



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Renew COA-0122-2024

112 N East St

Address

Oakwood

Historic District

Historic Property

COA-0060-2025

Certificate Number

5/21/2025

Date of Issue

5/21/2026

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name:

Mailing address:

City:

State:

Zip code:

Date:

Daytime phone #:

Email address:

Applicant signature: *Naina Khera-McRackan*

Minor work (staff review) – one copy

Major work (COA committee review) – ten
copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of
approval

Office Use Only

Transaction #: _____

File #: **COA-0060-2025**

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address:

Historic district:

Historic property/Landmark name (if applicable):

Owner name:

Owner mailing address:

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address

Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes No Did you consult with staff prior to filing the application? Yes No	Office Use Only Type of work: <u>91</u> _____
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Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
		Extension Request
		see notes below

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>05/21/2026</u> . Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Collet K</u>	Date <u>05/21/25</u>

Reason for Extension Request:

Original general contractor had to back out of the project for personal reasons and the new general contractor has limited availability and is not able to start the work until March 2026.

No work has begun or has been completed. All conditions of the original Major Work Approval are still outstanding and will need to be resolved as appropriate when the project restarts.

Project #: COA-0122-2024
Address: 112 N. East St.
Owners: Naina + Dan Khera-McRacken
Prepared By: Alison Croop @ Louis Cherry Architecture
Date: December 16, 2024

Application Summary:

The following document and other COA application materials described in the list below are being submitted to the RHDC staff in response to the RHDC committee comments that were received on 12/13/24. Revisions or additions to the text of the original application are indicated with ~~striketrough~~ or **RED** text.

LIST OF COA APPLICATION MATERIALS

A-000 Key Plans + General Notes	A-015 West Elevation - Existing
A-001 Built Mass Diagram: Historic (1914)	A-016 West Elevation - Proposed
A-002 Built Mass Diagram: Historic (1950)	A-017 North Elevation - Existing
A-003 Built Mass Diagram: Existing	A-018 North Elevation - Proposed
A-004 Built Mass Diagram: Proposed	A-019 East Elevation - Existing
A-005 Built Area Diagram: Historic	A-020 East Elevation - Proposed
A-006 Built Area Diagram: Existing	A-021 South Elevation - Existing
A-007 Built Area Diagram: Proposed	A-022 South Elevation - Proposed
A-008 Site Plan - Existing	A-023 North Elevation - Enlarged
A-009 Site Plan - Proposed	A-024 East Elevation - Enlarged
A-010 Site Plan - Plantings - Existing	A-025 South Elevation - Enlarged
A-011 Site Plan - Plantings - Proposed	A-026 Details - Miscellaneous
A-012 Roof Plan - Existing	A-027 Details - Side Porch Steps + Railing
A-013 Roof Plan - Proposed	A-028 Details - Balcony + Deck Railing
A-014 Enlarged Plan - Back of House	A-029 Details - Bike Shed
	A-030 Details - Equipment Screening

Supplemental Documents

- + Written Description of Project
 - >Window + Door Specifications + Sections**
- + Major Work COA Application Form - signed by property owner
- + Minor Work COA approval of existing steel fence
- + Tree Protection Letter by certified arborist

WRITTEN DESCRIPTION OF PROJECT

TABLE OF CONTENTS

Existing Elevations	3
Property History	10
Renderings of Proposed Work	17
Written Description of Work	29
Summary of Work	29
[1] 2-STORY SCREENED PORCH RENOVATION	30
[2] COVERED BACK DECK	32
[3] PATIO + WATER FEATURE + OUTDOOR FIREPLACE + LANDSCAPING	34
[4] MATURE TREE REMOVAL	36
[5] PRIVACY FENCE	37
[6] 2nd FLOOR BALCONY (FRONT OF HOUSE)	38
[7] OTHER COMPONENTS	39
A. REMOVE (2) DOUBLE-HUNG WINDOWS	39
B. BIKE SHED	39
C. FRONT PORCH SIDE STEPS	39
D. REMOVE UTILITY CHIMNEY	40
E. EQUIPMENT SCREENING	40
Written Description of Finishes + Fixtures	41
Steel Window + Door Specifications + Sections	42
Neighborhood Precedents	51
STEEL WINDOWS	51
WATER FEATURE	51
LARGE WINDOWS	52
FENCE HEIGHT	54

Existing Elevations



112 N. East St - East Elevation (Primary Street)



112 N. East St - West Elevation (Back of House)



112 N. East St - SouthWest Corner



112 N. East St - South Elevation 1



112 N. East St - South Elevation 2



112 N. East St - South Elevation 3



112 N. East St - NorthWest Corner



112 N. East St - North Elevation 1



112 N. East St - North Elevation 2



112 N. East St - North Elevation 3



112 N. East St - Backyard



112 N. East St - Mature Crepe Myrtle - located in the South side setback

Property History

SUMMARY

- 1914: 1-story residence (approx. 1300 SF footprint)
- 1916: Existing residence demolished and new 2-story residence built for Samuel Glass
 - Colonial Revival style
 - Included garage/shop at back of property
- 1927: Additional rooms built in 1927 resulting in a 16-room home at 5200 SF
 - According to written history by Jean Pauwels
- 1927 - 1949: Further additions made to the home and converted to 6 apts
- 1978: Converted back to a single-family residence
- 1981: Two-story screen-in porch added (refer to COA application)
- 1987: records indicate that the front porch roof was used as a balcony with wooden railings
- 2013: Brick retaining wall built in front yard

OAKWOOD INVENTORY EXCERPT

This Neoclassical Revival frame two-story was built for Samuel and Sarah (Sadie) Glass, on the site of an earlier house. Samuel was a Jewish clothing merchant who had emigrated from Latvia, which was part of the Russian Empire, in 1905, with his son Benjamin. His wife Sarah arrived after Samuel had gotten settled. He owned a dress shop on Fayetteville St. catering to white customers, and another on E. Hargett St. catering to black customers. Four more children were born here. The Glass family spoke Russian, Yiddish and English. They were leaders in the establishment of the House of Jacob orthodox synagogue a block and a half south of this house.

They built this house in 1916 at a cost of \$6000. It is a grand example of the Neoclassical Revival Style, and is one of the largest houses in Oakwood. It has a hipped roof clad in slate shingles withterne metal flashing and finials. There is a hipped-roofed dormer on the front. The dormer has three windows with Neoclassical tracery in the upper sashes and single panes in the lower sashes. The front porch wraps around the left side of the house. It has a hipped roof supported by twelve Tuscan columns. The porch has a projecting section in the center of the front, the top of which forms a balcony. The front door has sidelights and a transom with beveled leaded glass windows. In the center of the second-story door is a door to the balcony, with sidelights. The door has Neoclassical tracery. Most windows are one-over-one. There is an original two-story hipped-roofed ell on the northern part of the rear.

Additions were made to the rear between 1927 and c.1949, when the house was converted into six apartments. It remained in the Glass family until 1974. It was restored to a single-family home by Jerrold & Hilda Stone in c.1978. Shed built 1985 according to tax records There is a brick retaining wall around the front yard. It was built for owners Jean and Sandrine Pauwels in 2013.

National Register of Historic Places Continuation Sheet – Section 7, Page 13 (1987)

112 N. East Street-Samuel H. Glass House (C)

Built ca. 1914 for Samuel H. Glass of Samuel and Hayman Glass, proprietors of The Emporium and dealers in ladies garments, this large, two-story frame Classical Revival foursquare has a high, hipped slate roof. Centered in the front slope of the roof is a hipped dormer with triple window. An L-shaped porch that runs across the front of the house and part of the north elevation has Tuscan columns, tripled where the porch extends forward at the front steps, and square-section railings. The symmetrically arranged, three bay front elevation of the house has a central door with leaded, beveled glass sidelights and transoms on the first floor, and a central set of French doors with reticulated panels and sidelights on the second level. Wooden modern railings have been added to this second level deck. Window sash on all elevations are one over one. At the rear of the house is a two-story shed wing and a two-story screened porch. A chimney on the south slope of the roof has a partially-rebuilt stack. (Sanborn maps; city directories)

DEED HISTORY

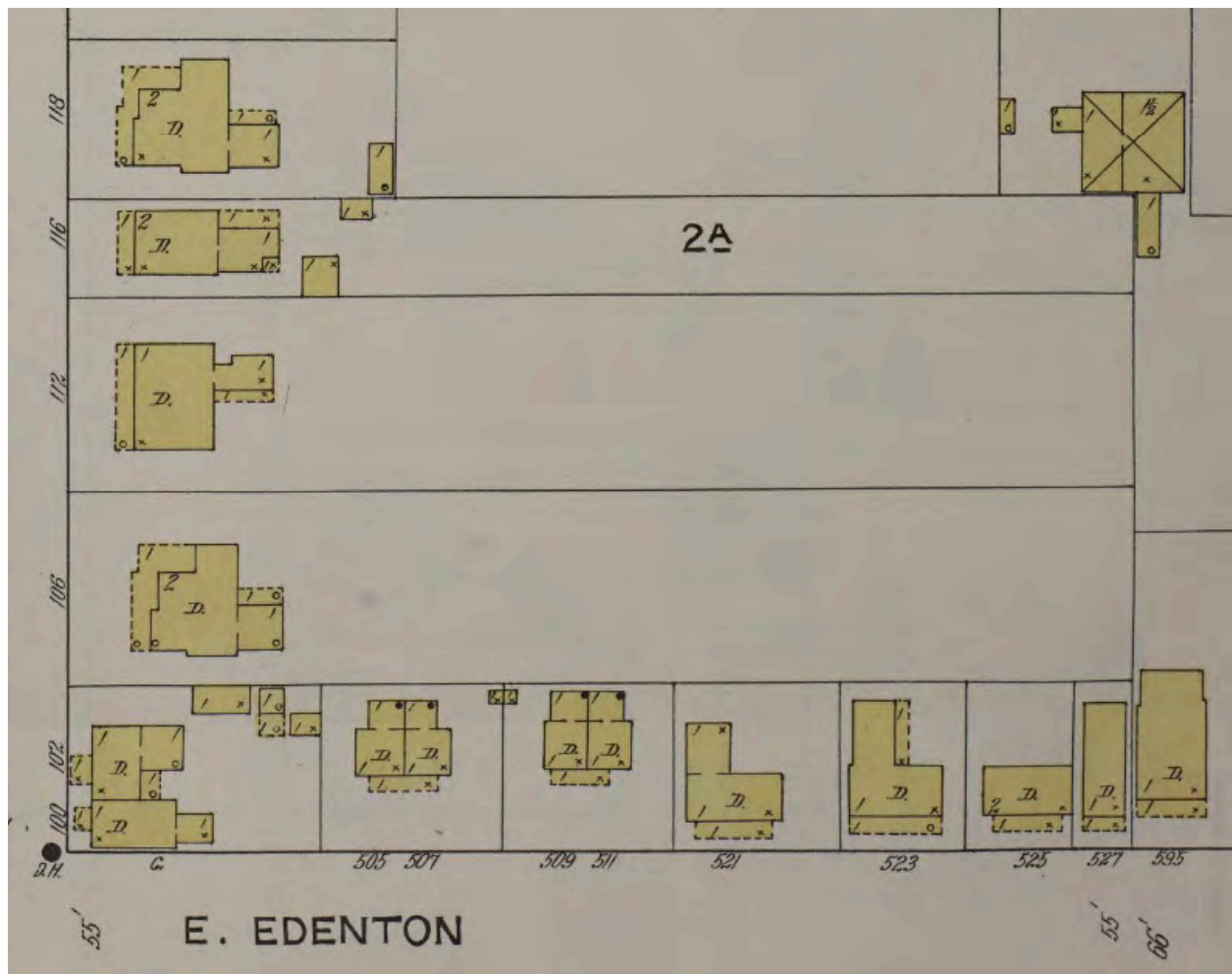
- 23:340 Joseph G. Bromell to W. H. Ellen 1854
- 260:479 to Cornelia C. Ellen & Mary Bridgers Mar 28, 1899
- 283:530 Cornelia Ellen & Mary & James Bridgers to Sarah Glass (w of Samuel) May 5, 1914 \$3000
- 318:545 T. B. & Evelyn Moseley to Mrs. Sarah Glass Dec 4, 1917 8' alley south of main lot
- 2232:633 Eva Fowler, Benjamin Glass & other Glasses to Sam J. Morris Feb 15, 1974
- 2499:458 2588:364 to Jerrold & Hildegard Stone Jan 1, 1978
- 1914 Sanborn: different house here
- 1915-16 RCD: Samuel Glass, propr S&H Glass, ladies garments, 210 Fayetteville St., The Emporium, ladies garments, 113 E. Hargett St.
- 1925 RCD: Samuel Glass
- 1927: From Jean Pauwels: additional rooms built in 1927 resulting in a 16-room home at 5200 SF
- 1929 RCD: Samuel Glass, proprietor Glass Delicatessen Shoppe, wife Gertrude
- 1936 RCD: Saml Glass & 4 other surnames
- 1948 RCD: Saml Glass
- 1950 Sanborn: main two story section plus substantial two-story additions on rear, tiny open porch on rear, slate roof, "apts."
- 1956 RCD: six apartments
- 1958 RCD: six apartments
- 1968 RCD: six apartments
- 2001 CoR Permit Portal: Renovate kitchen, dining, and utility room; interiors only
- 2005 CoR Permit Portal: Replace AC units

112 N. East St. - Major Work COA Application

- 2010 CoR Permit Portal: Work in right of way?
- 2011 CoR Permit Portal: emergency repairs to boiler gas pipe
- 2017 CoR Permit Portal: Replace AC units
- 2012 wakegov: footprint similar to 1950 but tiny back porch replaced by larger screened porch

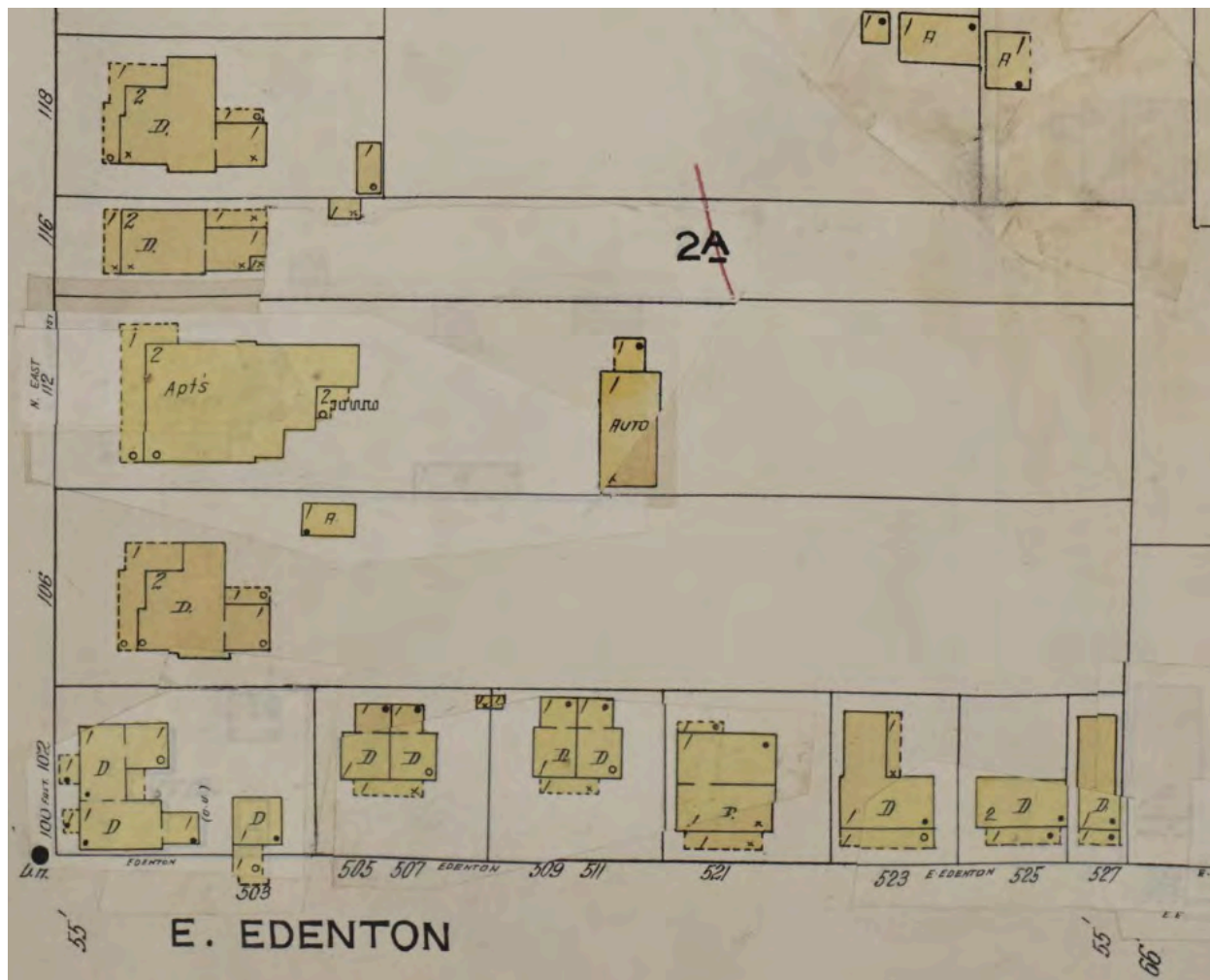
1914 Sanborn Fire Insurance Map

- cropped view of property at 112 N East St.
- prior to purchase by Sarah and Samuel Glass in 1916



1950 Sanborn Fire Insurance Map

- cropped view of property at 112 N East St.
- main two story section plus substantial two-story additions on rear, tiny open porch on rear, slate roof, "apts."



