circulation features and new parking areas. The proposed built area includes the new two-story stair tower addition, entry porch and stair and walk-out balcony on the west elevation. (The second story addition on the existing one story portion of the building is within the existing building footprint and is not included in the proposed built area calculation.) A site diagram showing the existing, approved and proposed built area is included.

Fact:

Rear two-story additions have been approved in the Boylan Heights Historic District, and photographs are included of 1022 South St., 917 South St., 1100 W. Cabarrus and 511 Cutler St.

MONTFORT STREET 60' R/W



EXISTING TO PROPOSED BUILT AREAS	SF	% OF 43,623 SF SITE
 EXISTING BUILT AREA	5660	13%
 APPROVED BUILT AREA	9279	21%
 PROPOSED BUILT AREA	502	1 %

MONTFORT HALL 308 S BOYLAN AVE
SCALE: 1" = 40'-0"



01 - Existing east or main elevation



02 - Existing northeast corner of building



03- Existing north elevation



04 - Existing northwest corner of building



05- Existing west elevation



06 - Existing partial south elevation



07- Existing partial south elevation



08 - South porch with roof repair in process. Several column bases remain attached to concrete slab



09- North porch during roof repair. Column base still attached to concrete slab at porch floor



10 - North porch concrete slab showing cast in place base around 6x6 wood post



11- North porch column base and slab with wood band board below



12 - 'Temple of the Wind' column capital cast around PVC column



13- 'Temple of the Wind' column capital cast around PVC column



14 - 'Temple of the Wind' column capital cast around PVC column



15- Existing, historic juliet balcony railing taken at The Barracks, Tarboro NC



16- Existing, historic juliet balcony railing detail taken at The Barracks, Tarboro NC



The Barracks, Tarboro NC

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

FOR NPS USE ONLY

RECEIVED

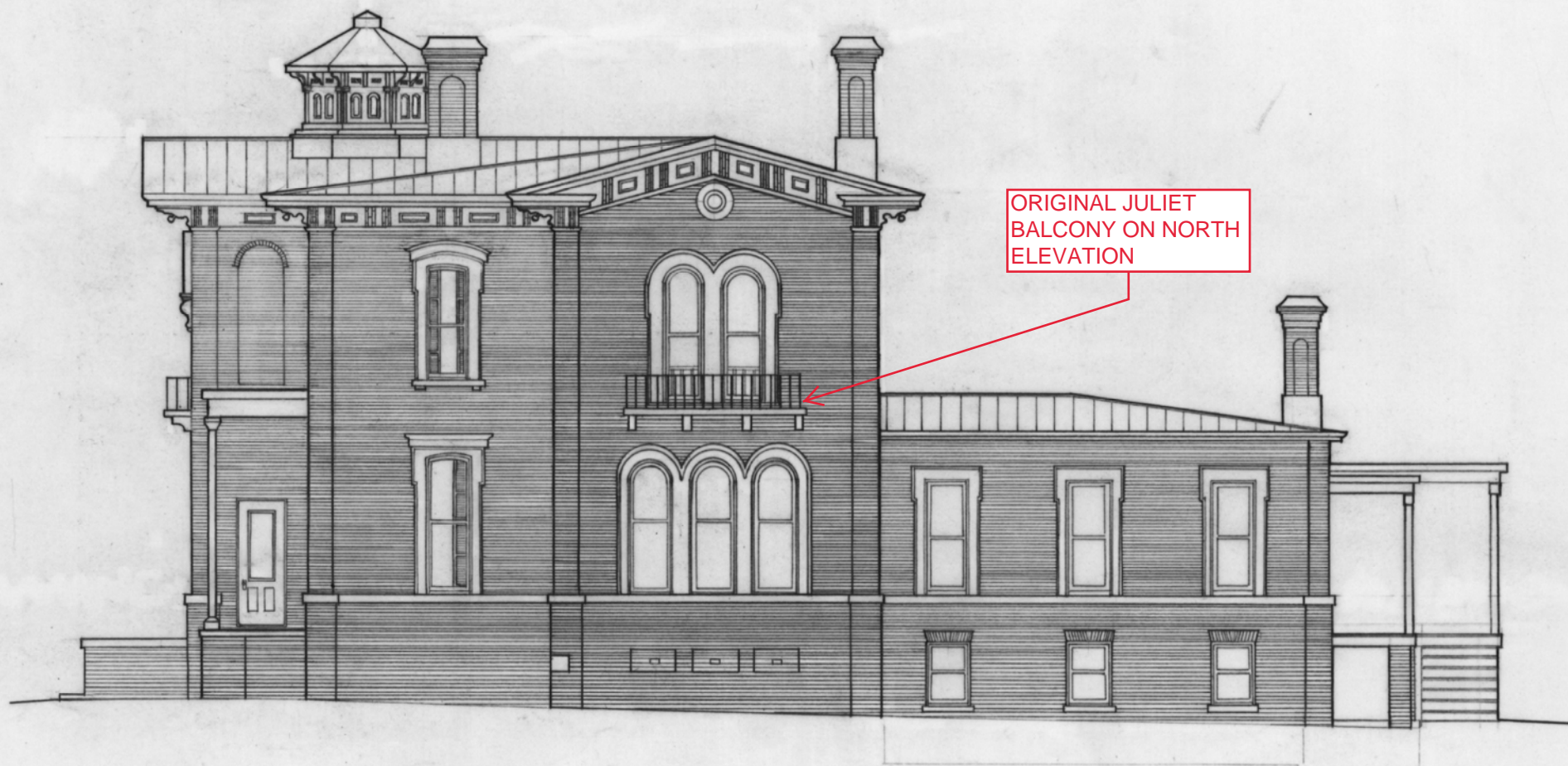
DATE ENTERED

CONTINUATION SHEET

ITEM NUMBER 7 PAGE 2

however, the second floor gallery has been filled in. The south side of the house, which Mrs. Cox described as the music room, library, master bedroom and bath, has been altered to accommodate the church auditorium. Aside from this renovation, the spaces have been basically maintained. The dining room and parlor contain the original crown moldings and sliding doors, and the stair is intact. None of the original bathrooms or first floor marble mantels, however, remain.

