



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Construct 42" fence; replace canvas awnings in kind

901 Oberlin Rd

Address

Oberlin Village

Historic District

Historic Property

COA-0053-2023

Certificate Number

4/24/2023

Date of Issue

10/24/2023

Expiration Date

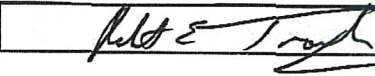
This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Kim Norton

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:			
Applicant name: Robbie Troxler			
Mailing address: 1609 Canterbury Road			
City: RALEIGH	State: NC	Zip code: 27608	
Date: 4-20-2023		Daytime phone #: 919-819-2424	
Email address: rtroxler@rbs.com			
Applicant signature: 			
<input checked="" type="checkbox"/> Minor work (staff review) – one copy <input type="checkbox"/> Major work (COA committee review) – ten copies Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval		<div style="text-align: center;">Office Use Only</div> Transaction #: _____ File #: <u>COA-0053-2023</u> Fee: _____ Amount paid: _____ Received date: _____ Received by: _____	
Property street address: 901 Oberlin Road			
Historic district: Oberlin Village Raleigh Historic Overlay			
Historic property/Landmark name (if applicable): n/a			
Owner name: Community Gro LLC			
Owner mailing address: 1609 Canterbury Road, Raleigh NC 27608-1107			

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.	
Property Owner Name & Address	Property Owner Name & Address

NOT
APPLICABLE

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: <u>18, 35</u>
Did you consult with staff prior to filing the application? Yes <input type="radio"/> No <input checked="" type="radio"/>	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
1.4/24	Fences	New 42" max. tall fence (water heater screening per UDO 7.2.5.D.)
3.7.12	Awnings	Replace existing awning fabric with same material, color & pattern

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>10/24/2023</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Emi Math</u>	Date <u>04/24/2023</u>



MEMORANDUM

DATE: 18 April 2023
TO: RHDC
FROM: Craig Dean, CD Architecture, PLLC
RE: **901 OBERLIN (COMMUNITY GROCERY) MINOR COA APPLICATION**
WRITTEN DESCRIPTION

1. INSTALL NEW FENCE TO 42" MAX AS SCREENING OF NEW WATER HEATERS, PER RALEIGH UDO REQUIREMENT. THE FENCE WILL BE AT THE NORTH SIDE YARD AND WILL BE PAINTED TO MATCH THE EXISTING ACCENT PAINT COLOR.
2. REPLACE TATTERED AWNING FABRIC LIKE-FOR-LIKE (SAME MATERIAL, COLOR, PATTERN AND EDGE DETAILS)