1981: 2-Story Screen Porch Addition - Photos from 1981 and 2000 COA applications

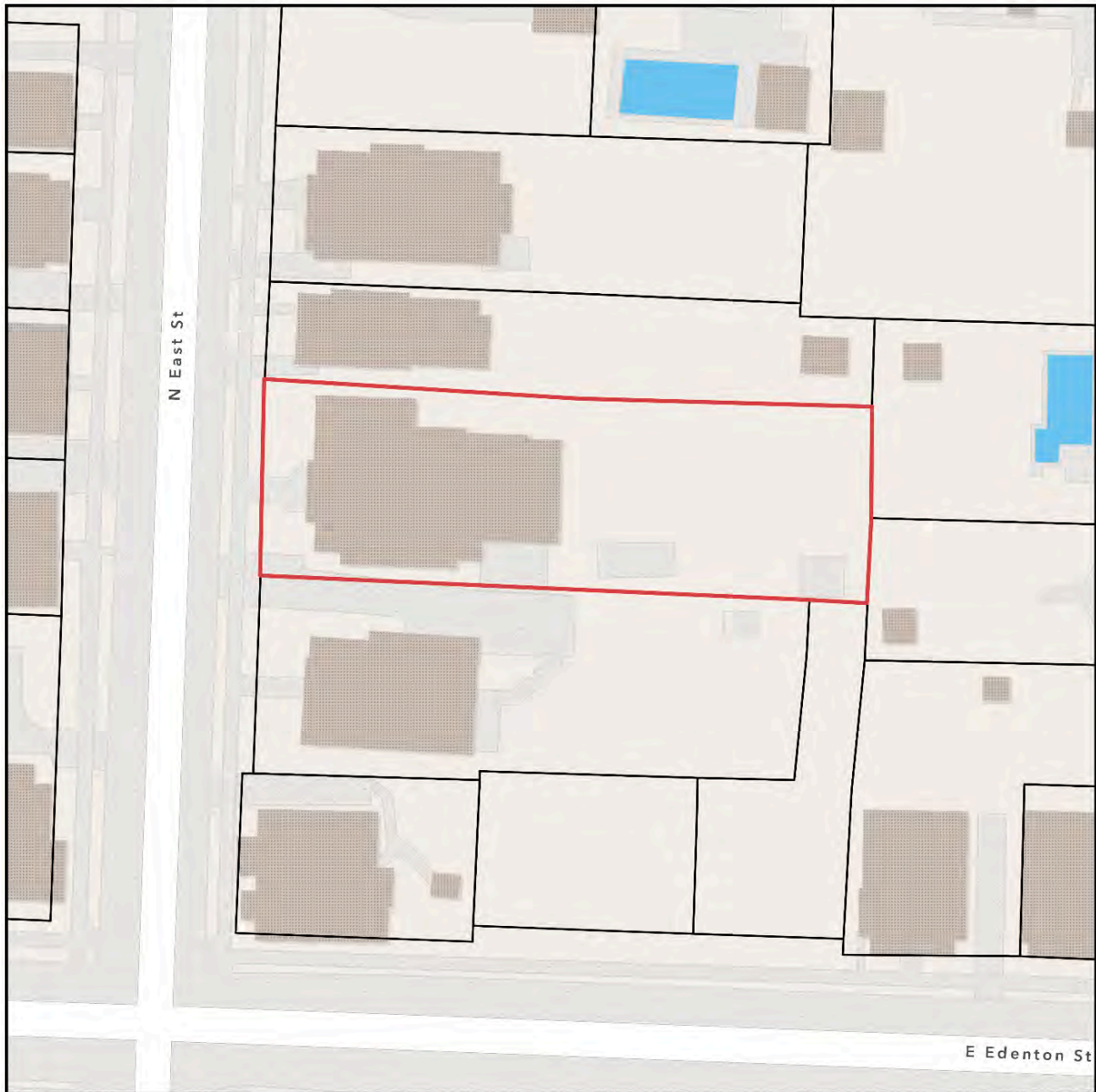


Photo of Back of House prior to 2-story Screen Porch Addition



Photos taken in 2000 showing 2-Story Screened Porch Addition

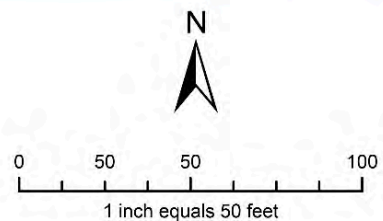
2024: Wake County GIS map



112 N EAST ST.

REID: 0025141
PIN: 1703992526
PIN Extension: 000
Land Value: \$622725
Building Value: \$993673
Total Value Assessed: \$1616398
Deed Acres: 0.32
Total Sale Price: \$950000
Sale Date: 6/15/2017
Year Built: 1916
Heated Area: 5196
Type and Use: SINGLFAM
Design Style: Conventional
City: RALEIGH
Planning Jurisdiction: RA
Township: Raleigh
Owner: KHERA-MCRACKAN, DANIEL KHERA-MCRACKAN, NAINA

Mailing Address 1: 112 N EAST ST
Mailing Address 2: RALEIGH NC 27601-1112
Deed Book: 016814
Deed Page: 01792
Deed Date: 6/15/2017
Land Class: Residential Less Than 10 Acres
Map Name: 1703 28
Billing Class: Individual
Property Description: 112 N EAST STREET
Address: 112 N EAST ST
Street Name: N EAST ST
Old Parcel Number: G001-G0002-0004
Units: 1
Total Structures: 1
Total Units: 1
Other Building Value: \$260
ZIP: 27601



Disclaimer
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Renderings of Proposed Work

The following pages contain renderings of the proposed work. Please note that the renderings are not photo-realistic and there may be slight differences between the rendered materials and actual materials. Many of the building details are not shown and the plantings only represent the general shape and size of those identified on the plan.

1. Street View 1
2. Street View 2
3. Street View 3
4. Back of House - View 1
5. South Side Approach
6. North Side Approach
7. Back of House - View 2
8. Dining Area
9. Water Feature
10. Tile Details
11. Front of House - Balcony



112 N. East St. - Proposed Rendering - Street View 1



112 N. East St. - Proposed Rendering - Street View 2



112 N. East St. - Proposed Rendering - Street View 3



112 N. East St. - Proposed Rendering - Back of House - View 1



112 N. East St. - Proposed Rendering - South Side Approach



112 N. East St. - Proposed Rendering - North Side Approach



112 N. East St. - Proposed Rendering - Back of House - View 2



112 N. East St. - Proposed Rendering - Dining area with built-in bench



112 N. East St. - Proposed Rendering - Built-in water fountain and reflecting pool with bench

112 N. East St. - Proposed Rendering - Tile Details





112 N. East St. - Proposed Rendering - Front of House - 2nd Floor Balcony

Written Description of Work

Summary of Work

Major renovation of existing single family residence including the following:

1. **2-Story Screened Porch Renovation:** Full reconstruction of the non-historic 2-story screened porch addition on the back of the house. Spaces will remain semi-conditioned as a sunroom on the first floor and an office/studio space on the 2nd floor...
2. **Covered Back Deck:** Construction of a tiered deck with terracotta pavers aligned to the first floor level; Asphalt-shingle porch roof covers a portion of deck outside of the kitchen/dining room with a built-in bench; Replace bay window with double-panel sliding door to access deck from dining room.
3. **Patio + Landscaping:** Expansion of existing hardscaping in back yard to create a patio for outdoor seating ~~around a built-in fireplace~~. The deck design incorporates a water feature and catch basin. The landscape plan includes terracotta paver paths in the side setbacks to create better access from front yard to backyard and new plantings.
4. **Mature Tree Removal:** Remove a mature crepe myrtle tree in the South side property setback that impedes access to the backyard **and replace with similar species tree in backyard**
- ~~5. **Privacy Fence:** Build an 8ft. tall horizontal wood privacy fence along side property boundary at back half of property~~
6. **2nd Floor Balcony:** Convert front porch roof back to a balcony with new railings and pavers
7. **Other Components:**
 - A. Remove (2) Double-hung Windows
 - B. Bike Shed
 - C. Front Porch Side Steps
 - D. Utility Chimney Removal
 - E. Equipment Screening

[1] 2-STORY SCREENED PORCH RENOVATION

Existing Conditions

- The 2-story screen porch was constructed in 1981 with painted lap siding to match existing and fiberglass doors and windows and aluminum screen system
- The roof is a low slope membrane roof with a central skylight

Proposed Design

- Modifications to existing masonry foundation walls to support new structure; Overall building footprint will not change; Exterior appearance of brick foundation walls will not change
- **1A:** Exterior cladding will be fiber cement board paneling with raised panel details
 - Refer to enlarged exterior elevations: A-023, A-024, A,025 (Refer to Spec #1A)
- **1B:** Double outward-opening steel doors with horizontal muntins (Refer to Spec #1B)
- **1C:** Floor to ceiling painted steel windows with horizontal muntins (Refer to Spec #1B)
- **1D:** 2nd floor painted steel sloped skylight with horizontal muntins (match windows)
- **1E:** 2nd floor studio room floor will overhang the East wall of the 1st floor sunroom below by 2ft.
- ~~Second floor space will be semi-conditioned with a mini-split air conditioning unit. The mini-split system will have an interior wall mount unit for air supply and a roof or ground mounted suitcase sized condenser unit~~ (changed to a roof mount mini split with a suitcase sized ground unit)
- **1F:** Roof detailing (fascia, gutters, and downspouts) to match existing low-slope membrane roofs
- **1G:** Vertical break line between new construction and existing created with a vertical 1x6 trim board painted in a coordinated color

RHDC Guidelines + Response

- RHDC Sec 2.6.1 - *“Retain and preserve exterior walls that contribute to the overall historic form and character of a building, including their functional and decorative features, such as cornices, foundations, bays, etc...”*
 - The 2-story screened porch addition construction in 1980 is not part of the historic character of the home and currently detracts from the the overall historic form and character of the building
- RHDC Sec 2.6.8 - *“It is not appropriate to introduce new features such as window or door openings, bays, vents, balconies, or chimneys to character-defining exterior walls if they will compromise the architectural integrity of the building.”*

- Proposed changes are isolated to the back of the house and are not part of a character-defining exterior wall.
- *“In terms of architectural style, a new addition may be traditional, contemporary, or a simplified version of the original building so long as it strikes a balance in terms of compatibility with and differentiation from the historic character and the identity of the original building.”*
 - Vertical break line between new construction and existing created with a vertical 1x6 trim board painted in a coordinated color
- *“To preserve a property’s historic character, a new addition must be visually distinguishable from the historic building. This does not mean that the addition and the historic building should be glaringly different in terms of design, materials and other visual qualities. Instead, the new addition should take its design cues from, but not copy, the historic building. For example, it can be differentiated from the original building through a break in roofline, cornice height, wall plane, materials, siding profile, or window type.”*
 - Diagram: compare existing openings to new openings
- RHDC Sec 3.2.8 - *“Design an addition to be compatible with the historic building in mass, architectural style, materials, color, and relationship of solids to voids in the exterior walls, yet make the addition discernible from the original.”*

Neighborhood Precedent

- STEEL WINDOWS
 - **611 Polk St** - 1897; 1977 rear addition (1980s per Oakwood History Overlay District Report) has large steel window - approved by COA
- LARGE WINDOWS
 - **412 N East St** - 1888; large windows at rear courtyard - this room was probably added in the late 1970s or 8Pre0s
 - **426 E Jones St** - 1906; many large windows at rear of house (corner lot so visible from street); second story at rear (with sunroom & windows) probably done in 1935

[2] COVERED BACK DECK

Existing Conditions

- The kitchen/dining room is part of a 2-story addition that was constructed in 1927.
- The kitchen has 3 windows; 2 double-hung windows on the North wall and a bay window on the East wall. The double-hung windows on the North facing wall have been replaced but match the original size and style. The East facing bay window was added later but the date of construction has not been determined.
- The exterior cladding is painted horizontal lapped wood boards
- The exterior patio pavers on grade are standard brick and there are some raised brick garden beds against the foundation walls.

Demolition Notes

- Remove bay window and portion of East wall in the kitchen/dining room
- Demolish existing brick patio and some landscaping

Proposed Design

- **2A:** Install ~~aluminum-clad wood double panel~~ **steel** sliding door from kitchen/dining room to covered deck
- **2B:** Construct a multi-level tiered tile deck that creates a smooth transition between the interior living spaces with the ground-level patio. All terracotta tile including the pathways will be set on a concrete base and sealed to protect the tile
- **2C:** Built-in bench for dining area under roof
- **2D:** Deck roof detailing (asphalt shingles, fascia, millwork details, gutters) will match the front porch
- **2E:** Painted t&g wood ceiling
- **2F:** Square painted white wood columns and painted wood beams
- **2G:** In-fill exterior wall where necessary with painted wood lap-siding to match existing
- **2H:** Ceiling Fan (spec TBD)
- **2I:** Wall Sconce (spec TBD)

RHDC Guidelines + Response

- *RHDC Sec 3.1.1 - "Locate and construct decks so that the historic fabric of the structure and its character-defining features and details are not damaged or obscured. Install*

decks so that they are structurally self-supporting and may be removed in the future without damage to the historic structure.”