Montford Hall is closely related to The Barracks, designed in 1858 by William Percival for William S. Battle of Tarboro, North Carolina. The massing, use of classical and Italianate detail, and interior plan are similar. Several decorative features, such as louvered interior shutters, coved ceilings, and the stained glass oculus, are found in both houses.



MONTFORT HALL

North Elevation, 1967

Special Collections Research Center at NCSU libraries



917 South St., Boylan Heights

1022 South St., Boylan Heights



Rear, two story additions in the
Boylan Heights Historic District



511 Cutler St., Boylan Heights

1100 W Cabarrus St., Boylan Heights



Rear, two story additions in the
Boylan Heights Historic District

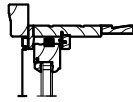
WOOD ULTIMATE DOUBLE HUNG WITH PUTTY PROFILE

SECTION DETAILS – OPERATING DOUBLE HUNG

SCALE: 1=1

6 9/16"

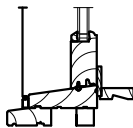
HEAD



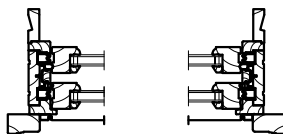
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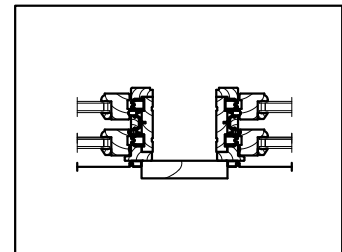
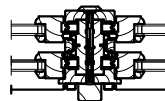
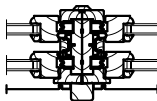
SILL



JAMB



VERTICAL





















































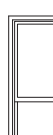
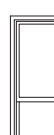


Mulling information (Double-click to highlight & copy/paste to browser search window):

<https://www.marvin.com/WebDoc/Marvin%20ADM%20Mulls%20All.pdf>

Interior Trim Provided for mulls up to 2"

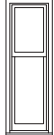
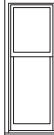







WOOD ULTIMATE DOUBLE HUNG

MO (mm)	2-0 1/2 (622)	2-4 1/2 (724)	2-8 1/2 (826)	2-10 1/2 (876)	3-0 1/2 (927)	3-2 1/2 (978)	3-4 1/2 (1029)	3-8 1/2 (1130)	4-0 1/2 (1232)
RO (mm)	1-10 3/8 (568)	2-2 3/8 (670)	2-6 3/8 (772)	2-8 3/8 (822)	2-10 3/8 (873)	3-0 3/8 (924)	3-2 3/8 (975)	3-6 3/8 (1076)	3-10 3/8 (1178)
FS (mm)	1-9 3/8 (543)	2-1 3/8 (645)	2-5 3/8 (746)	2-7 3/8 (797)	2-9 3/8 (848)	2-11 3/8 (899)	3-1 3/8 (949)	3-5 3/8 (1051)	3-9 3/8 (1153)
DLO (mm)	1-2 15/16 (379)	1-6 15/16 (481)	1-10 15/16 (583)	2-0 15/16 (633)	2-2 15/16 (684)	2-4 15/16 (735)	2-6 15/16 (786)	2-10 15/16 (887)	3-2 15/16 (989)

5-10 9/16 (1792) 5-9 1/2 (1765) 5-9 (1753) 2-4 15/16 (735)									
6-2 9/16 (1894) 6-1 1/2 (1867) 6-1 (1854) 2-6 15/16 (786)									
6-4 9/16 (1996) 6-5 1/2 (1969) 6-5 (1956) 2-8 15/16 (837)									
6-10 9/16 (2097) 6-9 1/2 (2070) 6-9 (2057) 2-10 15/16 (887)									
7-6 9/16 (2300) 7-5 1/2 (2273) 7-5 (2261) 3-2 15/16 (989)									
7-10 9/16 (2402) 7-9 1/2 (2375) 7-9 (2362) 3-4 15/16 (1040)									