END OF MEMORANDUM







Community Grocery

PROPERTY DATA - WAKEGOV.COM

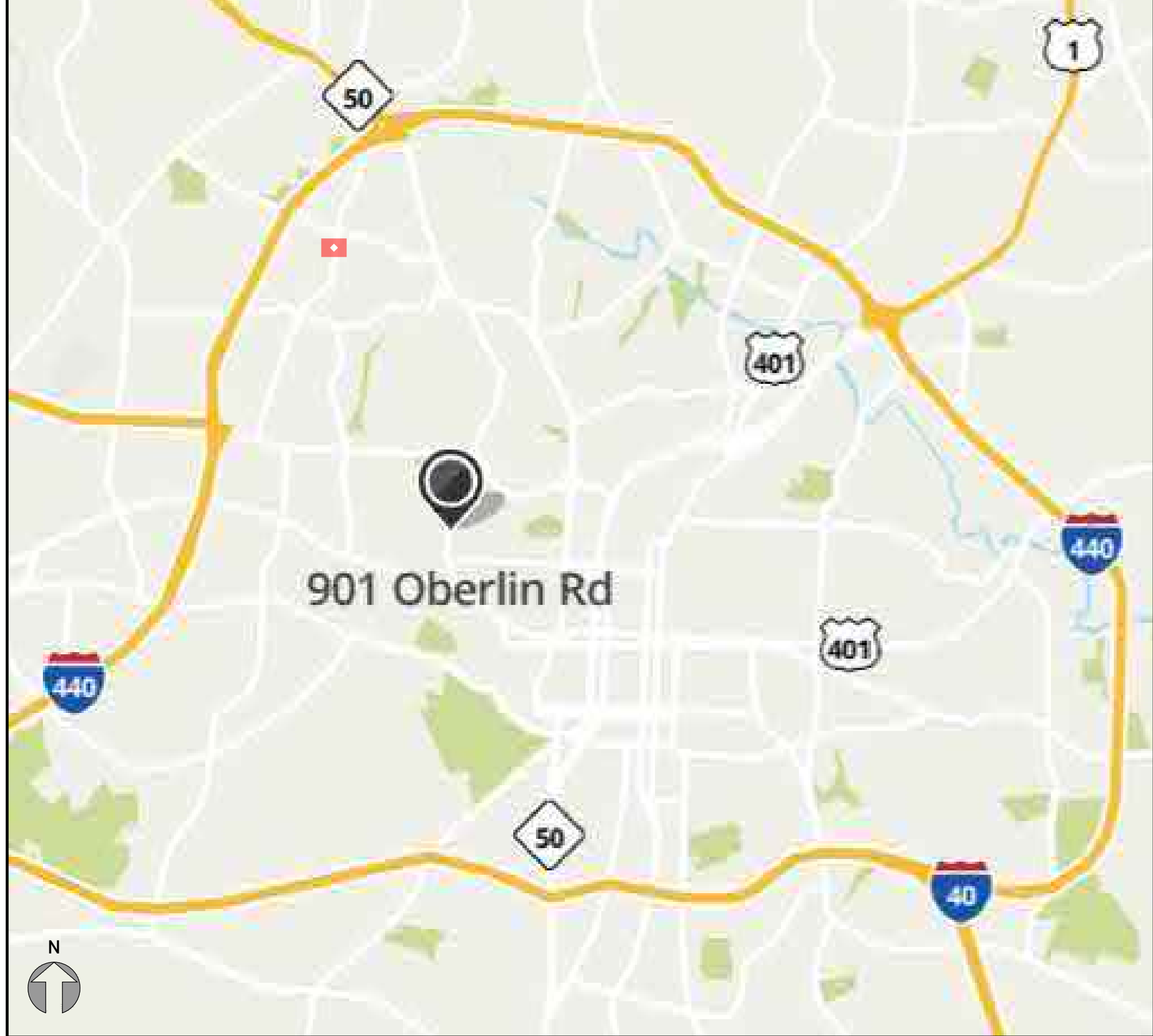


901 OBERLIN RD

REID: 0035202
PIN: 1704044667
PIN Extension: 000
Land Value: \$200000
Building Value: \$36330
Total Value Assessed: \$236330
Deed Acres: 0.1
Total Sale Price: \$225000
Sale Date: 3/15/2010
Year Built: 1906
Heated Area: 882
Type and Use: SNGLTEN
Design Style: Conventional
City: RALEIGH
Planning Jurisdiction: RA
Township: Raleigh
Owner: COMMUNITY GRO LLC
Mailing Address 1: 1609 CANTERBURY RD
Mailing Address 2: RALEIGH NC 27608-1107
Deed Book: 019194
Deed Page: 01172
Deed Date: 11/9/2022
Land Class: Commercial
Map Name: 1704-13
Billing Class: Business
Site Address: 901 OBERLIN RD
Street Name: OBERLIN RD
Old Parcel Number: D044-D0193-0010
Total Structures: 1
ZIP: 27605
RALEIGH ZONING: R-10

Disclaimer
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VICINITY MAP - RALEIGH NC



GENERAL NOTES & CONDITIONS

- ALL WORK SHALL BE IN COMPLIANCE WITH STATE AND LOCAL REGULATIONS AND THE NC BUILDING CODE.
- ALL PERSONS AND ENTITIES ENGAGED ON THIS PROJECT SHALL COMPLY WITH THE OWNERS CONDITIONS FOR OPERATIONAL, SAFETY AND PROCUREMENT PROCEDURES.
- CONTRACTOR SHALL BE FAMILIAR WITH THE JOBSITE AND ON-SITE CONDITIONS. COST OF THE WORK IS TO INCLUDE ALL WORK DESCRIBED IN THE CONTRACT DOCUMENTS AND/OR IMPLIED BY THE FIELD CONDITIONS. BUILDING SYSTEMS INDICATED ON THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND THE CONTRACTOR IS RESPONSIBLE FOR CUSTOM FITTING NEW WORK TO ON-SITE CONDITIONS. PRIOR TO BID, THE CONTRACTOR SHALL CONFIRM THE COMPATIBILITY OF SPECIFIED SYSTEMS WITH ON-SITE CONDITIONS; SHALL COORDINATE WITH NEW WORK PROVIDED BY OTHER PARTIES; AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY INSTANCE WHERE SPECIFIED SYSTEMS ARE NOT FULLY COMPATIBLE FOR FIT, FINISH OR FUNCTION.
- CONTRACTOR IS TO VERIFY ALL DIMENSIONS IN THE FIELD, AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICT BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS. CONTRACTOR IS NOT TO SCALE DRAWINGS.
- CONTRACTOR IS TO ISSUE COMPLETE SETS OF CONTRACT DOCUMENTS TO EACH OF THE SUBCONTRACTORS SO THEY SHALL PROPERLY COORDINATE THEIR PORTION OF THE WORK.
- CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL REQUIRED PERMITS TO CONSTRUCT WORK.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB-SITE SAFETY. CONTRACTOR SHALL COMPLY WITH THE WILLIAMS-STEIGER OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) OF 1970 AND ALL SUBSEQUENT LEGISLATION RELATED THERETO.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY COMMENTS OR DIRECTIVES BY THE BUILDING INSPECTOR THAT ARE DIFFERENT FROM THOSE CONDITIONS DESCRIBED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER WITH RESPECT TO MATERIAL HOURS OF OPERATION, DELIVERY AND UNLOADING, ANY DISRUPTIONS IN THE NORMAL UTILITIES, ETC.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY FACTOR THAT MAY CAUSE DELAY.
- CONTRACTOR SHALL INSTALL AND MAINTAIN PROTECTIVE COVERINGS AT EXISTING TO REMAIN CONSTRUCTION AND SYSTEMS.
- CONTRACTOR SHALL MAINTAIN ALL LIFE SAFETY SYSTEMS IN GOOD WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL WARRANT TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW AND IN GOOD WORKING ORDER. CONTRACTOR SHALL ALSO WARRANT ALL WORK UNDER THIS CONTRACT FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- WHERE NO SPECIFICATION IS PROVIDED IN THE CONTRACT DOCUMENTS, INSTALL PRODUCTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.
- THERE SHALL BE NO SUBSTITUTIONS MADE WITHOUT PRIOR WRITTEN APPROVAL.
- ALL MATERIALS AND EQUIPMENT REMOVED DURING CONSTRUCTION REMAIN THE PROPERTY OF THE OWNER. THE OWNER WILL MAKE THE FINAL DECISION OF HOW THESE MATERIALS AND EQUIPMENT ARE SALVAGED OR DISPOSED. BASE BID SHALL INCLUDE DELIVERY AND UNLOADING OF ALL REMOVED ITEMS TO THE OWNER. THE OWNER RESERVES THE RIGHT TO REQUIRE CONTRACTOR TO DISPOSE OF SUCH ITEMS.
- PROJECT MANAGEMENT: THE CONTRACTOR SHALL DESIGNATE A PROJECT MANAGER TO INTERFACE WITH THE OWNER AND ARCHITECT. CORRESPONDENCE SHALL BE VIA TELEPHONE, E-MAIL, AND MEETINGS AS NEEDED TO EXPEDITE THE WORK. E-MAILED DOCUMENTS SHALL BE IN A SINGLE "PDF" FILE, CONTAINING BOTH TRANSMITTAL, COVER AND SUPPORTING DOCUMENTATION IN ONE DOCUMENT.
- CONTRACTOR SHALL MAINTAIN THE MINIMUM WORKER'S COMPENSATION, GENERAL LIABILITY, AND BUSINESS AUTOMOBILE LIABILITY INSURANCE REQUIRED BY THE OWNER.
- SUPERVISION: EACH CONTRACTOR SHALL FURNISH ADEQUATE PROJECT MANAGEMENT AND SUPERVISION AT ALL PHASES OF CONSTRUCTION. THE CONTRACTOR'S REPRESENTATIVE SHALL:
 - HAVE THE CAPABILITY TO RECEIVE E-MAILS AND PHONE CALLS ON SITE, AND TO SEND AND RECEIVE DIGITAL IMAGES.
 - BE PRESENT FOR ANY CHANGES TO LIFE SAFETY SYSTEMS, INCLUDING FIRE ALARM SHUTDOWNS AND REACTIVATIONS.
 - SUPERVISE AFTER HOURS DELIVERIES.
 - BE ON-SITE EACH MORNING FOR DELIVERIES, UNLOCKING OF DOORS, AND DIRECTING SUB-CONTRACTORS, ETC.
 - BE ON-SITE TO DIRECT SUB-CONTRACTORS DURING THE PUNCHLIST.
- CHANGE ORDERS:
 - THE CONTRACTOR MUST RECEIVE A SIGNED CHANGE ORDER BEFORE PROCEEDING WITH ANY WORK RESULTING IN ADDITIONAL COST OR SCHEDULE IMPACT. ANY CHANGE ORDERS NOT SUBMITTED FOR APPROVAL TO THE TENANT BEFORE THE WORK IS DONE WILL BE SUBJECT TO NON-PAYMENT. THE OWNER'S REPRESENTATIVE MAY ISSUE A WRITTEN FIELD CHANGE ORDER.
 - LUMP SUM PRICING IS NOT ACCEPTABLE. CHANGE ORDERS MUST ALWAYS HAVE APPROPRIATE BACKUP. SPECIFICALLY, LARGE CHANGE ORDERS WITH COMPLEXITY SHALL HAVE A DETAILED EXPLANATION WITH PRICES ITEMIZED.
- UPON COMPLETION OF THE WORK, PROVIDE RECORD DRAWINGS INDICATING 'AS BUILT' CONSTRUCTION TO THE OWNER, ALONG WITH OPERATING AND MAINTENANCE MANUALS.
- UPON DISCOVERY OF ANY HAZARDOUS MATERIALS, IMMEDIATELY CONTACT OWNER. ABATEMENT OF HAZARDOUS MATERIALS SHALL BE IN ACCORDANCE WITH STATE, LOCAL AND FEDERAL CODE AND LAWS.
- ALL ROOF WORK SHALL BE PERFORMED BY THE OWNER'S APPROVED ROOFING CONTRACTOR AND SHALL BE IN ACCORDANCE WITH ANY WARRANTY MAINTENANCE STIPULATIONS.
- GC SHALL ENSURE THAT FIRE EXTINGUISHERS ARE INSTALLED THROUGHOUT THE SPACE IN ACCORDANCE WITH NC FIRE CODE SECTION 906.2 & NFPA 10.