- Construction of the deck will not damage or obscure any character-defining features and will be able to be demolished without damaging the structure.
- *RHDC Sec 3.1.2 - “Minimize the visibility of new residential decks from the street by introducing them in inconspicuous locations, usually on the building’s rear face and inset from the rear corners. Design and detail decks and associated railings and steps to reflect the materials, scale, and proportions of the building.”*
 - Deck is not visible from street
 - Scale and proportions are in line with the existing construction
- *3.1.4 - “Align decks generally with the height of the building’s first-floor level. Visually tie the deck to the building by screening with compatible foundation materials such as skirt boards, lattice, masonry panels, and dense evergreen foundation plantings.”*
 - Deck aligns to first floor level with multiple tiers to create a more gradual transition to the yard
- *3.1.5 - “Locate new decks so they do not require removal of a significant building element or site feature such as a porch or a mature tree.”*
- *3.1.6 - “Ensure that new decks are sited and designed so they do not detract from the overall historic character of the building or the site.”*
 - Proposed covered deck at the back of the house shall match the color and millwork detailing but will have square painted wood posts instead of the rounded Georgian-style columns of the front porch. This component of the proposed design is intended to most reflect the character of the front of the house without being a direct copy.
- *3.1.7 - “Design new decks to be of a size and scale that does not significantly change the proportion of original built area to open space for a specific property.”*
 - The new deck does not significantly change the proportion of built area to open space and in fact the total changes to the hardscape vs. landscaped areas in the side and back yards decrease the total impervious surface area

Neighborhood Precedent

- N/A

[3] PATIO + WATER FEATURE + ~~OUTDOOR FIREPLACE~~ + LANDSCAPING

Existing Conditions

- The exterior patio pavers on grade are standard brick and there are some raised brick garden beds against the foundation walls.

Demolition Notes

- Demolish existing brick patio and some landscaping and some of backyard landscaping

Proposed Design

- **3A** Patio: Construct a ground-level patio with terracotta field tile and decorative border. Terracotta tile will be set on a concrete base and sealed.
- ~~**3B** Site Walls: Proposed site walls to be constructed with CMU block with a stucco finish. These site walls provide multiple functions: connects the new patio design back to the home, acts as a solid wall railing for the dining area, a place for the built-in wood-burning fireplace with built-in wood storage, separates the patio space from the north side of the property which will be more of a private garden. The site wall will have a stepped motif. On the opposite side of the patio another, lower site wall will provide a mounting point for another railing as well as a back drop for a built-in bench (Refer to Spec #3B and physical sample)~~
- ~~**3C** Fireplace: Custom built wood-burning outdoor fireplace within the site wall with 2 firewood storage nooks to either side. Fire-retardant brick for the firebox.~~
- **3D** Water Feature: Custom built waterfall-type fountain built-in to the covered deck bench. The water falls 2'9" into a collection pool with a wide wall for seating
- **3E** Pathways: Terracotta tile pathways connect the front of the property to the back and provide easier access for maintenance equipment. Same concrete base and edging as the patio.
- **3F** Landscape Plan: refer to attached landscape plan for new planting details in front yard, back yard, and along the side setbacks.
- **3G** Driveway: 2ft brick runners with standard running bond brick pavers; compacted gravel between runners

RHDC Guidelines + Response

- RHDC Sec 1.3.9 "Introduce compatible new site features constructed of traditional materials only in locations and configurations that are characteristic of the historic district or landmark.
- RHDC Sec 1.5.5 "Design new walkways, driveways, and off-street parking areas to be compatible in location, patterns, spacing, configurations, dimensions, materials, and

color with existing walkways, driveways, and off-street parking areas that contribute to the overall historic character of the district.”

- *RHDC Sec 1.5.6 “Locate new walkways, driveways, and off-street parking areas so that the topography of the building site and significant site features, including mature trees, are retained.”*

Neighborhood Precedents

- WATER FEATURE
 - **609 Polk St** - 1897; pergola & patio & water feature appear to have been done after 2018

[4] MATURE TREE REMOVAL

Existing Conditions

- Existing mature Crepe Myrtle tree is located in the side setback on the south side of the house within 4 feet of the masonry foundation walls and approximately 5 feet away from the southern property boundary.

Proposed Design

- Remove tree and replace with a similar species in the backyard

RHDC Guidelines + Response

- *RHDC Sec 1.3.1: Retain and preserve the building and landscape features that contribute to the overall historic character of a landmark or district, including trees, gardens, yards, arbors, ground cover, fences, accessory buildings, patios, terraces, fountains, fish ponds, and significant vistas and views.*
 - We propose the removal of a mature, healthy Crepe Myrtle tree within the property side setback for the following reasons:
 - It is located dangerously close to the foundation walls
 - Impedes access to the backyard
 - This tree does not add to the historic character of the district. It is a non-native species.
- *RHDC Sec 1.3.7 "Protect large trees and other significant site features from immediate damage during construction and from delayed damage due to construction activities, such as loss of root area or compaction of the soil by equipment. It is especially critical to avoid compaction of the soil within the critical root zone of trees."*
 - Refer to attached Tree Protection plan and letter by certified arborist

Neighborhood Precedent

- N/A

[5] ~~PRIVACY FENCE~~

Proposed Design

- Removed entirely from the project

[6] 2nd FLOOR BALCONY (FRONT OF HOUSE)

Existing Conditions

- Existing single panel patio door provides access from the 2nd floor stairway landing and hallway to a flat portion of the first floor porch roof. To either side of the flat portion are gable roofs with asphalt shingles that match the main roof above
- Records indicate there was a balcony with wooden railings prior to 1987

Proposed Design

- Convert central flat portion of 1st floor porch roof into a balcony
 - Use terracotta pavers for balcony floor system
- Install steel railings to match steel fence design (COA-0045-2024)

RHDC Guidelines + Response

- N/A

[7] OTHER COMPONENTS

A. REMOVE (2) DOUBLE-HUNG WINDOWS

Existing Conditions

- There are (2) double-hung windows on the North elevation for the Kitchen and Dining Room space. The windows are not original to the period of significance

Proposed Design

- Infill window openings with painted wood lap-siding to match existing cladding

RHDC Guidelines + Response

- RHDC Sec 2.7.11 “It is not appropriate to remove original doors, windows, shutters, blinds, hardware, and trim from a character-defining facade.”
 - The wall is not visible from the street and is not part of a character-defining facade

B. BIKE SHED

Existing Conditions: N/A

Proposed Design

- Build a custom wood-framed 6' x 9' bike shed in the North property set back adjacent to the existing HVAC equipment. Exterior cladding will be painted wood lap-siding to match existing building cladding. New doors to be paneled wood double-swing doors, painted white to match existing building trim color. Roof will be asphalt shingles to match existing house roof.

RHDC Guidelines + Response

- RHDC Sec 1.6.7 “Select materials and finishes for proposed garages or accessory buildings that are compatible with the principal structure or other historic garages and accessory buildings in the district in terms of composition, scale, module, pattern, detail, texture, finish, color, and sheen.”

C. FRONT PORCH SIDE STEPS

Existing Conditions:

- 3ft. wide painted wood steps with an 8” rise and 11” tread and a painted wood railing

Proposed Design

- Extend the steps to the full width of the porch and change to a 6” riser and 12” tread. Wood treads will not be painted. Painted steel handrail will match style and layout of approved steel fence

RHDC Guidelines + Response: N/A

D. REMOVE UTILITY CHIMNEY

Existing Conditions:

- 30" x 18" utility chimney in the center of the kitchen, passes through a closet on the second floor and is not visible from the street

Proposed Design

- Remove this chimney to allow for a more flexible interior layout for the kitchen renovation

RHDC Guidelines + Response: N/A

E. EQUIPMENT SCREENING

Existing Conditions:

- No screen; HVAC equipment is easily visible

Proposed Design

- 48" tall wood fence screening and gate to match style of privacy fence

Written Description of Finishes + Fixtures

1. Windows and Doors - 2-story screened porch:
 - French Steel - Tuscan Steel Windows + Doors
 - Paint Color: SW 2832 - Colonial Revival Gray
2. Exterior Cladding - 2-story screened porch:
 - Nichiha - NichiPanel - Smooth with inset face trim
 - Refer to exterior elevations for panel layout and trim details
 - Paint Color: Sherwin Williams - Morning Fog (SW6255) - Matte sheen
 - Fiber cement siding and trim must be painted and installed with the smooth side facing out
3. Exterior Cladding - demo infill + bike shed:
 - Match existing painted wood lap siding
4. Ceiling - Covered Deck:
 - T&G wood boards to match front porch
 - Paint Color: White (match existing trim)
5. Roofing - Covered Deck:
 - Asphalt Shingles to match existing house roof (refer to attached photo)
6. Roofing - 2-story screened porch:
 - Low-slope PVC roofing membrane - white
7. Flooring - Deck/Patio/Balcony/Paths:
 - Terracotta Field Tile: Cle Tile - Le Sol | Petit Octagon + Bouchon | 4" x 4"
 - Treads + Site Walls: Cle Tile - Le Sol | Grand | Rectangle | 6" x 8"
 - Step Risers + Path Edging: Cle Tile - Le Sol | Grand | Plank | 2" x 8"
8. Balcony Railing:
 - Painted steel to match existing steel fence
 - Paint Color: black

Steel Window + Door Specifications + Sections

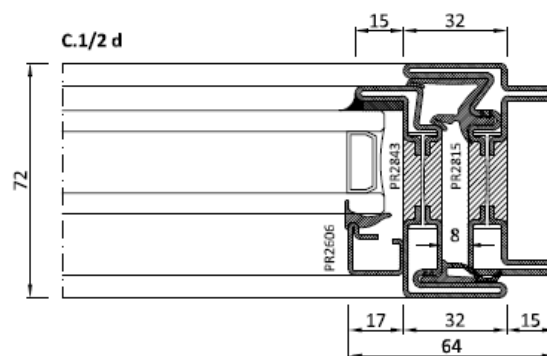
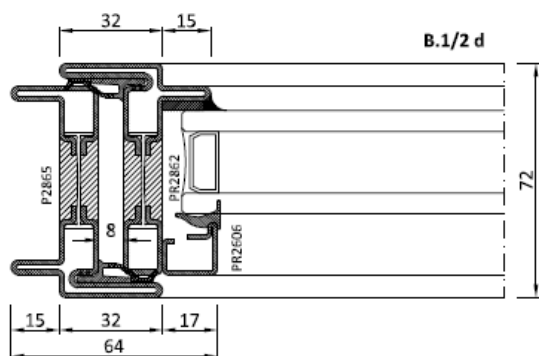
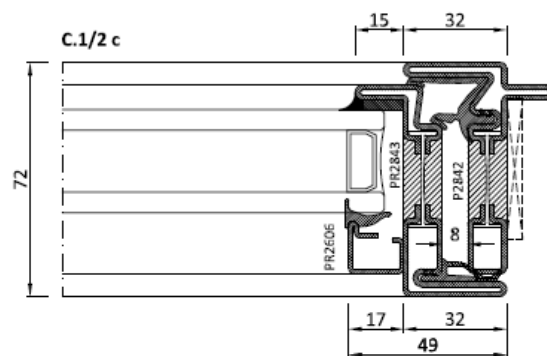
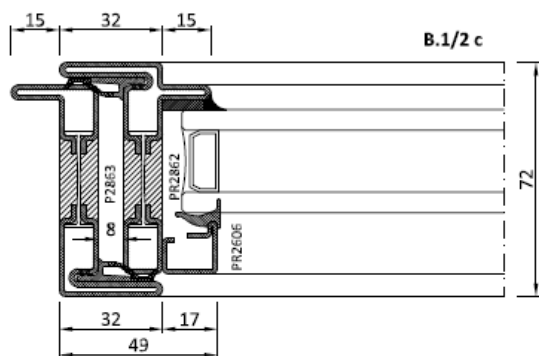
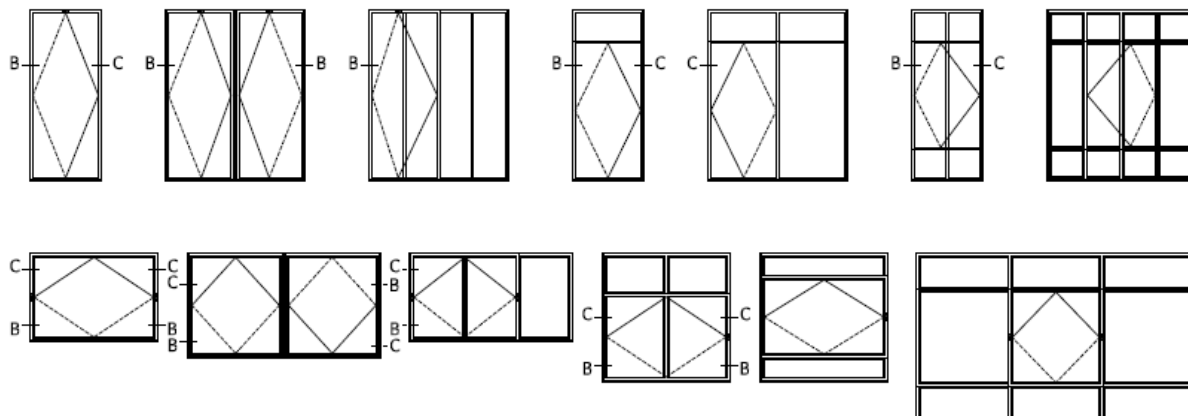
Specifications for all steel windows and doors

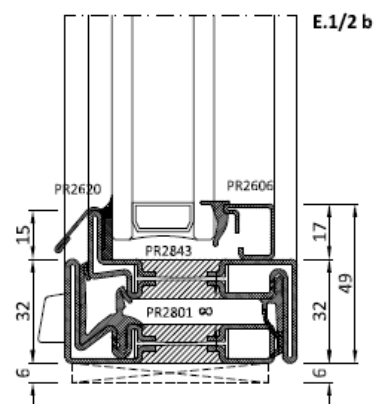
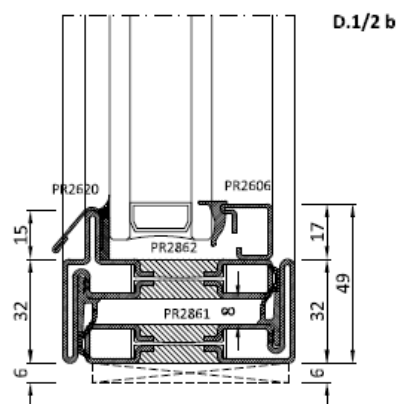
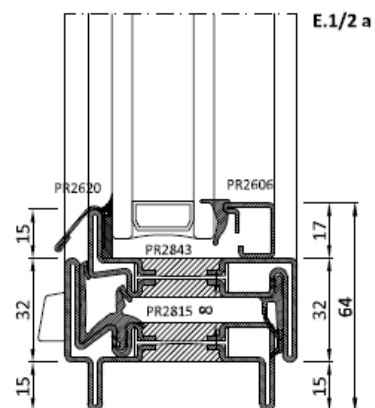
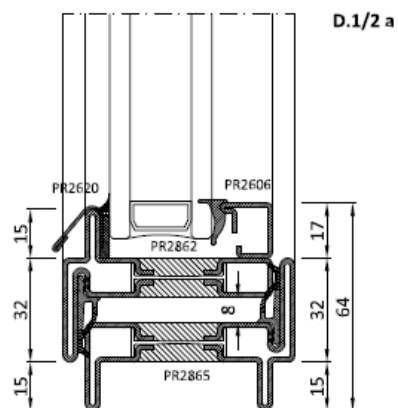
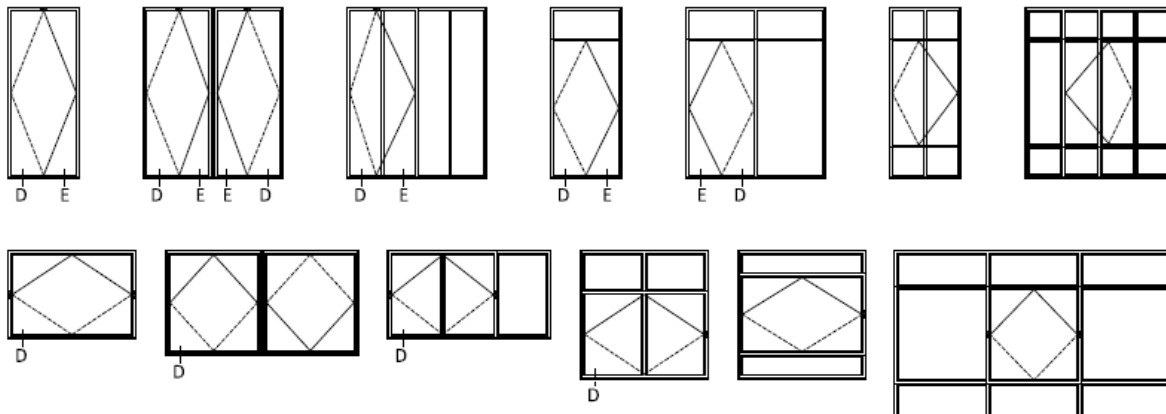
Vendor/Rep:	French Steel
Manufacturer:	Secco Sistemi
Series / Model #:	Tuscan Series - OSC-65 thermally broken
Finish:	Painted Galvanized Steel (Color: SW2832 - Colonial Revival Gray)
Glass:	Clear, no tint; tempered where required by code
Divided Lites:	Yes
Glazing Bead:	Thin Profile