COTTAGE STYLE*

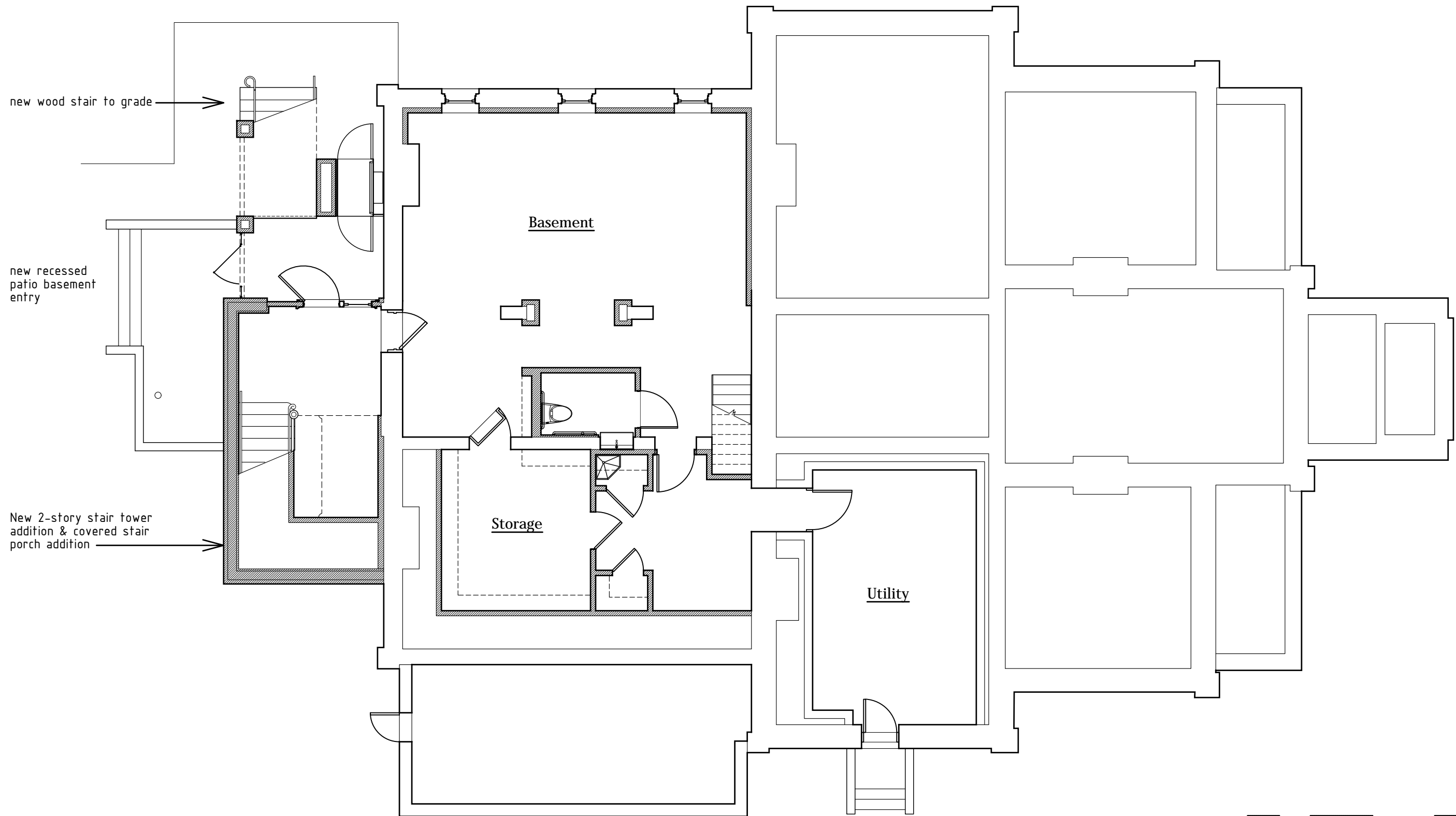
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5-10 9/16 (1792) 5-9 1/2 (1765) 5-9 (1753) 1-10 15/16 (583) / 2-10 15/16 (887)									
	WUDH1624/36	WUDH2024/36	WUDH2424/36	WUDH2624/36	WUDH2824/36	WUDH3024/36	WUDH3224/36	WUDH3624/36	WUDH4024/36