DRAWING INDEX

G-0 COVER	
G-1	BUILDING CODE SUMMARY
G-1-1	BUILDING CODE SUMMARY (CONTINUED)
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D-1 DEMOLITION PLAN & REFLECTED CEILING DEMOLITION PLAN	
A-1 FLOOR PLAN & SCHEDULES	
A-2	REFLECTED CEILING PLAN
A-3 ENLARGED TOILET PLAN: INTERIOR ELEVATIONS & SECTION	
Q-1 KITCHEN EQUIPMENT PLAN & SCHEDULES	
P1	PLUMBING NOTES & SCHEDULES
P2	PLUMBING DEMO PLAN
P3	PLUMBING PLAN
M1	MECHANICAL NOTES & SCHEDULES
M2	MECHANICAL PLAN
M3	GAS PLAN
E1	ELECTRICAL NOTES & SCHEDULES
E2	ELECTRICAL DEMO PLAN
E3	ELECTRICAL PLAN

SCOPE OF WORK SUMMARY BY TRADE

PROJECT NARRATIVE:
INTERIOR ALTERATION OF EXISTING RESTAURANT SPACE WITHIN THE OBERLIN VILLAGE HISTORIC DISTRICT.

WAKE COUNTY ENVIRONMENTAL SERVICES:
REMODEL OF EXISTING FOOD SERVICE ESTABLISHMENT (Establishment ID: 04092021614) UTILIZING EXISTING, RELOCATED AND NEW FOOD SERVICE EQUIPMENT. NEW PERMIT APPLICATION # HSIPOP-099291-2023.

SITE/ZONING:
INTERIOR ALTERATION ONLY. EXISTING RESTAURANT SPACE. NOT A CHANGE OF USE. NEW RPZ DOMESTIC WATER SERVICE. NEW GREASE INTERCEPTOR. EXISTING SANITARY SEWER CONNECTION TO REMAIN. NO SITE ALTERATIONS. NO CHANGE TO PARKING. NO FACADE CHANGES A FILING FOR MINOR CERTIFICATE OF APPROPRIATENESS WITH RHDC IS REQUIRED FOR NEW FENCING/SCREENING AT WATER HEATERS

BUILDING:
INTERIOR ALTERATION. DEMOLITION OF EXISTING INTERIOR WALLS, LUNCH COUNTER AND TOILET ROOM. EXISTING COOK LINE AND HOODS TO REMAIN. NEW BAR, TOILET ROOM AND CLOSET. INSULATE OPEN CEILING AND WALL CAVITIES AT BACK-OF-HOUSE.

SITE ACCESSIBILITY
DEMOLITION OF EXISTING NON-COMPLIANT TOILET ROOM REPLACED BY NEW COMPLIANT TOILET ROOM. ACCESSIBLE TABLE TOP SEATING.

PLUMBING:
SEE PLUMBING DRAWINGS. NEW TOILET ROOM. NEW TANKLESS WATER HEATERS. NEW GREASE INTERCEPTOR. SUPPLY AND WASTE CONNECTIONS AT NEW AND RELOCATED PLUMBING FIXTURES.

MECHANICAL:
SEE MECHANICAL DRAWINGS. MODIFY LOCATION OF SUPPLY AND RETURN GRILLES. NEW TOILET EXHAUST. MODIFY ATTIC ACCESS TO EXISTING AIR CONDITIONING INDOOR UNIT. RELOCATE GAS WALL HEATERS.

ELECTRICAL:
SEE ELECTRICAL DRAWINGS. REVISIONS TO POWER AND LIGHTING FROM EXISTING PANEL.

FIRE ALARM:
NONE - NO SYSTEM PRESENT.

FIRE SPRINKLER:
NONE - NO SYSTEM PRESENT.