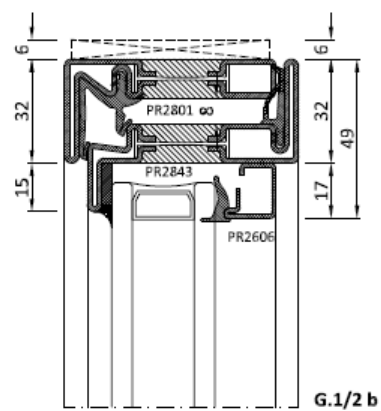
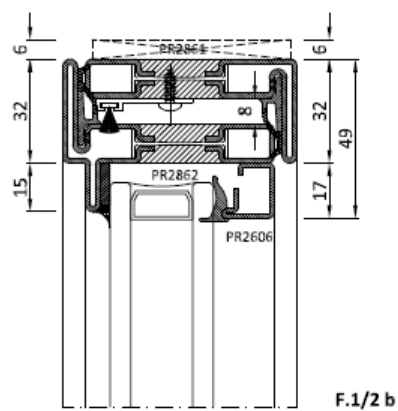
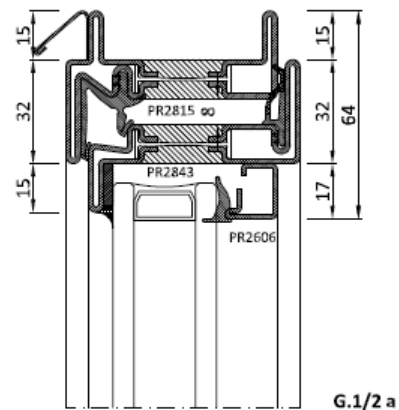
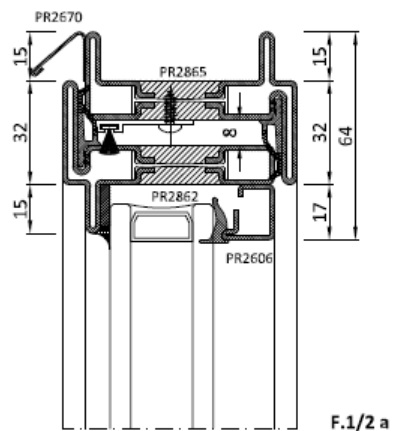
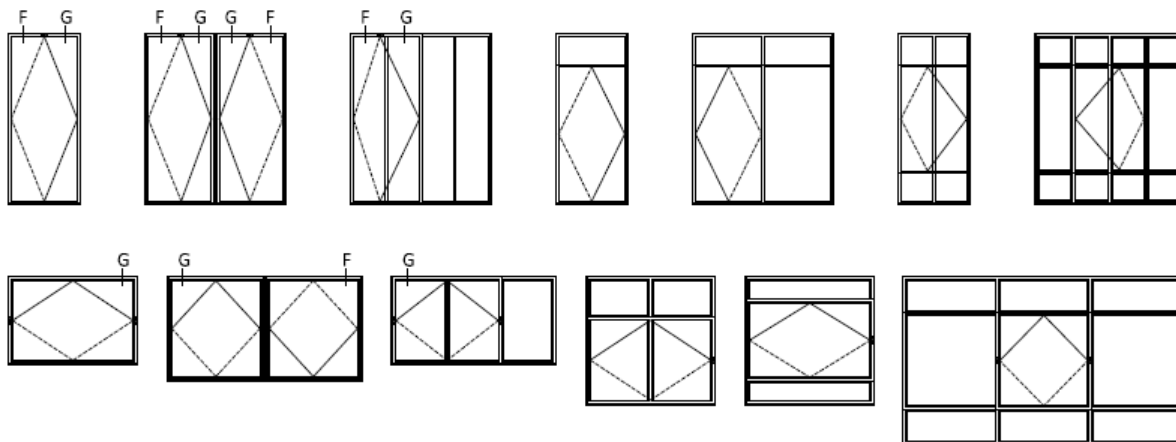
Proposed windows are a mixture of fixed and horizontal pivot. There are outward-swinging double patio doors from the Sun Room and a steel double-panel slider from the Dining Room.

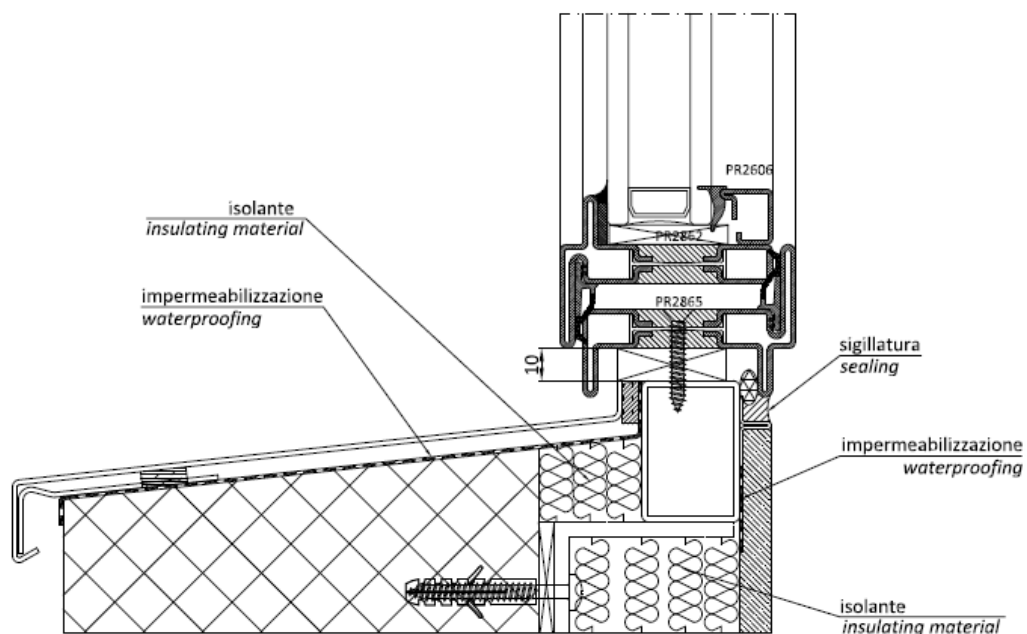
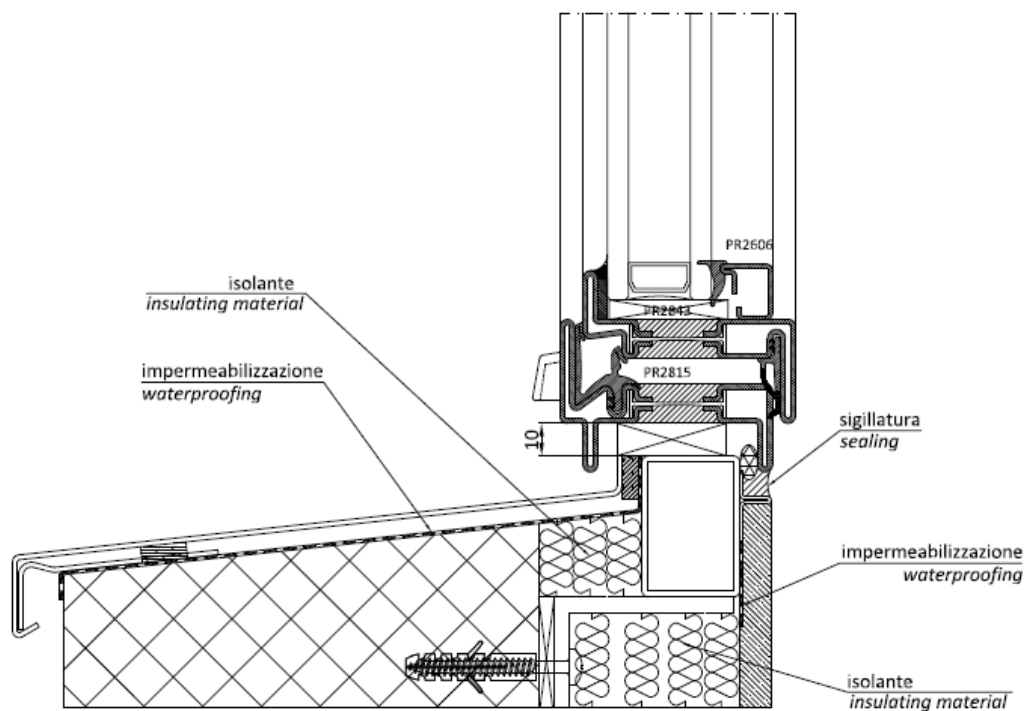
The following pages include profile section details and elevations from the manufacturer.

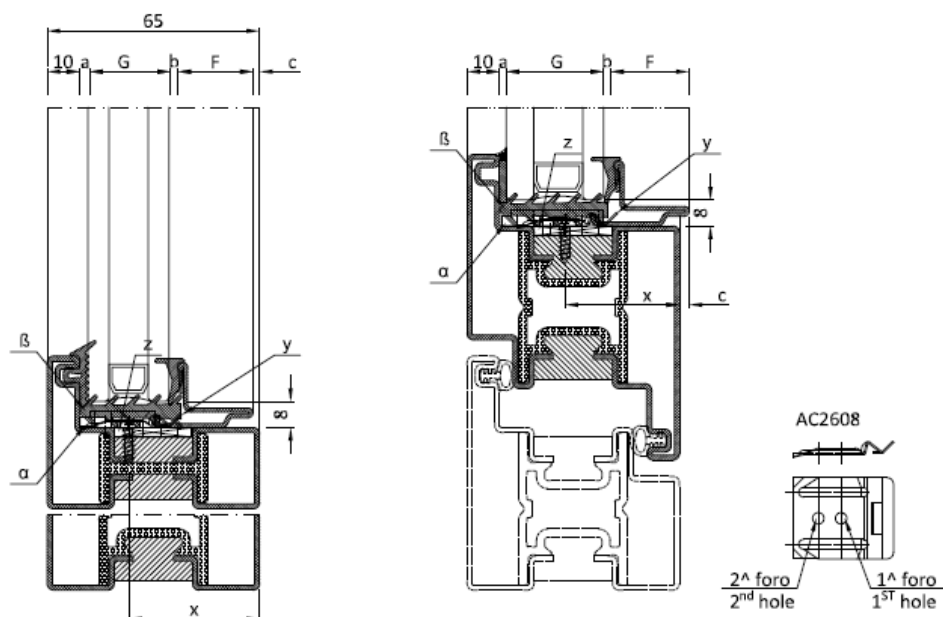
- Secco Sistemi OSC 65 Technical Catalogue: pg. 33, 34, 35, and 39
- Secco Sistemi OSC 65 Door Technical Catalogue: pg. 51, 63, 68, and 79











F		Guarnizioni - gaskets		G						
fermavetro glazing bead	range vetro glass range	GE1006 3 mm	GP0095 3 mm	spessore vetro glass thickness	asse fissaggio viti fermavetro securing axis for screws for the glazing beads	rientro fermavetro glazing beads gap	clips fissaggio fermavetro securing clips for glazing beads	spessore di compensazione * Shim *	spessore per vetro glass shim	guarnizione sotto vetro under glass gasket
Code		a	b	mm.	x	c	y	z	α	β
 P.2038	24 30	3	3	24	40**	2	AC2608	3 mm.	AC1020R	GE1007TT
				26	38**	0				
				28	36**	-2				
				30	34**	-4				

F		Guarnizioni - gaskets		G						
fermavetro glazing bead	range vetro glass range	GU2035 2 mm + sigillatura + sealing	GP0095 3 mm	spessore vetro glass thickness	asse fissaggio viti fermavetro securing axis for screws for the glazing beads	rientro fermavetro glazing beads gap	clips fissaggio fermavetro securing clips for glazing beads	spessore di compensazione * Shim *	spessore per vetro glass shim	guarnizione sotto vetro under glass gasket
Code		a	b	mm.	x	c	y	z	α	β
 P.2038	25 31	2	3	25	40**	2	AC2608	3 mm.	AC1020R	GE1007TT
				27	38**	0				
				29	36**	-2				
				31	34**	-4				

*non fornito

*not included

Taglio a 45° dei fermavetri effettuabile utilizzando la ganascia AT2038
45° cutting of the glazing beads done using the cutting jaw AT2038

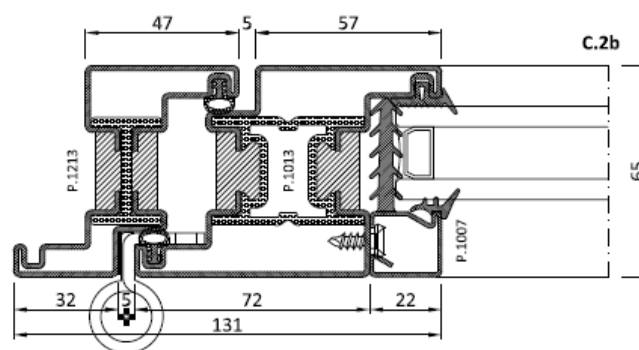
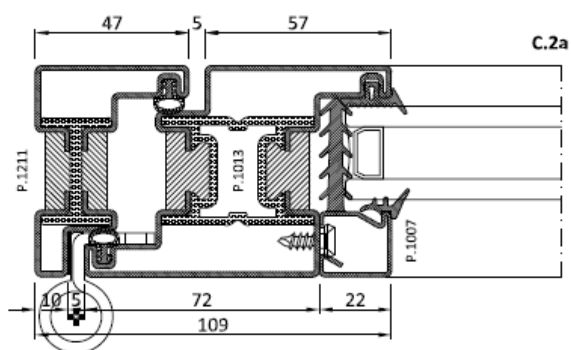
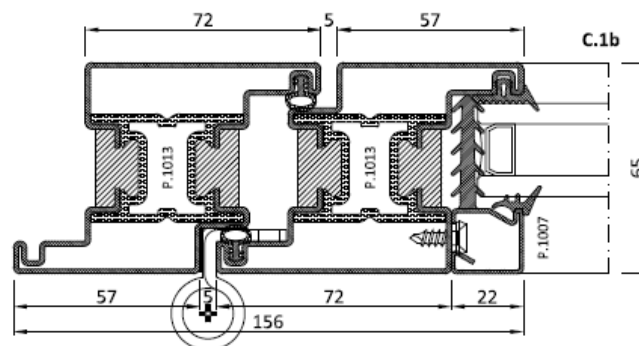
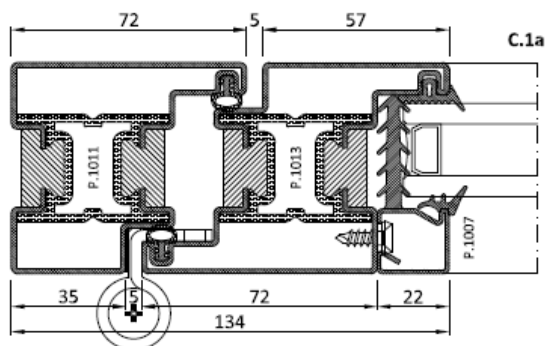
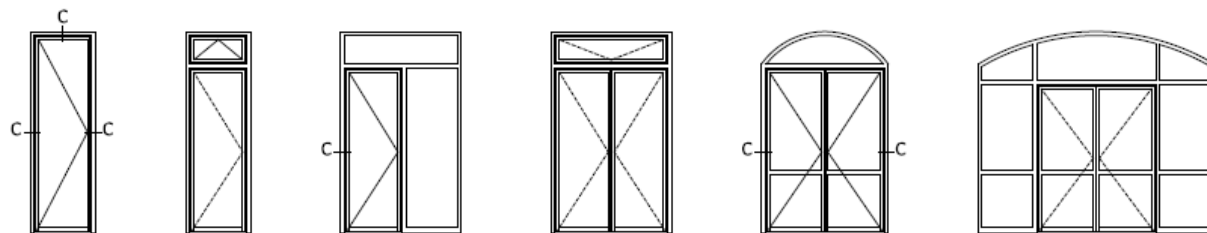
** fissare tramite il primo foro della clip