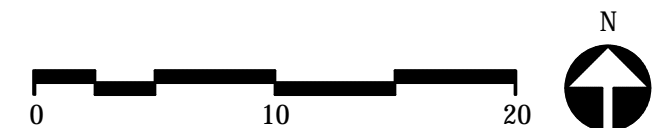
NOT TO SCALE

JANUARY 2019

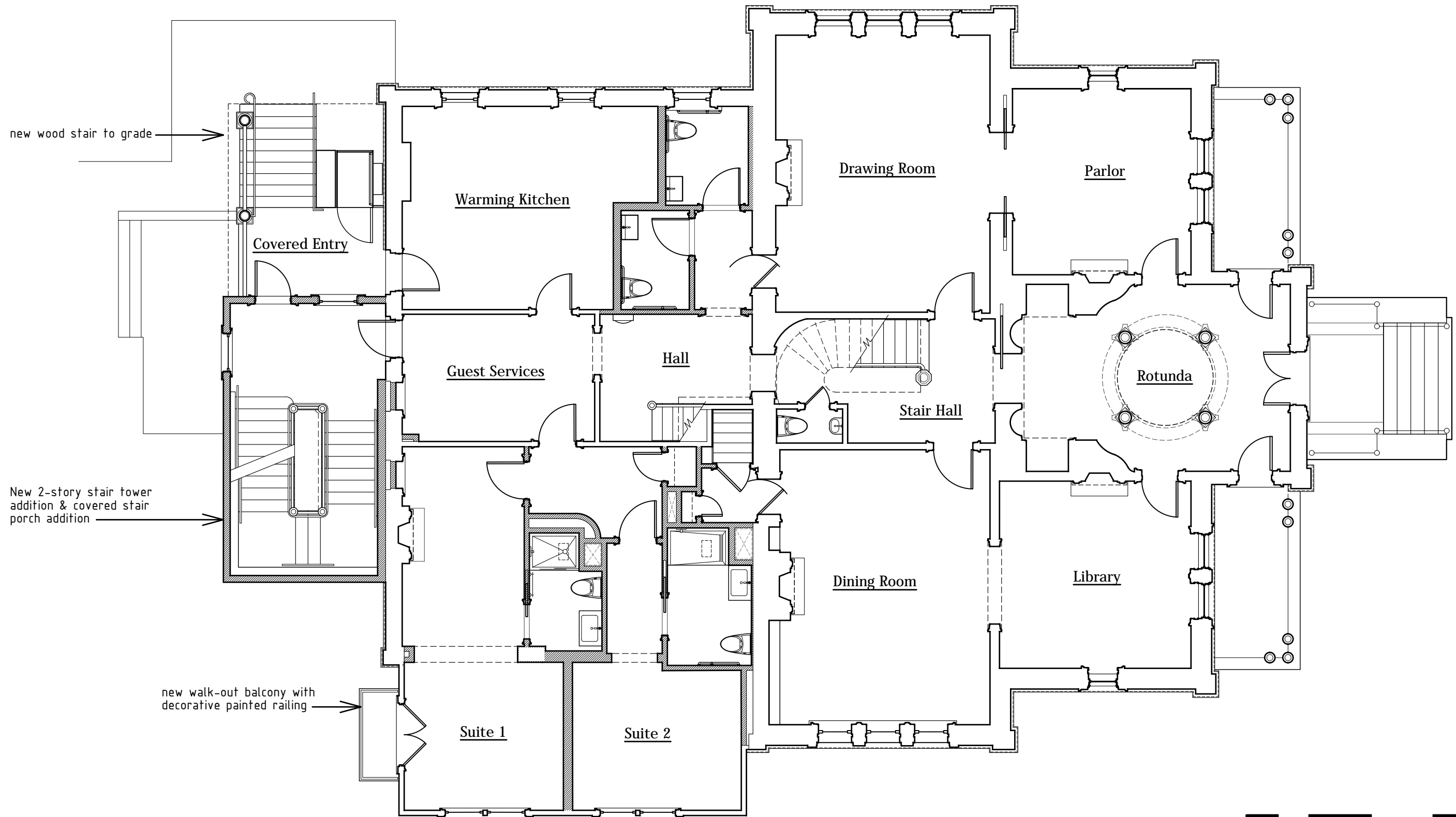
WOOD ULTIMATE DOUBLE HUNG



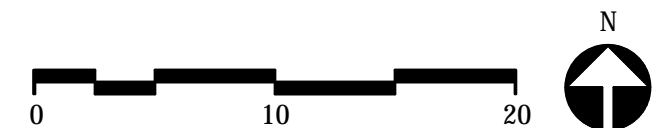
Proposed Basement Floor Plan



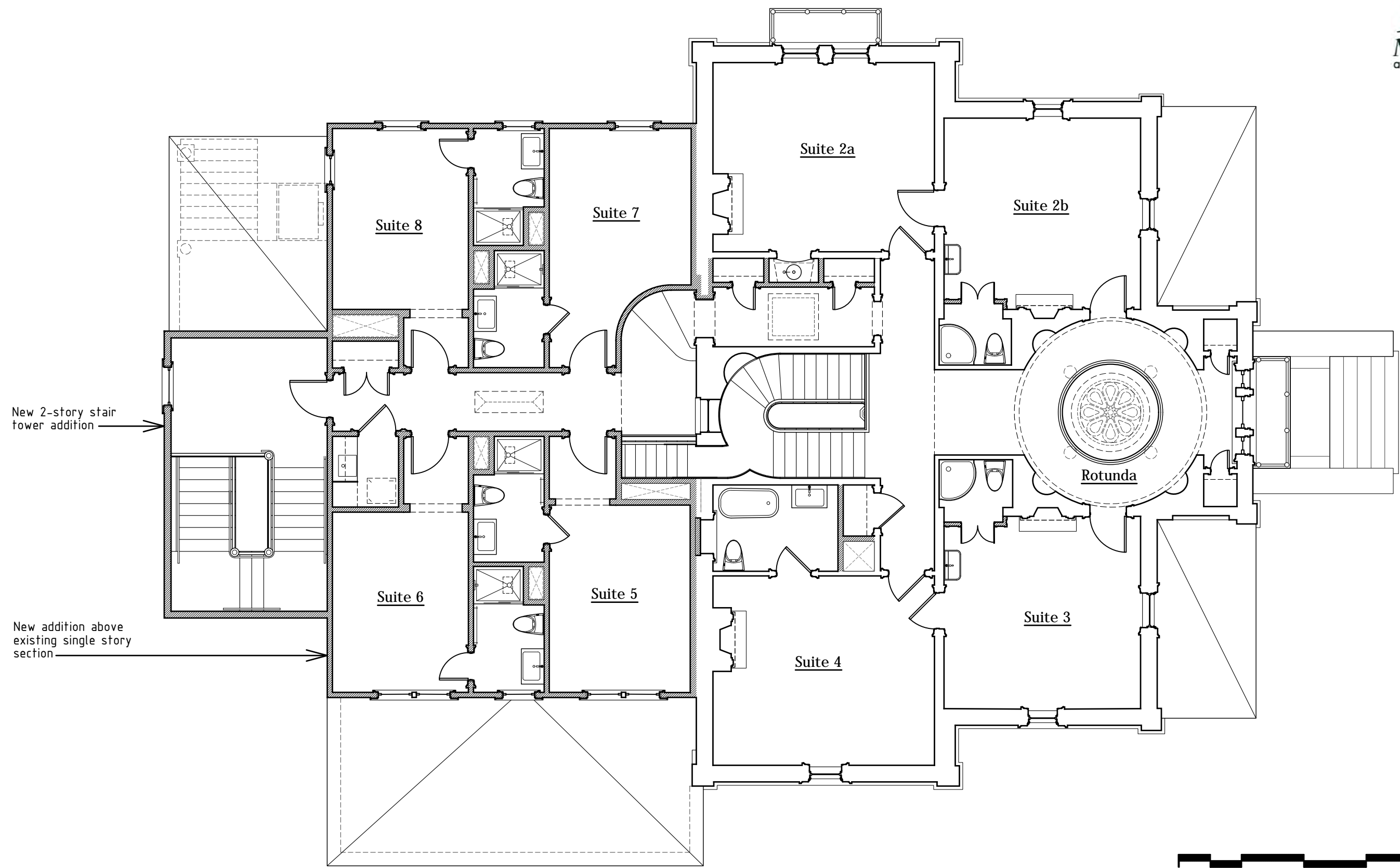
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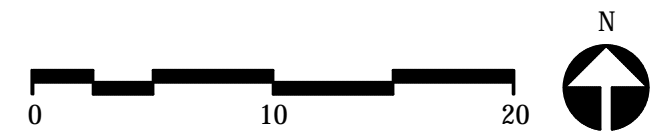
Proposed First Floor Plan



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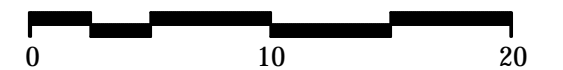
Proposed Second Floor Plan



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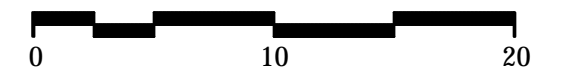
Boylan Avenue Elevation (East)