SITE DATA

ADDRESS: 901 OBERLIN ROAD
REAL ESTATE ID: 0035202
PIN: 1704044667
ZONING DISTRICT: R-10. THE EXISTING USE PRE-DATES THE ADOPTION OF THE UDO.
DEED ACREAGE = 0.1

EXISTING BUILDING TO REMAIN - NO CHANGES PROPOSED
EXISTING SEWER UTILITIES TO REMAIN
EXISTING WATER LINE TO REMAIN AND RECEIVE NEW RPZ

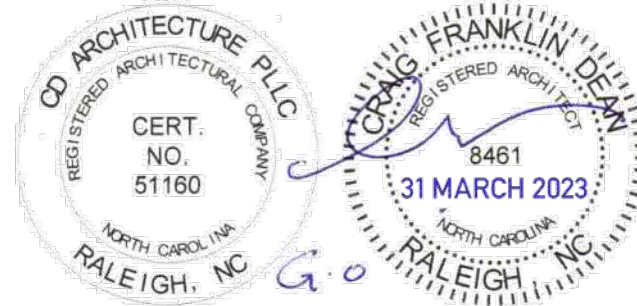
EXISTING USE: RESTAURANT/BAR 6.4.10.B
PROPOSED USE: RESTAURANT/BAR 6.4.10.B (NO CHANGE)
USE IS PERMITTED BY RIGHT PER TABLE 6.1.4

2.1.2 PARKING
NOT APPLICABLE PER 7.1.1.C.1 - A BUILDING OR SITE MAY BE RENOVATED OR REPAIRED WITHOUT PROVIDING ADDITIONAL PARKING, PROVIDED THERE IS NO INCREASE IN GROSS FLOOR AREA OR IMPROVED SITE AREA.



CD ARCHITECTURE, PLLC
PO BOX 33365 RALEIGH, NC 27636
919.754.1400 :: info@cdarchitecture.com

SEALS



PLUMBING, MECHANICAL & ELECTRICAL ENGINEERING
Kilian Engineering, Inc.
115 Young Street Suite C
Henderson, North Carolina 27535
252.438.8778

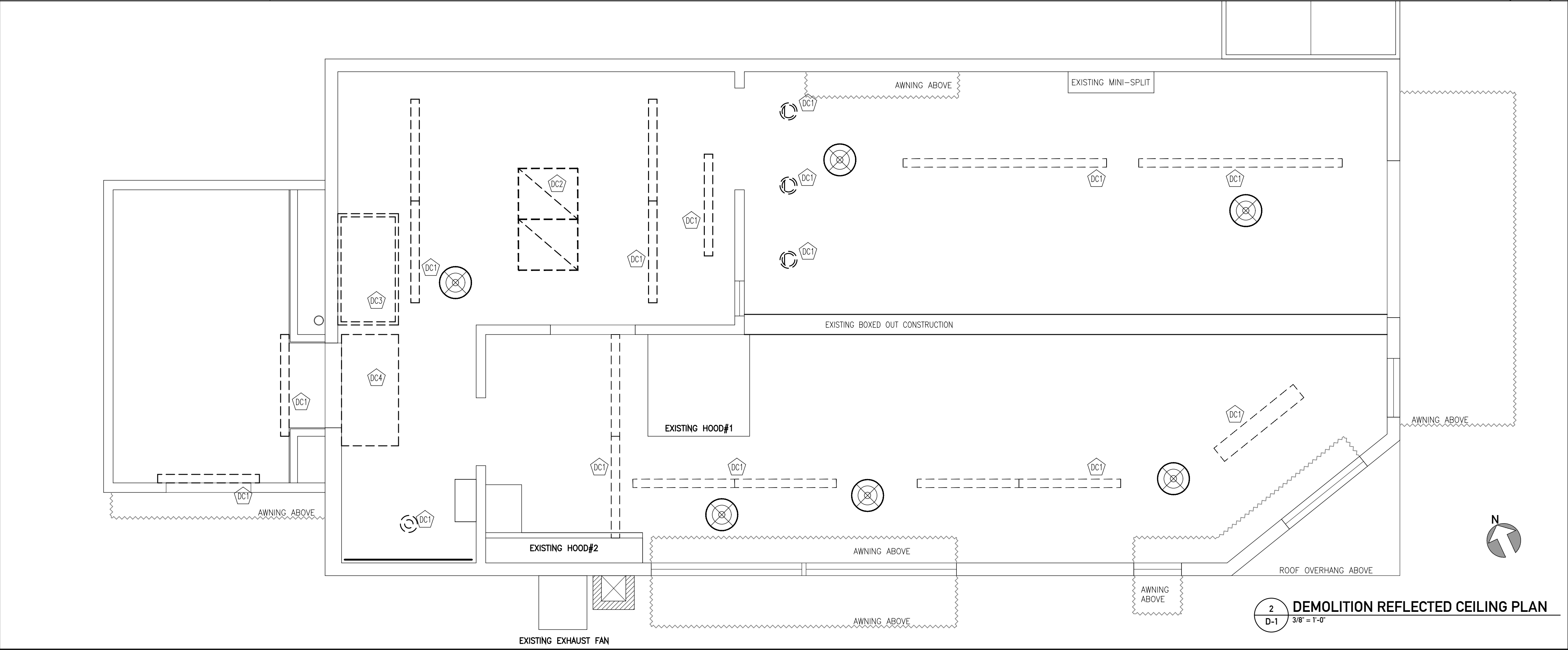
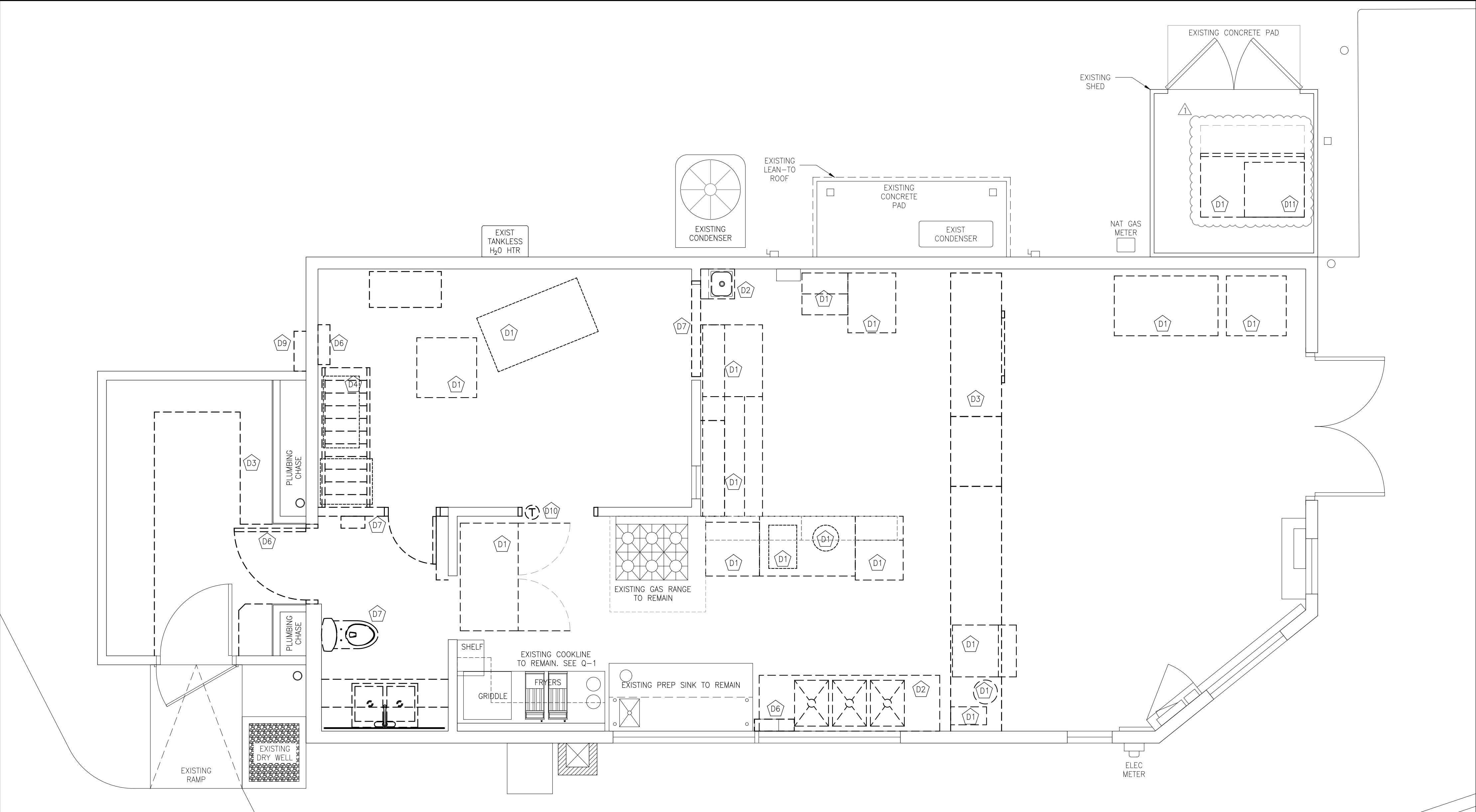
PROJECT
INTERIOR ALTERATIONS:
Community Grocery
901 Oberlin Road
Raleigh, NC 27605