** screw in the upper hole of the clip

EBE 65

Secco Sistemi OSC 65 Door Technical Catalogue - pg. 63

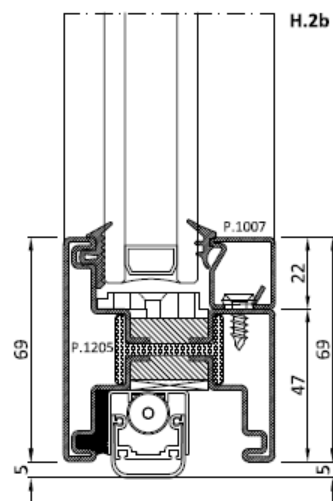
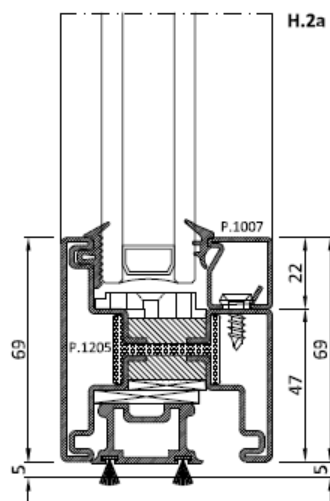
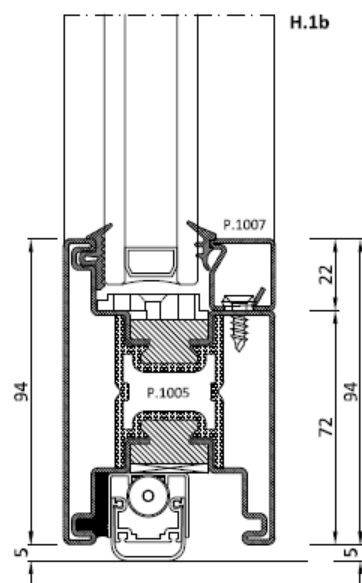
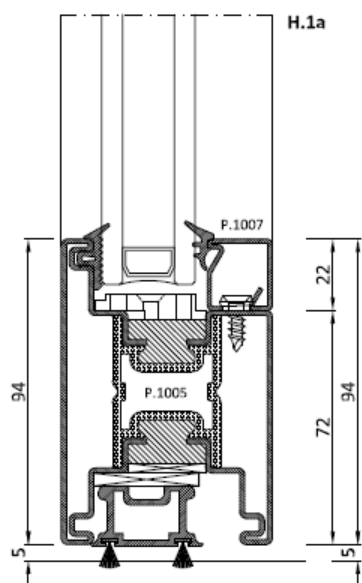
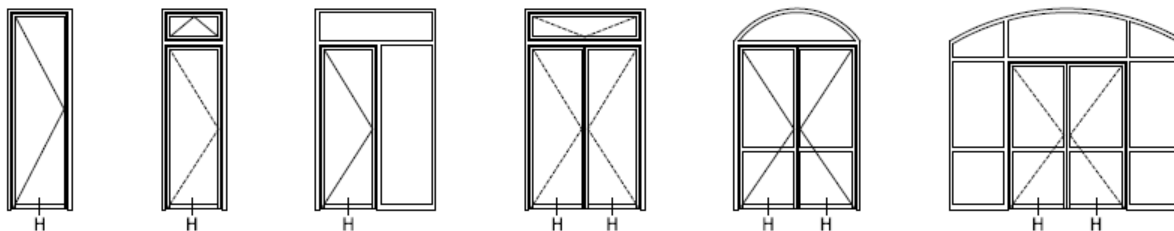
Sezioni porte
Doors sections



EBE 65

Secco Sistemi OSC 65 Door Technical Catalogue - pg. 68

Sezioni porte
Doors sections

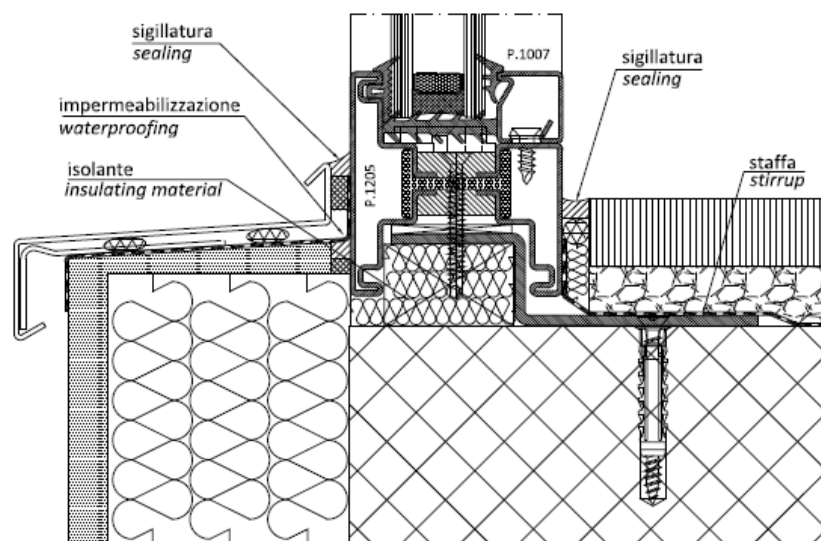
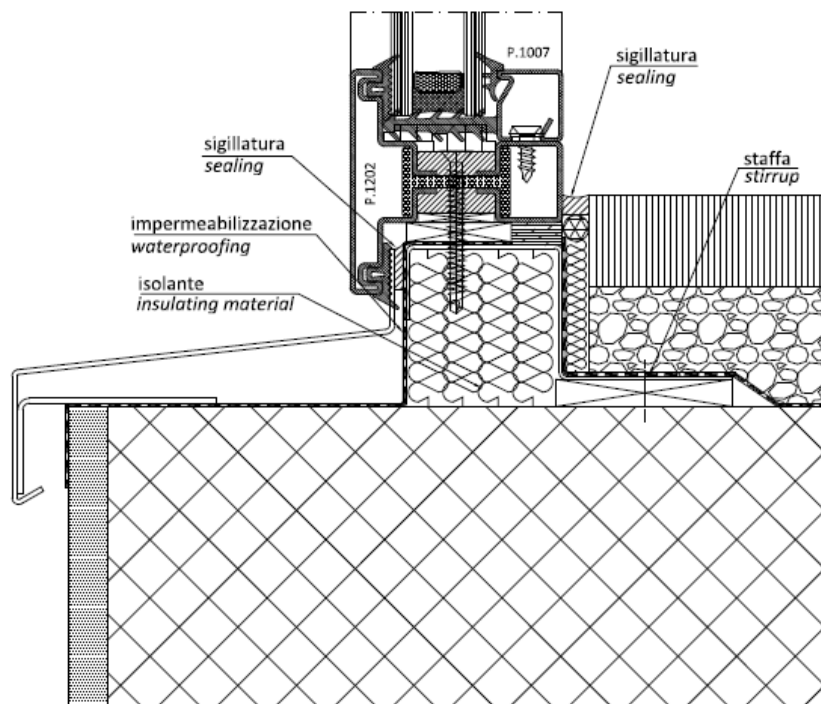


Sezioni zoccolo su apribile
Bottom frame sections on openable element

06/2016

3.1.8


49/55




Neighborhood Precedents

STEEL WINDOWS	611 Polk St.	1897; 1977 rear addition (1980s per Oakwood History Overlay District Report) has large steel window - approved by COA
		

WATER FEATURE	609 Polk St.	1897; pergola & patio & water feature appear to have been done after 2018
		

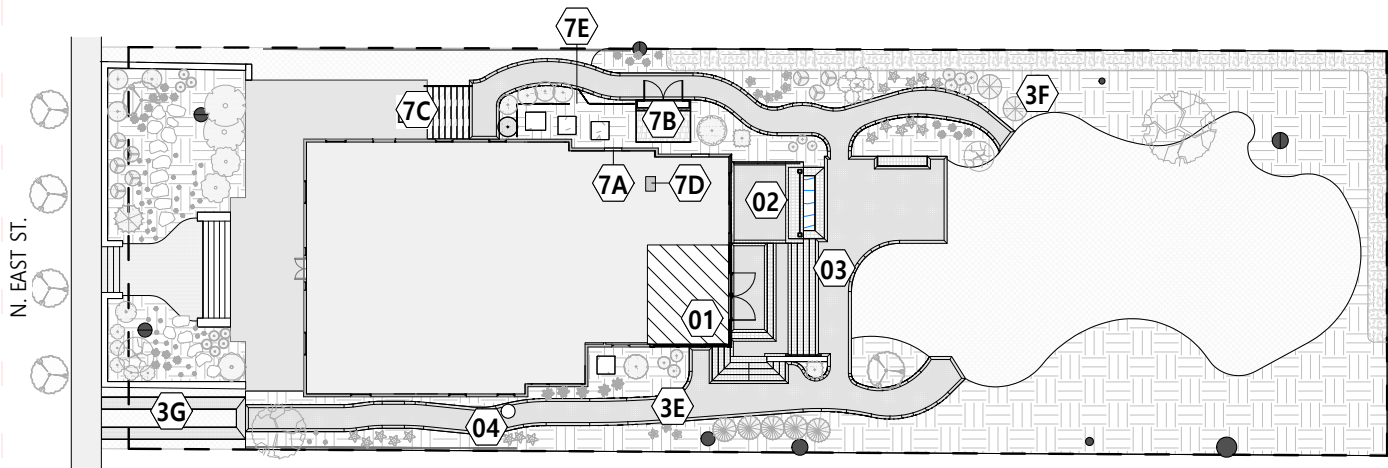
LARGE WINDOWS	412 N East ST	1888; large windows at rear courtyard - this room was probably added in the late 1970s or 80s
		

LARGE WINDOWS	426 E Jones St	1906; many large windows at rear of house (corner lot so visible from street); second story at rear (with sunroom & windows) probably done in 1935
		

FENCE HEIGHT	123 N Bloodworth St.	1877; very tall brick wall; 7ft. at corner at 9ft. at side
-------------------------	----------------------	--

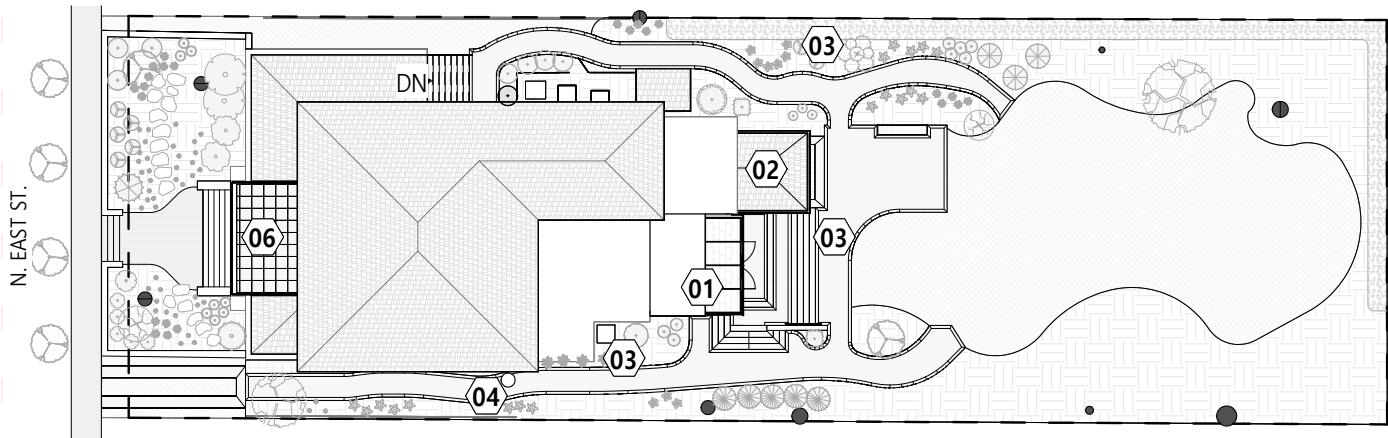


FENCE HEIGHT	426 E Jones St	1906; tall wood fence with horizontal members ; the gate is tall but probably doesn't count; the fence is 5'-8"
		



KEY PLAN - FIRST FLOOR

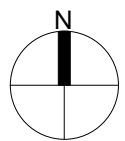
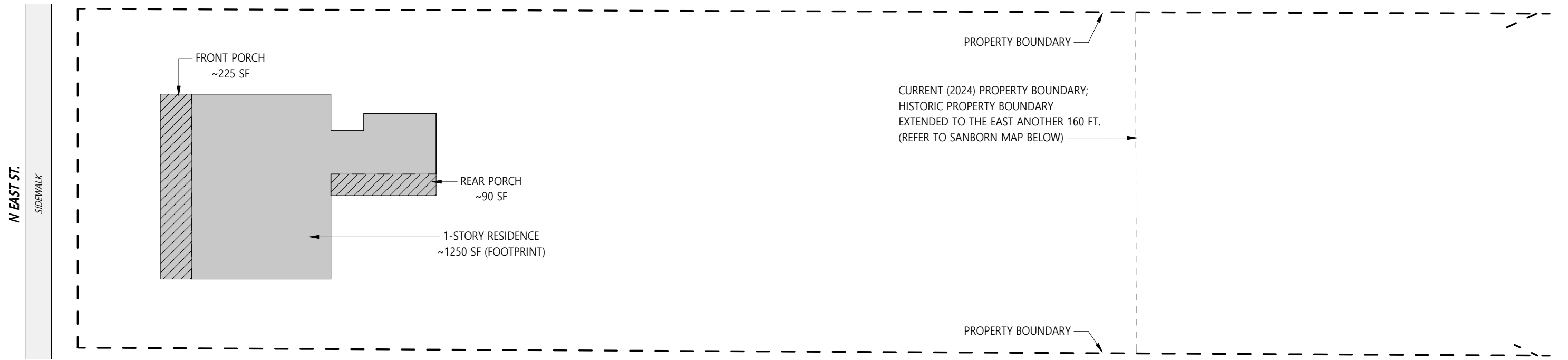
1/32" = 1'-0"