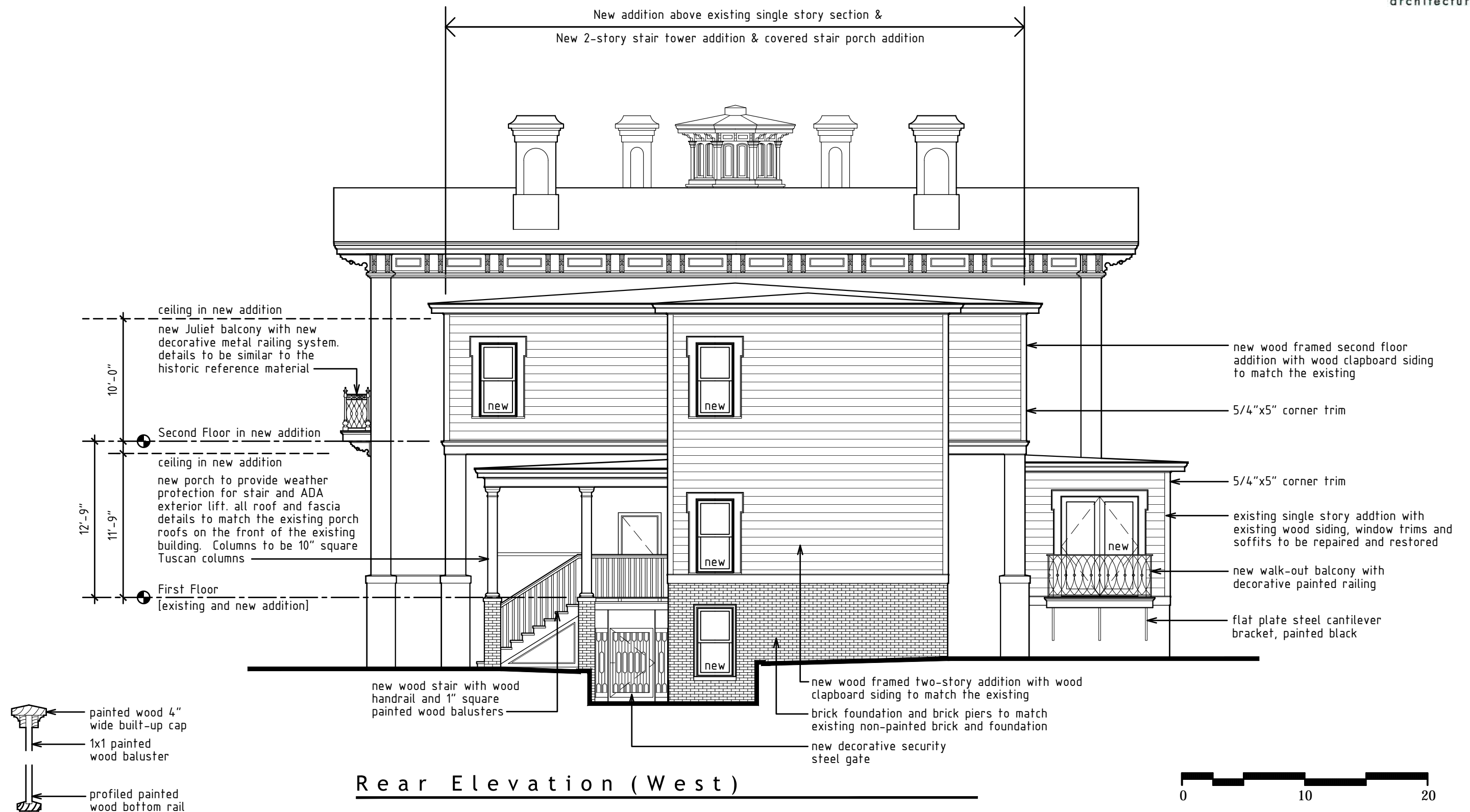
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Montfort Street Elevation (North)



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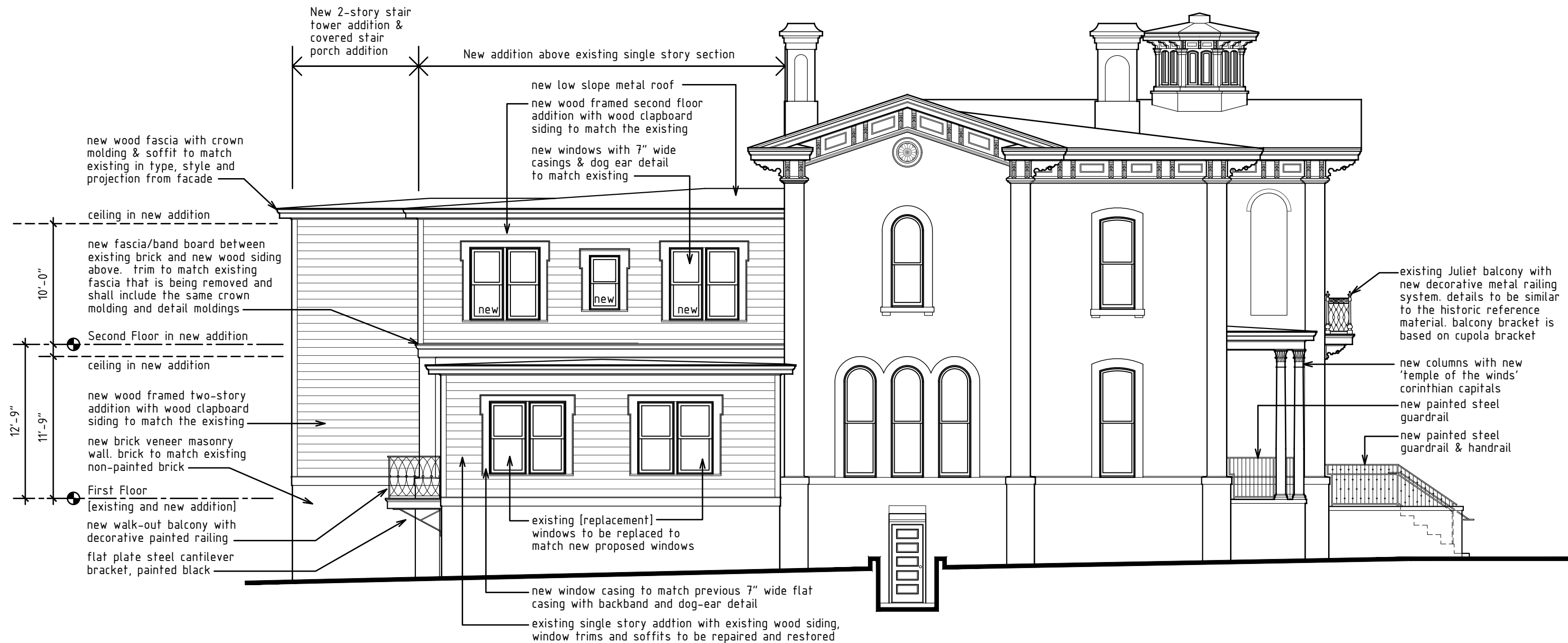