BUILDING OWNER
COMMUNITY GRO LLC
1609 Canterbury Road
Raleigh NC 27608-1107

REVISIONS
REV 1 31 March 2023
COR COMMENTS

DRAWING NAME + NUMBER
COVER

G-0
ISSUE DATE: 22 MARCH 2023



DEMOLITION LEGEND & GENERAL NOTES
<div><div></div>EXISTING CONSTRUCTION TO REMAIN</div> <div><div></div>EXISTING CONSTRUCTION TO DEMOLISH</div>
<div><div>1.</div><div>THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DEMOLITION MEANS AND METHODS. THE SCOPE OF THESE DRAWINGS DOES NOT CONVEY SHEETING, TEMPORARY BRACING, SHORING, SUPPORT, RIGGINGS, ETC. NECESSARY TO SAFELY REMOVE EXISTING CONSTRUCTION.</div></div> <div><div>2.</div><div>SEE PLUMBING, MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE.</div></div> <div><div>3.</div><div>UNLESS DIRECTED OTHERWISE, ITEMS REMOVED BUT STILL IN GOOD WORKING ORDER AND GENERALLY DEEMED RELOCATABLE SHALL BE RETURNED TO THE BUILDING OWNER. COORDINATE WITH OWNER PRIOR TO CONSTRUCTION.</div></div> <div><div>4.</div><div>WHERE CONSTRUCTION IS REMOVED, PATCH AND PREPARE ADJACENT EXISTING TO REMAIN SURFACES.</div></div>

DEMOLITION KEYNOTES
<div><div>D1</div><div>REMOVE COMMERCIAL KITCHEN EQUIPMENT, RETURN TO OWNER</div></div> <div><div>D2</div><div>REMOVE SINK AND RETAIN FOR RELOCATION</div></div> <div><div>D3</div><div>REMOVE SHELVING/COUNTERS/CASEWORK</div></div> <div><div>D4</div><div>REMOVE ATTIC ACCESS STAIR</div></div> <div><div>D5</div><div>REMOVE GAS WALL HEATER</div></div> <div><div>D6</div><div>REMOVE DOOR, FRAME AND HARDWARE. PATCH WALL.</div></div> <div><div>D7</div><div>DEMOLISH WALL. SEE A-2 FOR HEADER LOCATIONS AT REMNANTS OF DEMOLISHED WALLS. TYP. GC SHALL VERIFY LOAD PATH PRIOR TO DEMOLITION. AT LOAD BEARING WALLS, INSTALL NEW WOOD FRAMED HEADER PER NCBC 2308.5.5.2</div></div> <div><div>D8</div><div>REMOVE PLUMBING FIXTURES – SEE SHEET P2 FOR PLUMBING DEMOLITION</div></div> <div><div>D9</div><div>REMOVE WINDOW UNIT AIR CONDITIONER – INFILL/PATCH EXTERIOR WALL ASSEMBLY</div></div> <div><div>D10</div><div>REMOVE THERMOSTAT & RETAIN FOR RELOCATION, SEE MECHANICAL</div></div> <div><div>D11</div><div>REMOVE ICE MACHINE & RETAIN FOR RELOCATION</div></div>