KEY PLAN - SECOND FLOOR

1/32" = 1'-0"

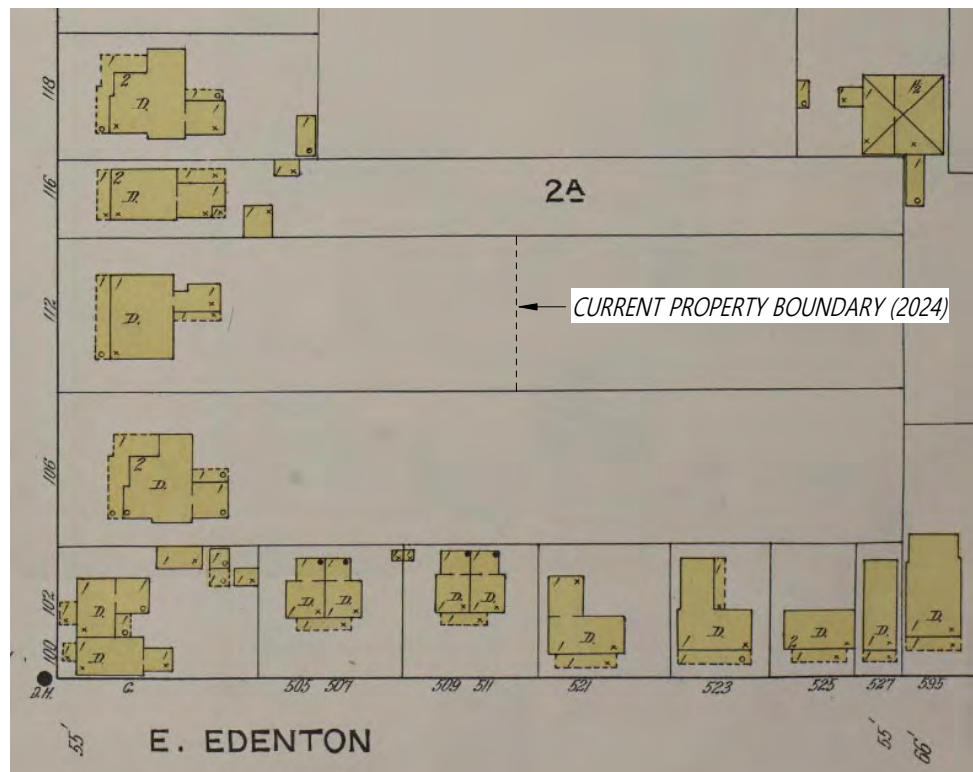
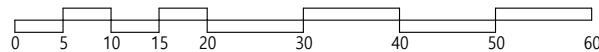
HEX NOTE LEGEND + COMMENTS		
#	Description	Comments
01	2-STORY SCREEN PORCH RENOVATION	
1A	FIBER CEMENT BOARD PANELS	Exterior cladding of reconstructed 2-story sunroom and studio will be fiber cement board paneling with raised panel details; Refer to A-00# for panel details; Refer to paint schedule for color selection
1B	STEEL DOORS	Double outward-opening steel doors with horizontal muntins (8'-0"wide X 9'-6"high); Refer to Spec 1B for details on steel door; Refer to paint schedule for color selection
1C	STEEL WINDOWS	Floor to ceiling painted steel windows with horizontal muntins; Refer to Spec 1B for details on steel window system; Refer to paint schedule for color selection
1D	STEEL SKYLIGHT	2nd floor painted steel sloped skylight with horizontal muntins (match windows)
1E	2ND FLOOR STUDIO OVERHANG	2nd floor studio will overhang the East wall of the 1st floor sunroom below by 2ft.
1F	ROOF DETAILING	Roof detailing (fascia, gutters, and downspouts) to match existing low-slope membrane roofs
1G	VERTICAL BREAK LINE	Vertical break line between new construction and existing created with a vertical 1x6 trim board painted in a coordinated color
02	COVERED DECK	
2A	SLIDING DOOR	Remove bay window and portion of East wall in the kitchen/dining room; Install aluminum-clad wood double panel sliding door from kitchen/dining room to covered deck
2B	TIERED DECK	Construct a multi-level tiered tile deck that creates a smooth transition between the interior living spaces with the ground-level patio. All terracotta tile including the pathways will be set on a concrete base and sealed to protect the tile Construct a multi-level tiered tile deck that creates a smooth transition between the interior living spaces with the ground-level patio. All terracotta tile including the pathways will be set on a concrete base and sealed to protect the tile
2C	BUILT-IN BENCH	Built in-bench in terracotta tile to match deck; will serve as seating for the dining area under the covered roof
2D	COVERED DECK ROOF	Deck roof detailing (asphalt shingles, fascia, millwork details, gutters) will match the front porch
2F	DECK ROOF COLUMNS + BEAMS	Square painted white wood 6X6 columns and painted wood beams
2G	INFILL TO MATCH EXISTING	In-fill exterior wall where necessary with painted wood lap-siding to match existing
2H	DECK CEILING FAN	Refer to Spec 2H
2I	DECK WALL SCONCES	Refer to Spec 2I
03	PATIO & LANDSCAPING	
3A	PATIO	Construct a ground-level patio with terracotta field tile and decorative border. Terracotta tile will be set on a concrete base and sealed.
3B	SITE WALLS	REMOVED FROM PROJECT (10/25/24)
3D	WATER FEATURE	Custom built waterfall-type fountain built-in to the covered deck bench. The water falls 2'9" into a collection pool with a wide wall for seating
3E	PATHWAYS	Terracotta tile pathways connect the front of the property to the back and provide easier access for maintenance equipment.
3F	LANDSCAPE PLAN	Refer to A-010 and A-011
3G	DRIVEWAY	2ft brick runners with standard running bond brick pavers; compacted gravel between runners
3H	---	
04	MATURE TREE REMOVAL	INSTEAD OF REMOVAL, REPLACE WITH SIMILAR MATURE TREE IN BACKYARD (10/25/24)
05	WOOD PRIVACY FENCE	REMOVED FROM PROJECT (10/25/24)
06	2ND FLOOR BALCONY	
6A	BALCONY - FLOORING	Convert central flat portion of 1st floor porch roof into a balcony with terracotta pavers to match backyard deck/patio/pathways
6B	BALCONY - STEEL RAILINGS	Install steel railings to match steel fence design (COA-0045-2024); painted white instead of black
07	MISCELLANEOUS	
7A	REMOVE DOUBLE HUNG WINDOWS	Infill window openings with painted wood lap-siding to match existing cladding
7B	BIKE SHED	Build a custom wood-framed 6' x 9' bike shed; siding and roofing to match house
7C	FRONT PORCH SIDE STEPS	Extend the steps to the full width of the porch and change to a 6" riser and 12" tread. Wood treads will not be painted. Painted steel handrail will match style and layout of approved steel fence
7D	REMOVE UTILITY CHIMNEY	Remove this30"x18" chimney to allow for a more flexible interior layout for the kitchen renovation
7E	EQUIPMENT SCREENING	Wood fence screening; refer to A-031



1
.A-001

BUILT MASS DIAGRAM - HISTORIC (SANBORN 1914)

1" = 20'-0"



SANBORN FIRE MAP - 1914

NOTES:

TOTAL BUILT AREA = APPROXIMATELY 1565 SF || LOT SIZE = APPROXIMATELY .57 ACRES

1914: 1-story residence (approx. 1300 SF footprint)

1916: Existing residence demolished and new 2-story residence built for Samuel Glass

Sanborn Fire Maps show that the original plot was larger and the east property boundary extended past the current boundary by approximately 160 ft.

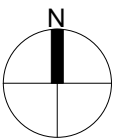
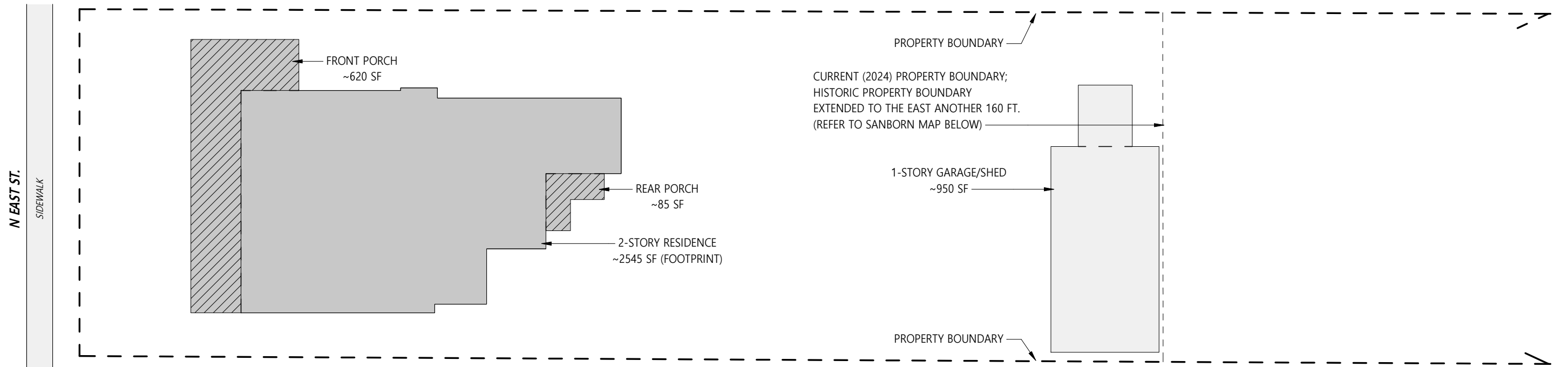
.A-001

Project No.: 2305
Date: 12/16/24
Scale: 1" = 20'-0"

BUILT MASS DIAGRAM - HISTORIC (1914)

KHERA-MCRACKAN
112 N East St.

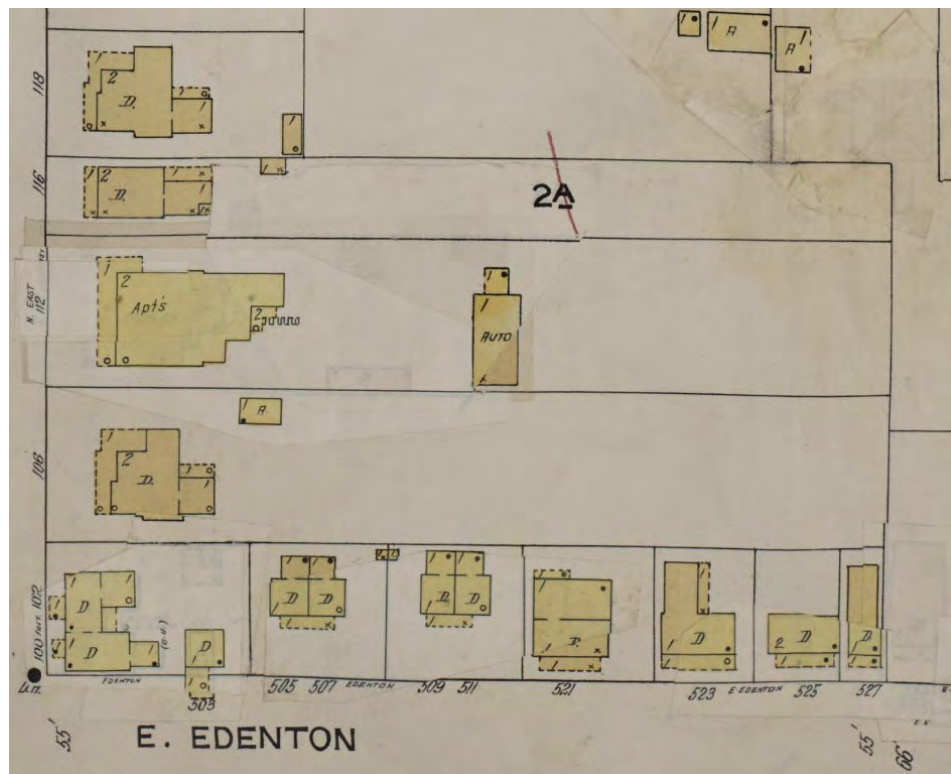
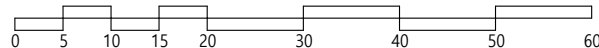
LOUIS CHERRY
ARCHITECTURE



1
.A-002

BUILT MASS DIAGRAM - HISTORIC (SANBORN 1950)

1" = 20'-0"



SANBORN FIRE MAP - 1950

NOTES:

TOTAL BUILT AREA = APPROXIMATELY 4200 SF || LOT SIZE = APPROXIMATELY .57 ACRES

1916: Existing residence demolished and new 2-story residence built for Samuel Glass

- Colonial Revival style
- Included garage/shop at back of property

1927: Additional rooms built in 1927 resulting in a 16-room home at 5200 SF

- According to written history by Jean Pauwels

1927 - 1949: Further additions made to the home and converted to 6 apts

*It is difficult to determine the exact Built Mass Area for the period of significance (pre-1940) from the available records of the property. According to the Oakwood Inventory, "additions were made to the rear between 1927 and 1949, when the house was converted into 6 apts. In 1949, the house is still listed under "Saml Glass" in the RCD. It is not listed as "main two story section plus substantial two-story additions on rear, tiny open porch on rear, slate roof, "apts."" until 1950.

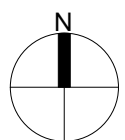
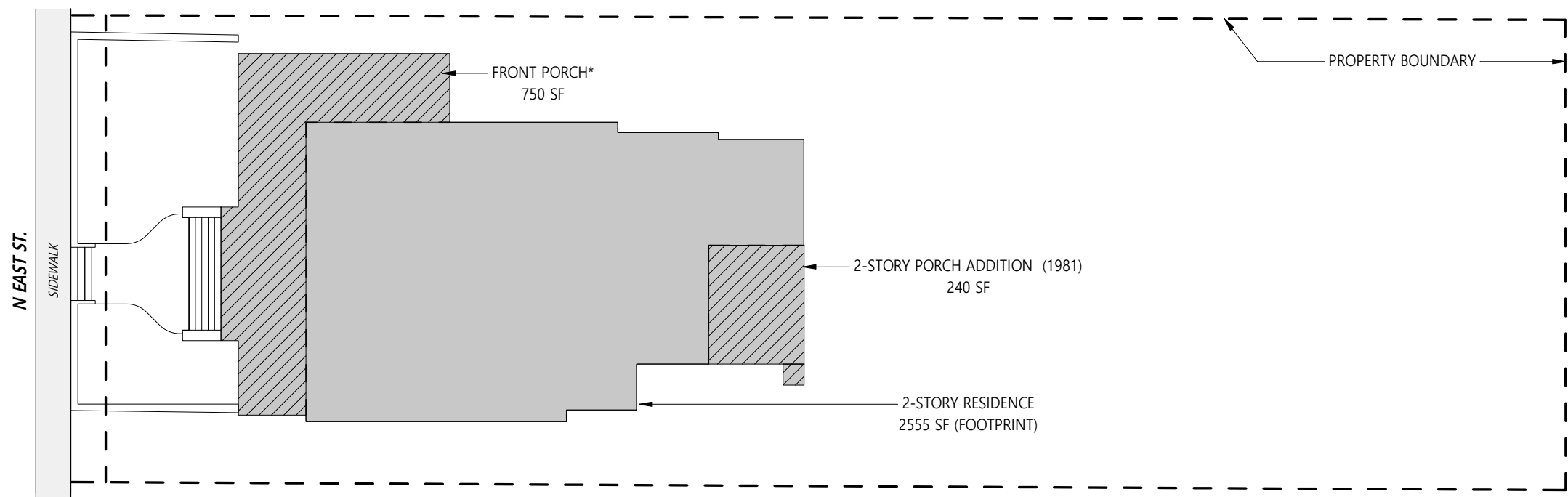
.A-002

Project No.: 2305
Date: 12/16/24
Scale: 1" = 20'-0"

BUILT MASS DIAGRAM - HISTORIC (1950)

KHERA-MCRACKAN
112 N East St.