Enlarged view of proposed
guardrail detail

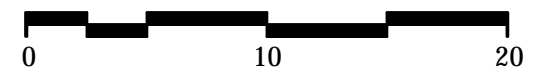
not to scale

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Side Elevation (South)

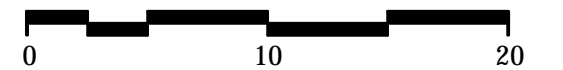


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Existing Boylan Avenue Elevation (East)

1/8" = 1'-0"

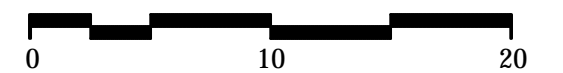


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Existing Montfort Street Elevation (North)

1/8" = 1'-0"

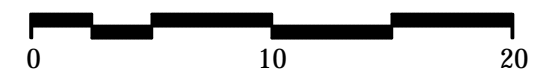


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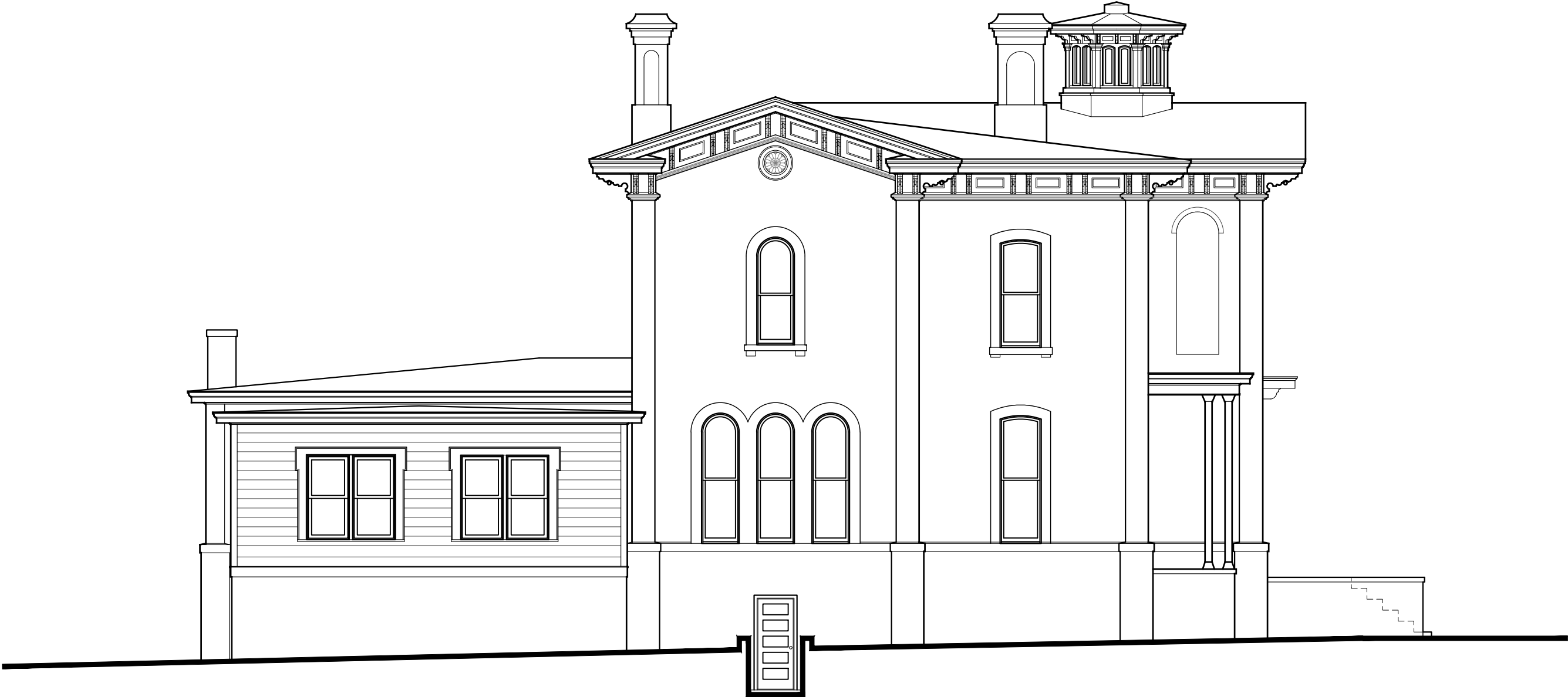


Existing Rear Elevation (West)

1/8" = 1'-0"