CEILING DEMOLITION KEYNOTES
<div><div>DC1</div><div>REMOVE LIGHT FIXTURE</div></div> <div><div>DC2</div><div>REMOVE HVAC RETURN GRILLE – SEE SHEET M2 FOR HVAC DEMOLITION</div></div> <div><div>DC3</div><div>PREP OPENING FOR NEW ~24"x48" ATTIC ACCESS SCUTTLE</div></div> <div><div>DC4</div><div>REMOVE ATTIC ACCESS SCUTTLE – PATCH CEILING</div></div>
<div><div></div><div>EXISTING SUPPLY DIFFUSER</div></div>

2
D-1
DEMOLITION REFLECTED CEILING PLAN
3/8" = 1'-0"

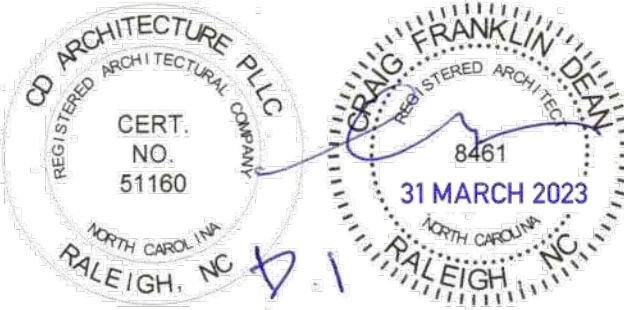
CDA

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DRAWING NAME + NUMBER
**DEMOLITION PLAN &
REFLECTED CEILING
DEMOLITION PLAN**

D-1

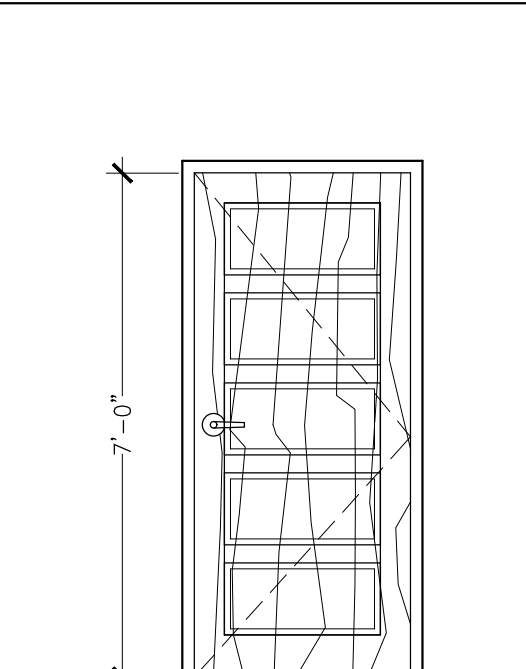
ISSUE DATE: 22 MARCH 2023

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ROOM FINISH SCHEDULE													
ROOM NO.	ROOM NAME	FLOOR		BASE		WALL		CEILING			COMMENTS		
		MAT'L	COLOR	MAT'L	COLOR	MAT'L	FINISH	COLOR	MAT'L	FINISH		COLOR	HGT
101	DINING AREA	F-1	TBD	B-1	TBD	--	PNT-1	TBD	CX-1	PNT-3	TBD	7'-4"	PNT @ GYP WALLS; SEALER @ WOOD PANELS
102	BAR	F-2	TBD	B-2	TBD	--	FRP	TBD	CX-1	PNT-3	TBD	7'-4"	
103	KITCHEN	F-2	TBD	B-2	TBD	--	FRP	TBD	CX-1	PNT-4	TBD	7'-4"	
104	DRY STORAGE	F-2	TBD	B-2	TBD	--	FRP	TBD	CX-1	PNT-3	TBD	7'-4"	
105	BACK OF HOUSE	F-2	TBD	B-2	TBD	GYP	FRP	TBD	CN-1	PNT-4	TBD	VARIES	WALL, FLOOR & CLG BY COOLER MFG
106	WALK-IN COOLER	B-4	MFG	B-4	TBD	MFG	MFG	MFG	MFG	MFG	MFG	MFG	
107	SCULLERY	F-2	TBD	B-2	TBD	--	FRP	TBD	CX-1	PNT-4	TBD	7'-4"	
108	CLOSET	F-2	TBD	B-2	TBD	GYP	PNT--	TBD	CX-1	PNT-3	TBD	7'-4"	
109	TOILET	F-3	TBD	B-3	TBD	GYP/TB	CWT/PNT-2	TBD	CX-1	PNT-3	TBD	7'-4"	SEE FINISH NOTE #6
110	VESTIBULE	F-1	TBD	B-1	TBD	GYP	PNT-1	TBD	CX-1	PNT-3	TBD	7'-4"	

FINISH LEGEND										
FLOOR		CEILING								
F-1:		ALL GYP BRD CEILINGS TO RECEIVE PNT-3 OR PNT-4 FINISH								
F-2:		PNT-3: ZERO VOC LATEX; S-W PRO-MAR 200, SATIN CEILING WHITE								
F-3:		PNT-4: ZERO VOC LATEX; S-W PRO-MAR 200, SEMI-GLOSS CEILING WHITE								
BASE		CX-1: EXISTING GYP BOARD ON WOOD FRAMING @ 7'-4 1/2" AFF								
B-1:		NEW PAINTED WOOD BASE								
B-2:		4" LONG-TOE RUBBER COVE BASE, ROPPE PINNACLE OR EQUIV.								
B-3:		CERAMIC COVE BASE, TBD								
B-4:		STAINLESS STEEL COVE BASE, SCHLUTER DESIGNBASE-SL OR EQUIV.								
WALL		BARTOP: CUSTOM RECLAIMED WOOD TOP, BY OWNER SEALED WITH FOOD GRADE FINISH								
PRIMER:		OIL BASED PRIMER, SHERWIN WILLIAMS OR EQUAL AT ALL NEW AND EXISTING WALLS RECEIVING PAINT TOP COATS OR FRP.								
PNT-1:		ZERO VOC INTERIOR LATEX; SHERWIN WILLIAM PRO-MAR 200, FLAT								
PNT-2:		ZERO VOC INTERIOR LATEX; SHERWIN WILLIAM PRO-MAR 200, SEMI-GLOSS								
FRP:		FIBER-REINFORCED PLASTIC (WHITE IN KITCHEN, BLACK AT BAR)								
CWT:		THINSET CERAMIC WALL TILE TO 68" AFF.								
DOOR FRAMES & WOOD TRIM		USE PNT-2								
FINISH NOTES		FINISH: GYP: GYPSUM BOARD MFG: MANUFACTURER'S TB: TILE BACKER BOARD								