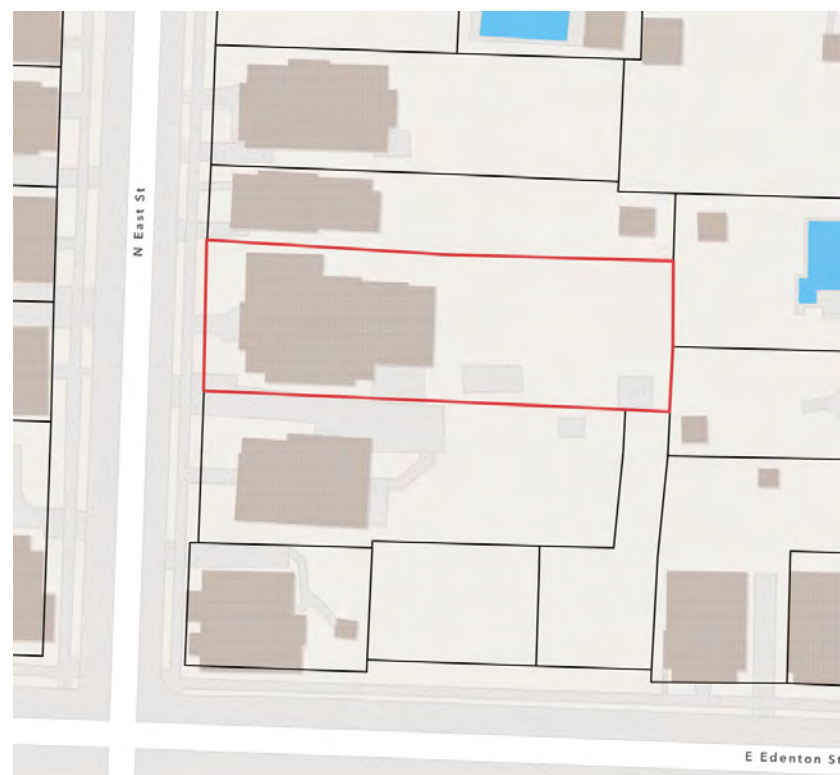
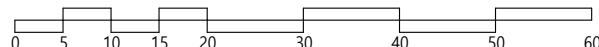
LOUIS CHERRY
ARCHITECTURE



1
.A-003

BUILT MASS DIAGRAM - EXISTING (2024)

1" = 20'-0"



WAKE COUNTY GIS - SCREEN CAP OF 112 N. EAST ST (OUTLINED IN RED)

NOTES:

TOTAL BUILT AREA = 3545 SF || LOT SIZE = .32 ACRES

1978: Converted back to a single-family residence

1981: Two-story screen-in porch added (refer to COA application)

At some point, the exterior stair to the 2nd floor of rear porch addition was removed but the small balcony was kept

1987: Records indicate that the front porch roof was a balcony with wooden railings

Uncertain if the balcony and french doors were original to the home or a later addition

2013: Brick retaining wall built in front yard

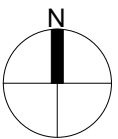
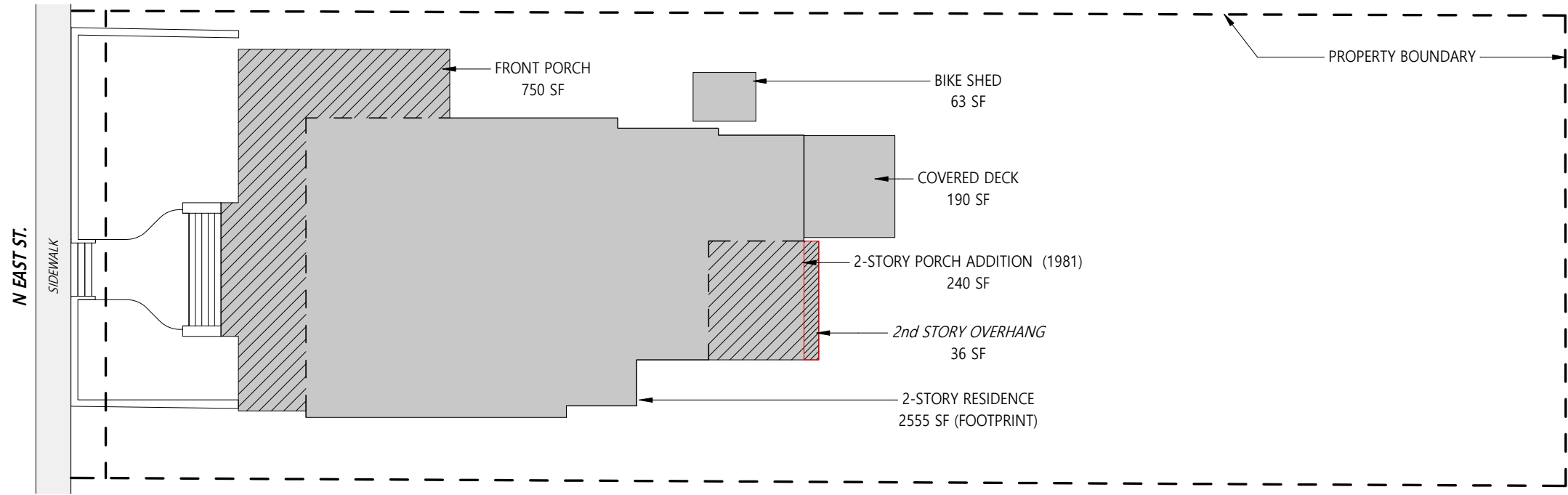
.A-003

Project No.: 2305
Date: 12/16/24
Scale: 1" = 20'-0"

BUILT MASS DIAGRAM - EXISTING

KHERA-MCRACKAN
112 N East St.

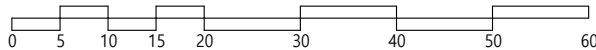
LOUIS CHERRY
ARCHITECTURE



1
.A-004

BUILT MASS DIAGRAM - PROPOSED

1" = 20'-0"



NOTES:

TOTAL BUILT AREA = 3754 SF || LOT SIZE = .32 ACRES

- [1E] 2ND FLOOR STUDIO OVERHANG: 2nd floor office/studio room floor will be extended to overhang the East wall of the 1st floor sunroom below by 2ft.
- [02] COVERED DECK
- [7B] BIKE SHED

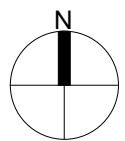
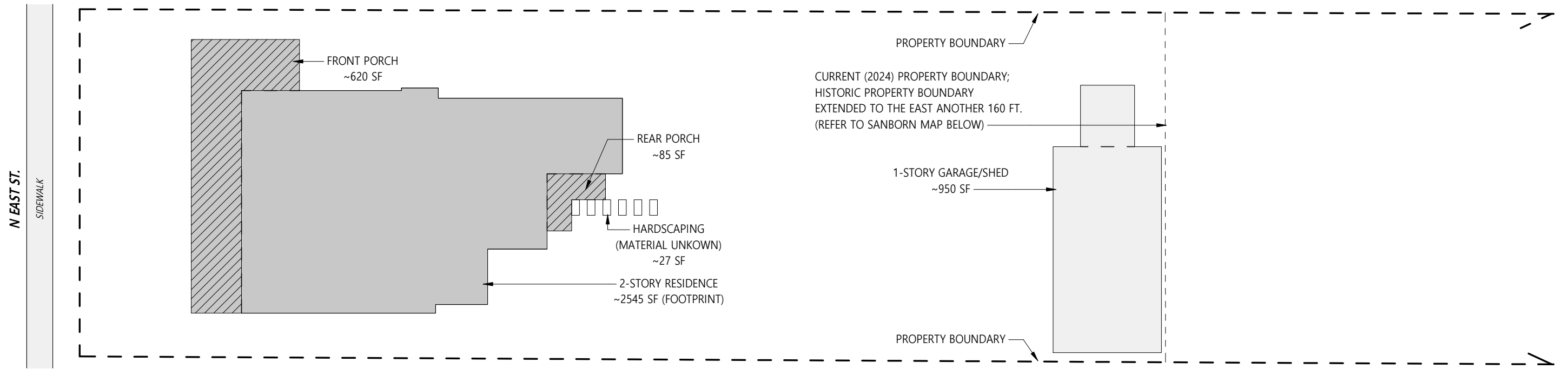
.A-004

Project No.: 2305
Date: 12/16/24
Scale: 1" = 20'-0"

BUILT MASS DIAGRAM - PROPOSED

KHERA-MCRACKAN
112 N East St.

LOUIS CHERRY
ARCHITECTURE



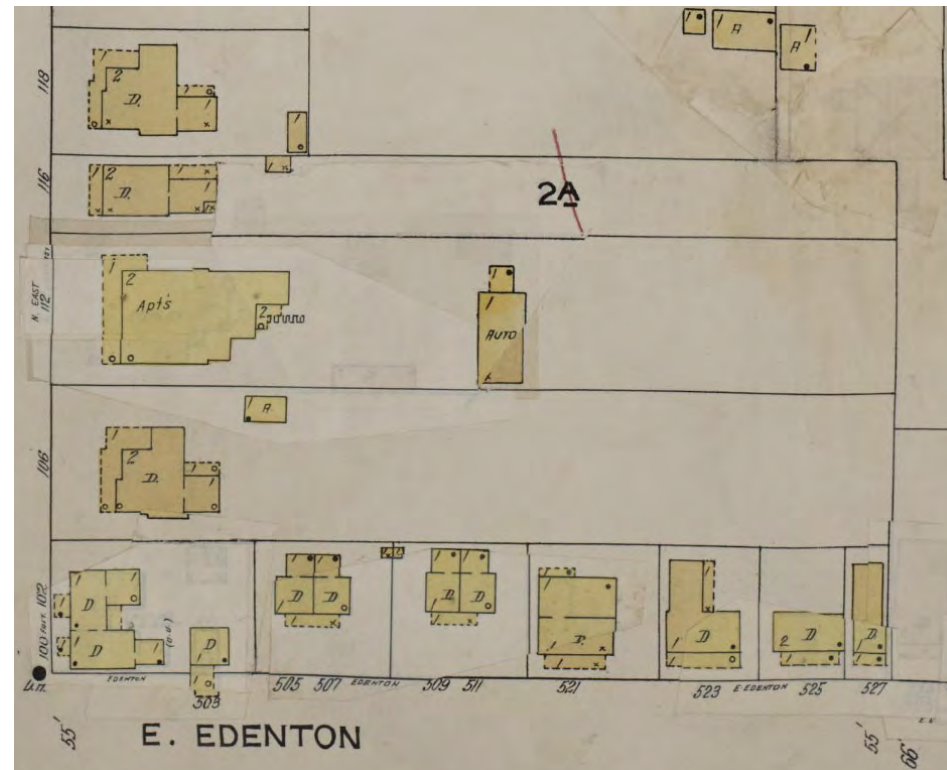
1
.A-005

BUILT AREA DIAGRAM - HISTORIC (SANBORN 1950)

1" = 20'-0"
0 5 10 15 20 30 40 50 60

BUILT AREA - HISTORIC

2545 SF	2-STORY RESIDENCE (FOOTPRINT)
620 SF	FRONT PORCH
85 SF	REAR PORCH
950 SF	1-STORY GARAGE/SHED
27 SF	HARDCAPING (MATERIAL UNKOWN)
4,277 SF	TOTAL IMPERVIOUS SURFACE AREA



SANBORN FIRE MAP - 1950

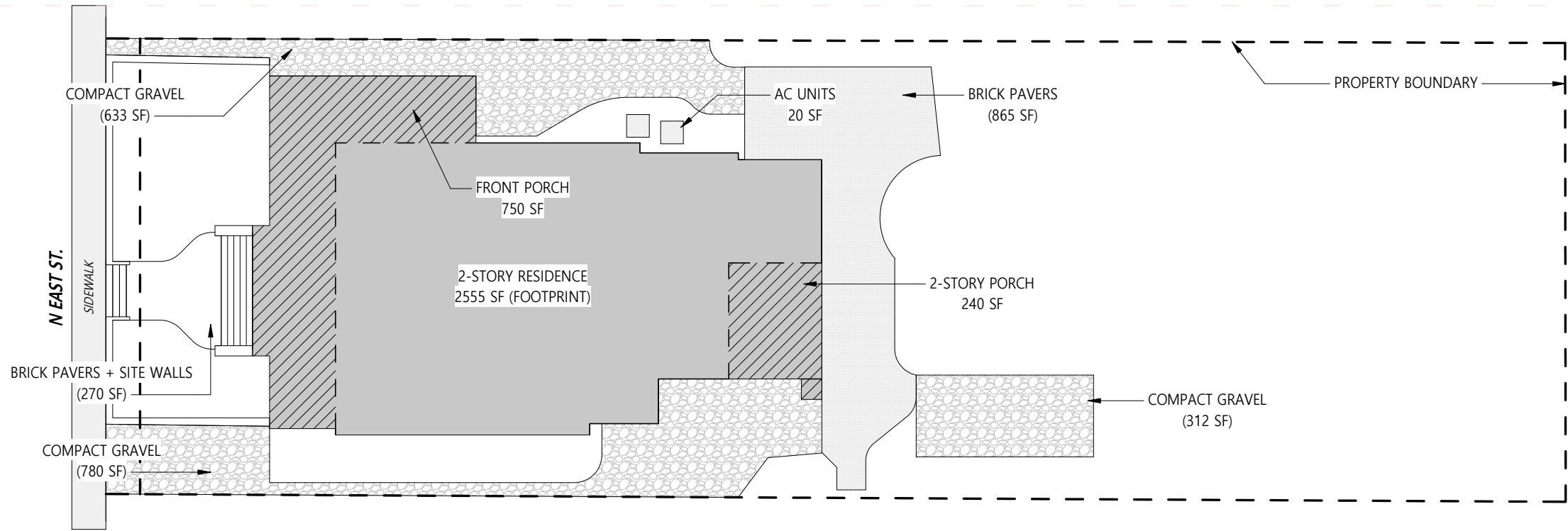
.A-005

Project No.: 2305
Date: 12/16/24
Scale: 1" = 20'-0"

BUILT AREA DIAGRAM - HISTORIC (1950)

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112 N East St.