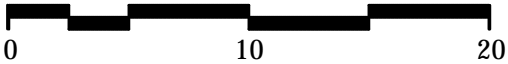


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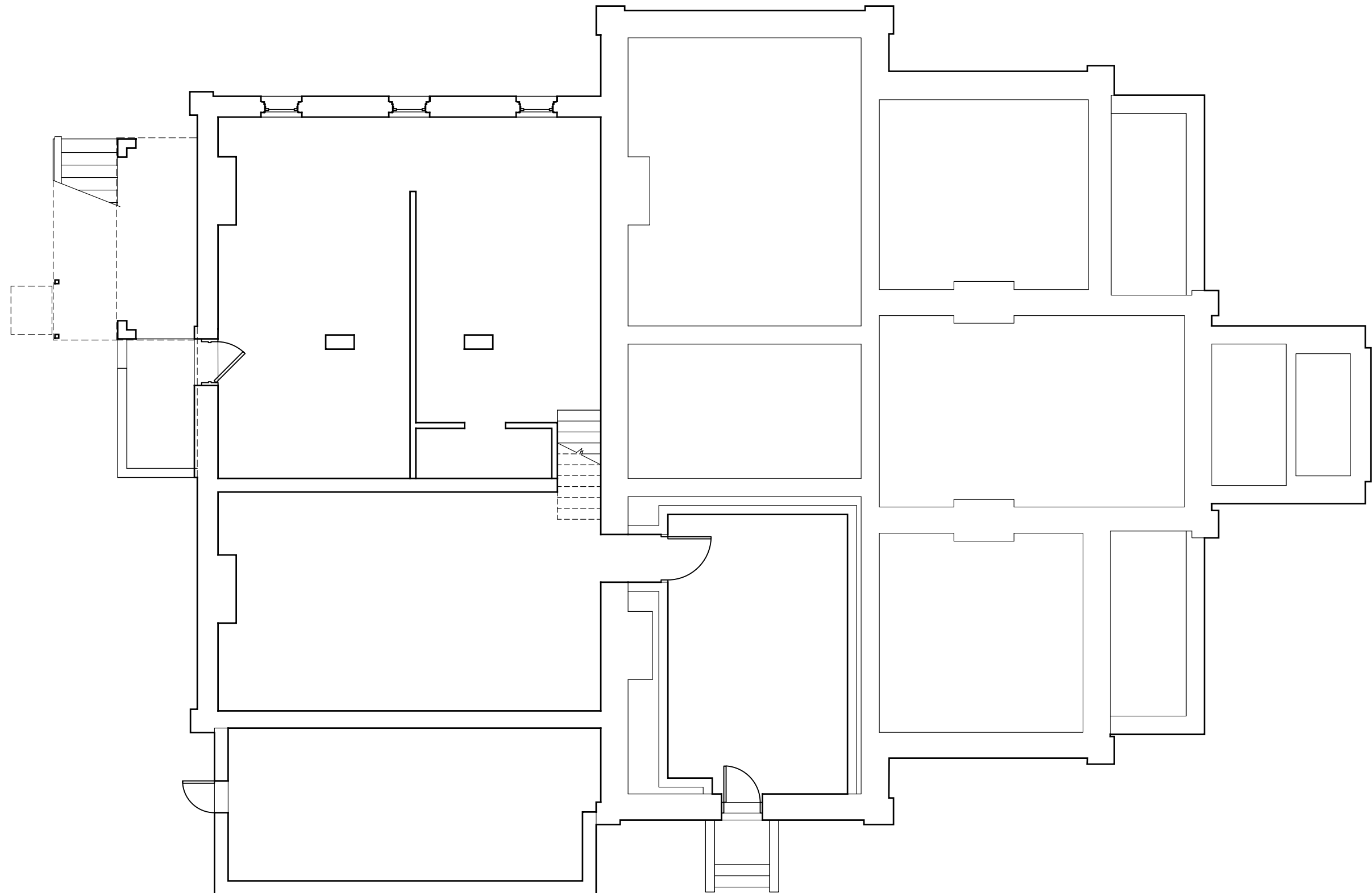


Existing Side Elevation (South)

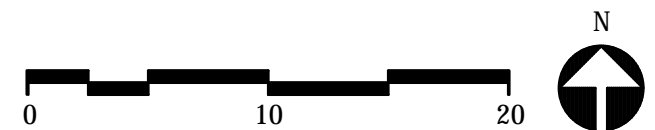
1/8" = 1'-0"



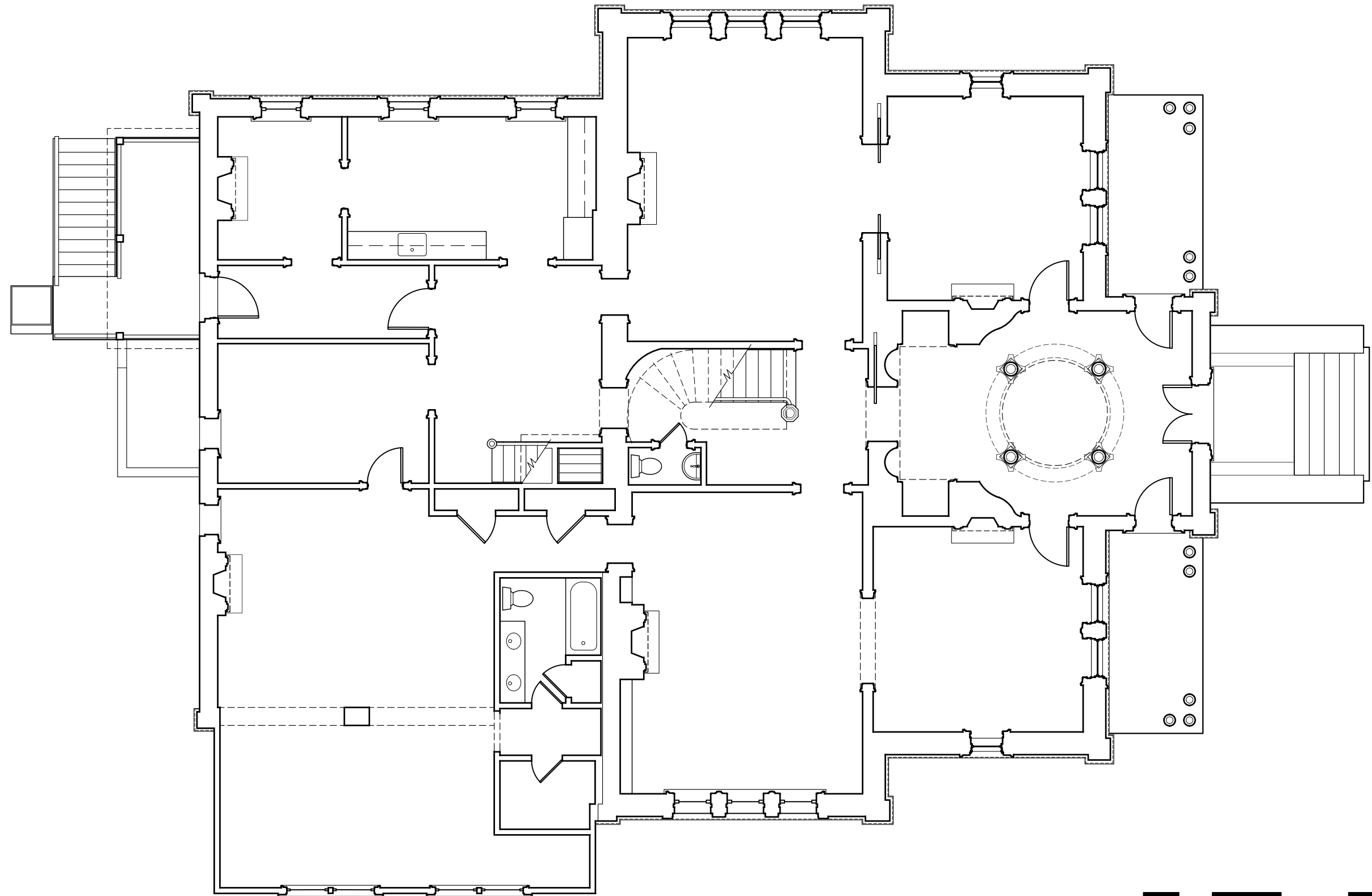
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Existing Basement Floor Plan