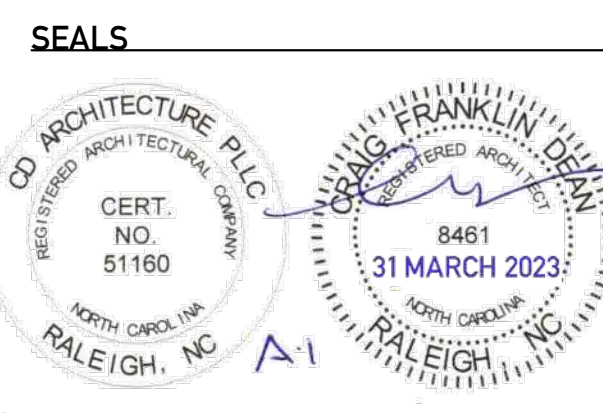
- "--" DENOTES EXISTING TO REMAIN.
- PATCH AND POINT UP ALL GYP BOARD IN AREA PRIOR TO RE-PAINTING.
- PROVIDE AN ACCESSIBLE TRANSITION STRIP BETWEEN CHANGES IN FLOORING.
- INSTALL ALL FINISHES PER MANUFACTURER'S SPECIFICATION; TEST MOISTURE CONTENT OF SUBSTRATES PRIOR TO INSTALLATION.
- INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS "C" OR BETTER, REFERENCE 2018 NCBC TABLE 803.11.
- TOILET ROOM FINISHES SHALL BE COMPLIANT WITH 2018 NCBC SECTION 1210.
- OWNER SHALL SELECT, APPROVE ALL FINISHED PRIOR TO INSTALLATION.
- EQUIVALENT SUBSTITUTIONS OF PAINT PRODUCTS ALLOWED.
- INTERIOR FINISHES SHALL COMPLY WITH NCBC SECTIONS 801 & 803.
- KITCHEN, SCULLERY & FOOD STORAGE AREA FINISHES SHALL COMPLY WITH THE NC FOOD CODE MANUAL (2017 U.S. FOOD CODE).
- SEAL ALL GAPS IN KITCHEN, SCULLERY & FOOD STORAGE AREAS WITH BACKER ROD & "NSF" RATED SEALANT

	DOOR SCHEDULE											
											COMMENTS	
DOOR NO.	DOOR OPENING SIZE			DOOR		FRAME		DOOR / FRAME FIRE RATING	HARDWARE			
	WIDTH	HGT	THICK	MAT'L	TYPE	MAT'L	TYPE		SET#	KEYSIDE RM#		
E	--	--	--	--	--	--	--	--	--	--	EXISTING FRAME, DOOR & HARDWARE TO REMAIN	
108	3'-0"	7'-0"	1.75"	WOOD	D-1	HM	F-1	NONE	H-2	110		
109	3'-0"	7'-0"	1.75"	WOOD	D-1	HM	F-1	NONE	H-1	110		
DOOR & FRAME TYPES											HARDWARE TYPES	
DOOR TYPES						FRAME TYPES						
D-1: 5-PANEL WOOD DOOR						F-1: PRE-HUNG WOOD FRAME, WITH FIELD APPLIED FLAT CASING						
											HARDWARE TYPES	
H-1: (1) LEVER PRIVACY SET, (3) HINGES, (1) CLOSER												
H-2: (1) LEVER STOREROOM LOCKSET, (3) HINGES, (1) CLOSER												
											DOOR, FRAME & HARDWARE NOTES	
											1. "--" DENOTES EXISTING TO REMAIN. 2. ANY GLAZING IN DOORS AND SIDELITES SHALL BE TEMPERED. 3. HARDWARE AT FIRE AND/OR SMOKE RATED DOORS SHALL BE LISTED FOR THAT PURPOSE. 4. ALL HARDWARE TO COMPLY WITH THE CURRENT NC BUILDING CODE, THE AMERICANS WITH DISABILITIES ACT, & ANSI A117.1. 5. ALL NEW OR RELOCATED INTERIOR SWING DOORS TO RECEIVE SILENCERS & WALL STOPS IN ADDITION TO ITEMS LISTED, U.O.N. 6. SEE ROOM FINISH SCHEDULE FOR FRAME FINISH. 7. OWNER TO APPROVE ALL FINISHES PRIOR TO INSTALLATION. 8. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.	

PARTITION LEGEND										
EXISTING CONSTRUCTION TO REMAIN										
NEW NON-RATED PARTITION TO CLG/HEADER ABOVE: 2x4 WOOD STUDS AT 16" OC WITH 5/8" TYPE X MOISTURE RESISTANT GYP BRD EACH SIDE, SOUND BATTS IN CAVITY. USE PRESSURE TREATED SILL. IN LIEU OF GYPSUM BOARD, USE 5/8" TILE BACKER BOARD AT CERAMIC WALL TILE LOCATIONS										
NEW GYP BRD AT EXISTING WOOD STUD FRAMING: 5/8" TYPE X GYP BRD FACE OF EXISTING STUDS, WITH UNFACED R-15 BATT INSULATION IN CAVITY.										
NEW PARTIAL INFILL WALL AT KITCHEN WINDOWS 2x2 STUD FRAMING AT 12" OC, TO 48" AFF WITH MOISTURE RESISTANT GYP BRD EACH SIDE, INSTALLED AT INSIDE OF EXISTING WINDOW. FACE KITCHEN SIDE WITH WHITE FRP. FACE WINDOW SIDE WITH DECORATIVE VINYL GRAPHIC.										
NEW LOW-WALL AT BAR 2x4 WOOD STUDS AT 16" O.C. WITH PRESSURE TREATED SILL PLATE AND 5/8" MOISTURE RESISTANT GYP BRD EACH SIDE. INSTALL STEEL PONY WALL STUDS AT 48" O.C. MAX ANCHORED TO SOLID WOOD FLOOR FRAMING OR BLOCKING BELOW.										
NEW FURRED WALL SAME AS TYPE 'A', WITH GYP BRD ON ONE SIDE ONLY.										
NEW NON-RATED PARTITION TO CLG/HEADER ABOVE: 2 1/2" MTL STUDS AT 12" OC WITH 5/8" TYPE X MOISTURE RESISTANT GYP BRD EACH SIDE, SOUND BATTS IN CAVITY. USE PRESSURE TREATED SILL. IN LIEU OF GYPSUM BOARD, USE 5/8" TILE BACKER BOARD AT CERAMIC WALL TILE LOCATIONS										