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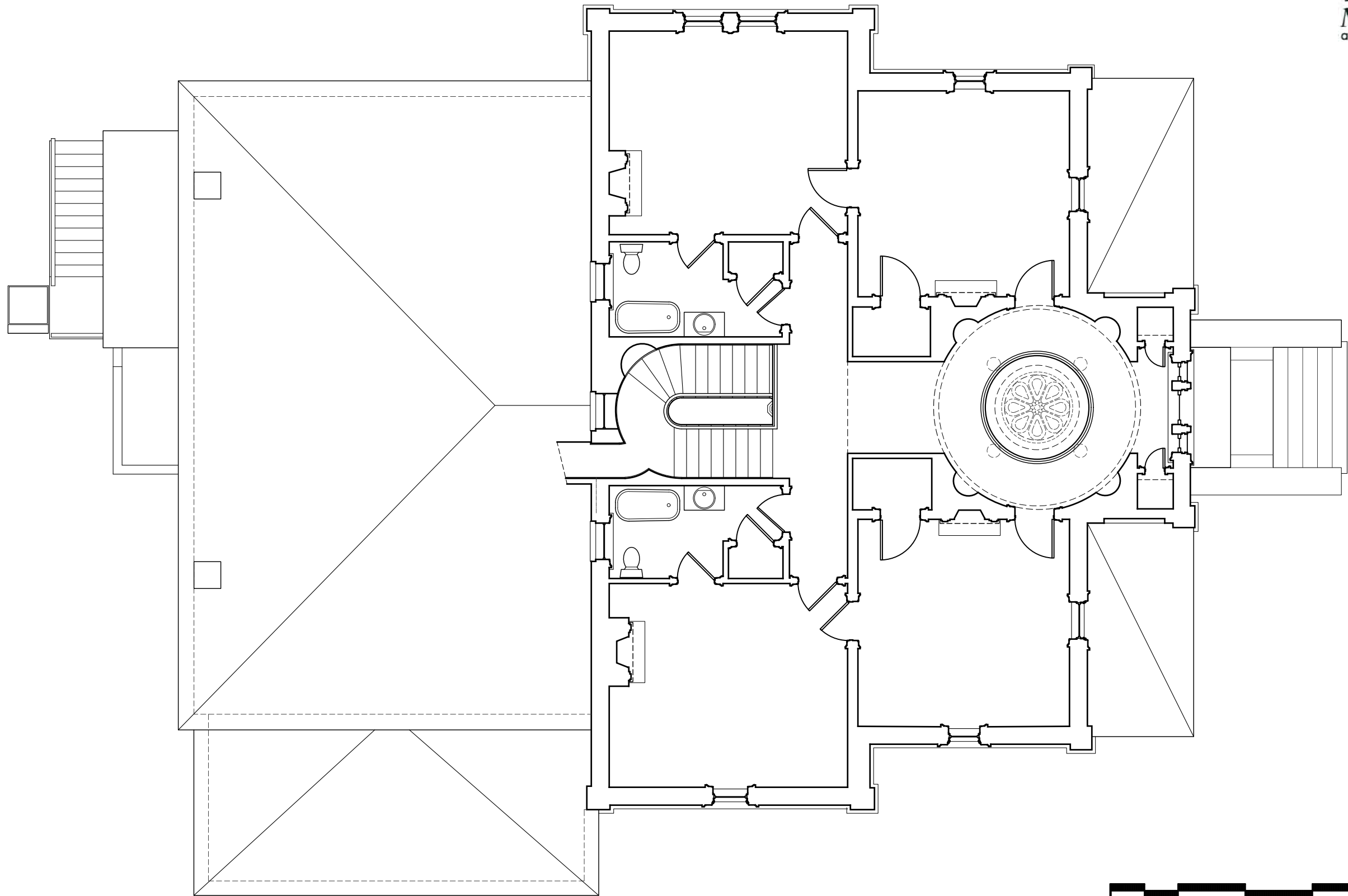


Existing First Floor Plan

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Existing Second Floor Plan



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