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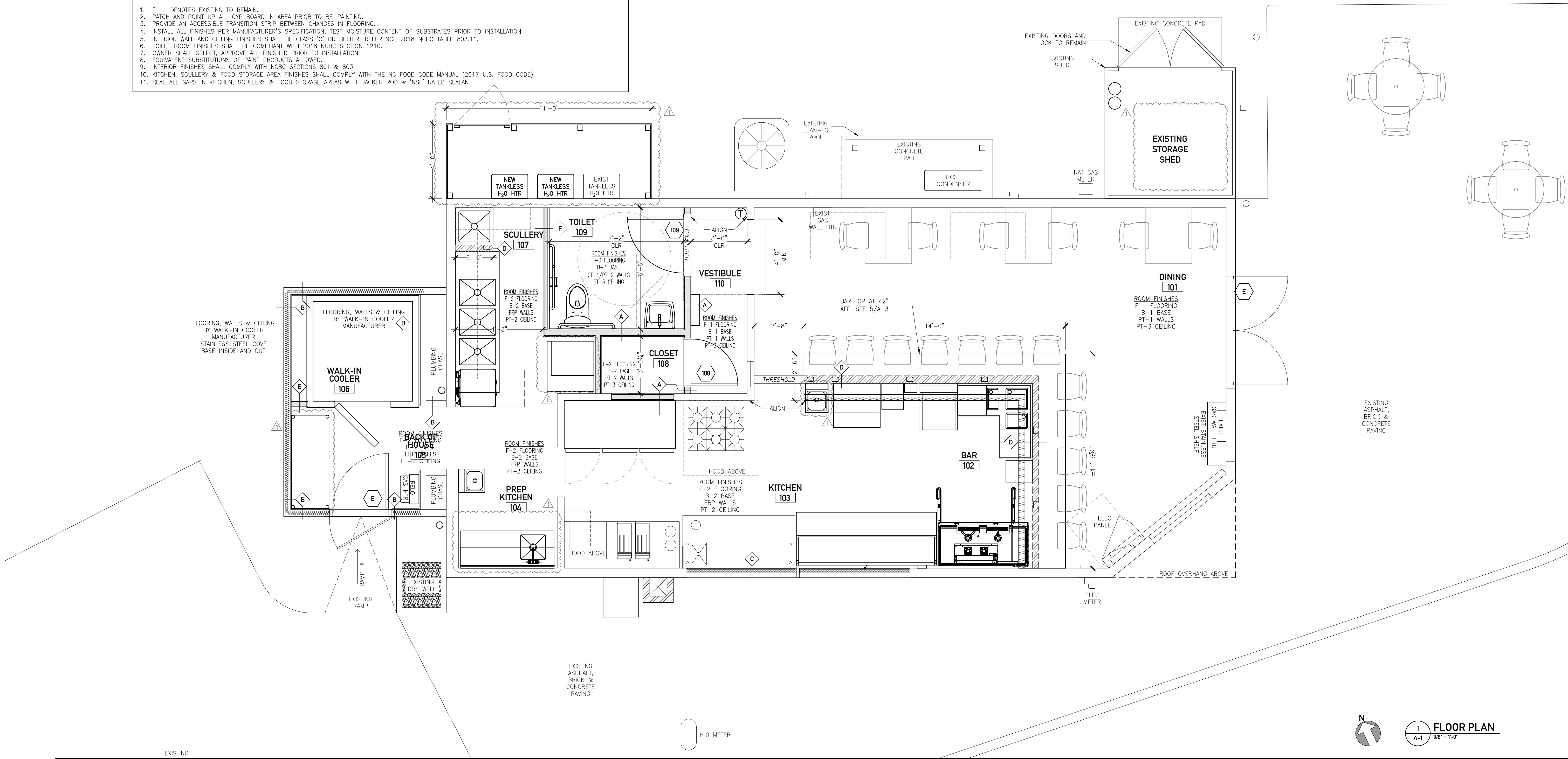
PROJECT
INTERIOR ALTERATIONS:
Community Grocery
901 Oberlin Road
Raleigh, NC 27605

BUILDING OWNER
COMMUNITY GRO LLC
1609 Canterbury Road
Raleigh NC 27608-1107

REVISIONS
REV 1 31 March 2023
COR COMMENTS

DRAWING NAME + NUMBER
FLOOR PLAN & SCHEDULES

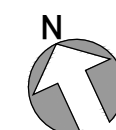
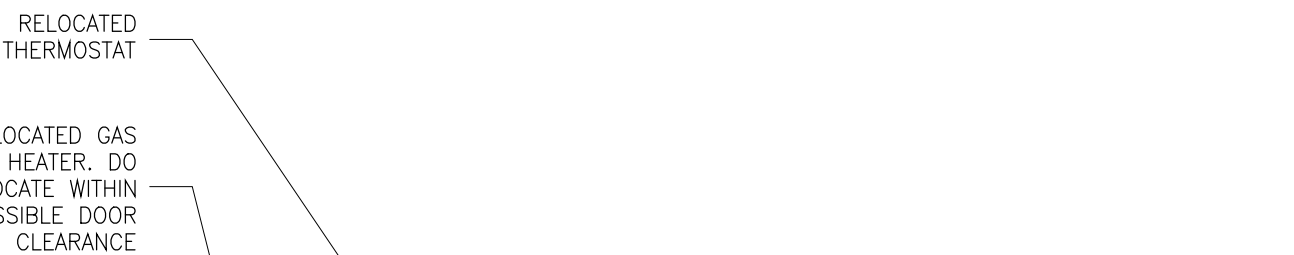
A-1
ISSUE DATE: 22 MARCH 2023





**Community
Grocery**
901 Oberlin Road
Raleigh, NC 27605

ISSUE DATE: 22 MARCH 2023



1
A-3

ENLARGED FLOOR PLAN

$\frac{3}{4}'' = 1'-0''$