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ARCHITECTURE



N

1

.A-006

BUILT AREA DIAGRAM - EXISTING

1" = 20'-0"

0

5

10

15

20

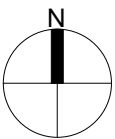
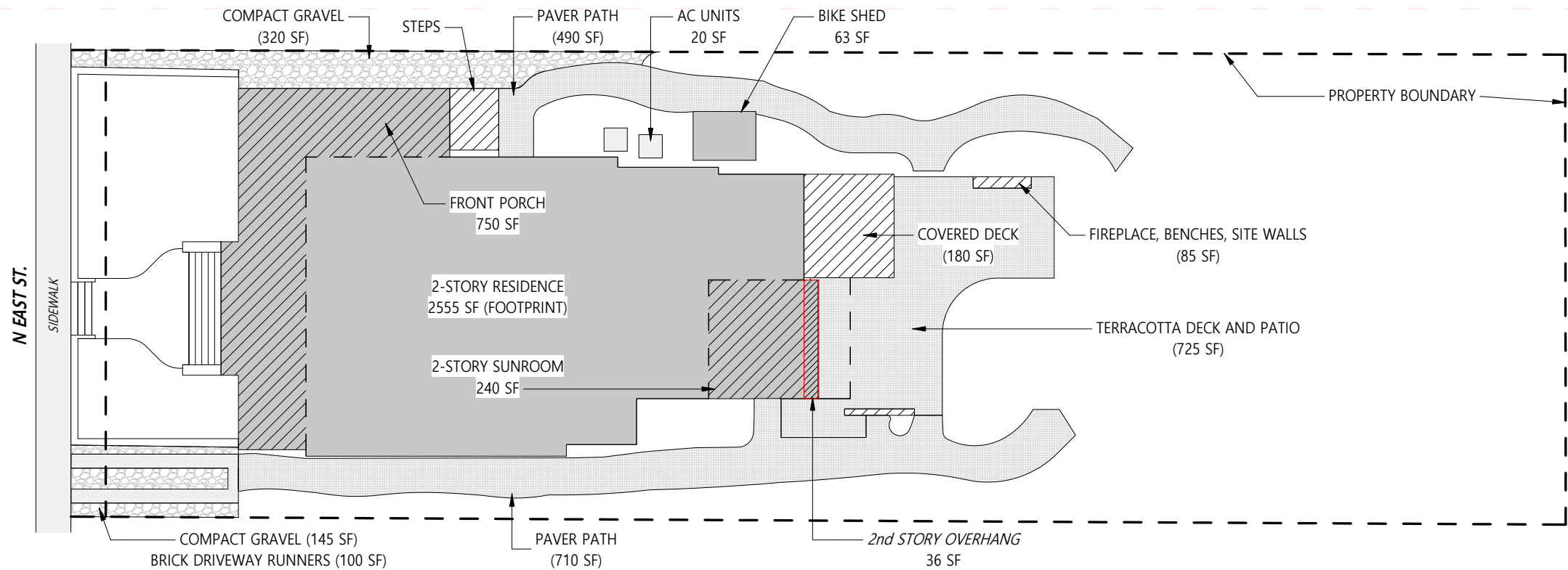
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40

50

60

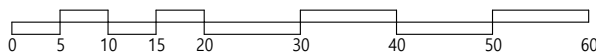
BUILT AREA - EXISTING	
2555 SF	2-STORY RESIDENCE (FOOTPRINT)
750 SF	FRONT PORCH
240 SF	2-STORY REAR PORCH
1725 SF	COMPACTED GRAVEL
1135 SF	BRICK PAVERS + SITE WALLS
20 SF	HVAC EQUIPMENT
6425 SF	TOTAL IMPERVIOUS SURFACE AREA



1
.A-007

BUILT AREA DIAGRAM - PROPOSED

1" = 20'-0"



BUILT AREA - PROPOSED

3545 SF	2-STORY RESIDENCE + PORCHES
36 SF	2ND STORY OVERHANG
180 SF	COVERED DECK
465 SF	COMPACT GRAVEL
100 SF	BRICK DRIVEWAY RUNNERS
1200 SF	PAVER PATHS
725 SF	TERRACOTTA DECK AND PATIO
22 SF	BENCHES + SITE WALLS
20 SF	HVAC EQUIPMENT
63 SF	BIKE SHED
6356 SF	TOTAL IMPERVIOUS SURFACE AREA

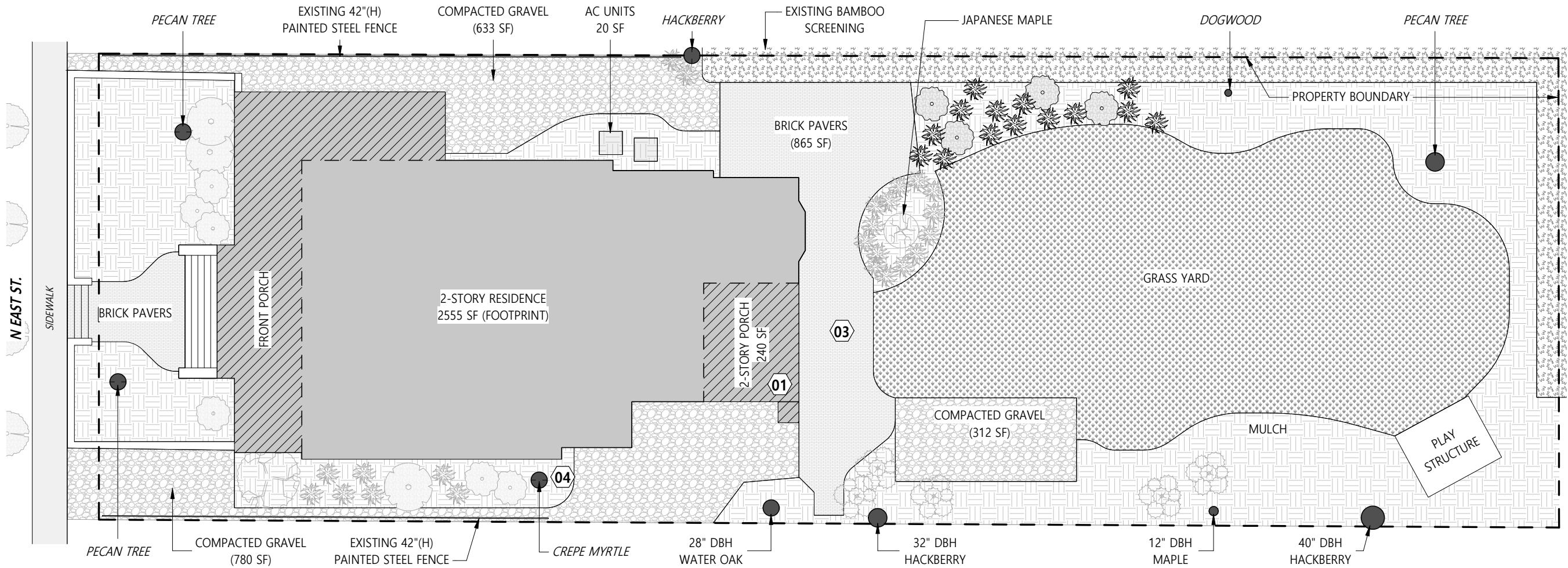
.A-007

Project No.: 2305
Date: 12/16/24
Scale: 1" = 20'-0"

BUILT AREA DIAGRAM - PROPOSED

KHERA-MCRACKAN
112 N East St.

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ARCHITECTURE



N

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.A-008

SITE PLAN - EXISTING

1/16" = 1'-0"

0

4

8

12

16

24

32

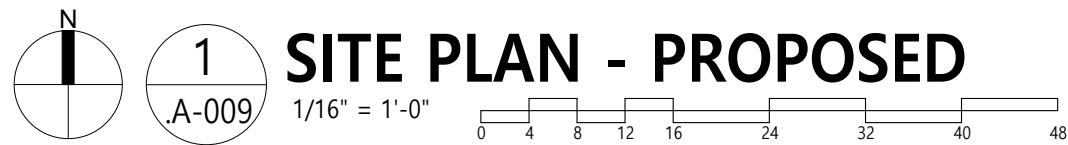
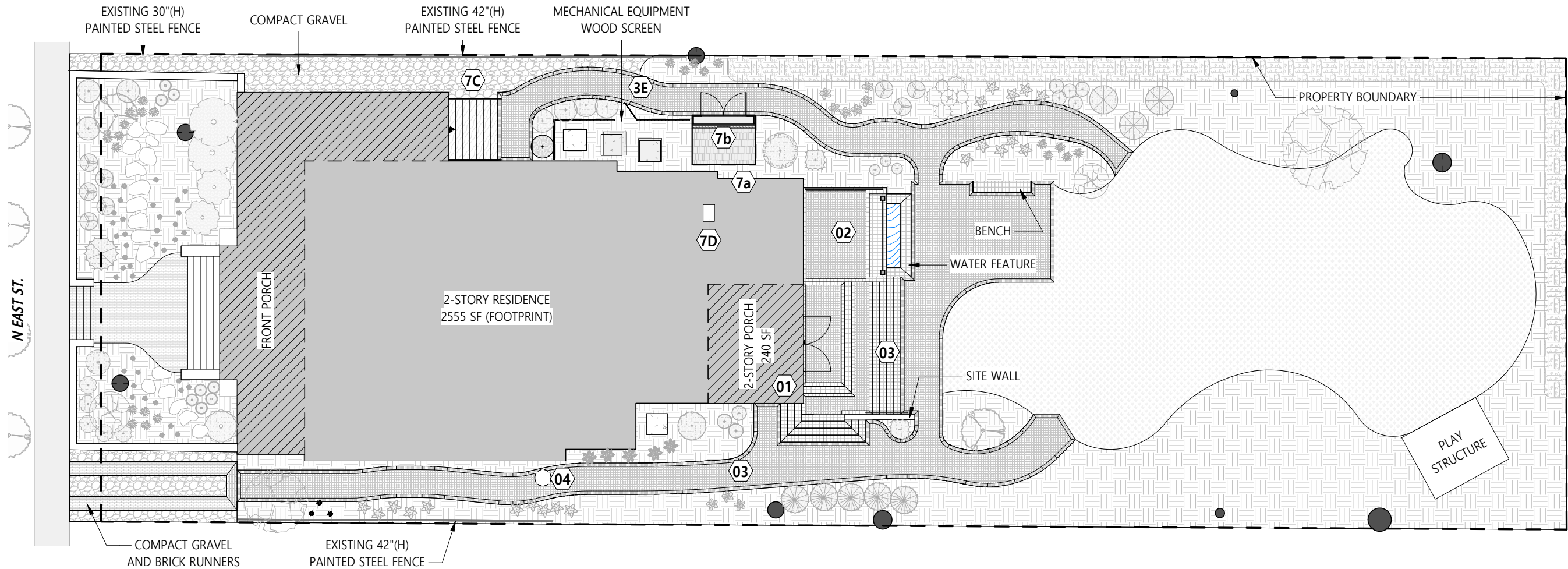
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48

HEX NOTE LEGEND (COA)	
#	Description
01	2-STORY SCREEN PORCH RENOVATION
03	PATIO & LANDSCAPING
04	MATURE TREE REMOVAL

NOTES:

- [01] **2-story Screen Porch Renovation:** Demolish most of existing screened porch structure
- [02] **Patio & Landscaping:** Demolish all of existing brick paver and gravel patios and pathways
- [04] **Mature Tree Removal:** Remove a mature crepe myrtle tree in the South side property setback that impedes access to the backyard.



SITE PLAN - PROPOSED

HEX NOTE LEGEND (COA)	
#	Description
01	2-STORY SCREEN PORCH RENOVATION
02	COVERED DECK
03	PATIO & LANDSCAPING
3E	PATHWAYS
04	MATURE TREE REMOVAL
7C	FRONT PORCH SIDE STEPS
7D	REMOVE UTILITY CHIMNEY

NOTES:

[02] Covered Back Deck: Construction of a tiered deck with terracotta pavers aligned to the first floor level; Asphalt-shingle porch roof covers a portion of deck outside of the kitchen/dining room with a built-in bench; Replace bay window with double-panel sliding door to access deck from dining room.

[03] Patio + Landscaping: Expansion of existing hardscaping in back yard to create a patio for outdoor seating. The deck design incorporates a water feature and catch basin. The landscape plan includes terracotta paver paths in the side setbacks to create better access from front yard to backyard and new plantings.

[05] Privacy Fence: REMOVED FROM PROJECT

[7B] Bike Shed: Prefab or custom built 9ft. x 7ft. bike shed with wood siding, painted to match house

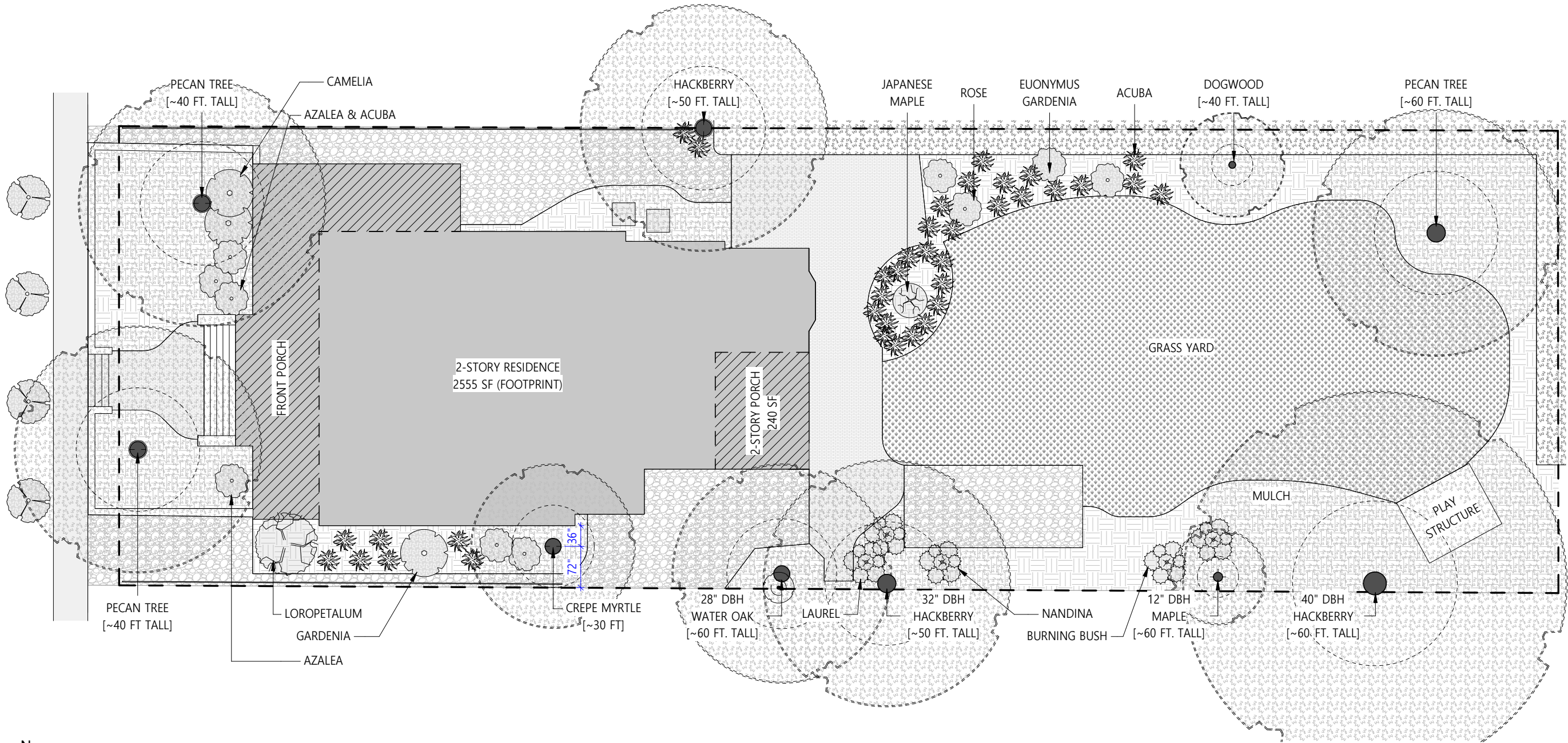
.A-009

Project No.: 2305
Date: 12/16/24
Scale: 1/16" = 1'-0"

SITE PLAN - PROPOSED

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112 N East St.

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ARCHITECTURE



1 A-010 **SITE PLAN - PLANTINGS - EXISTING** 1/16" = 1'-0" 0 4 8 12 16 24 32 40 48

[4] MATURE TREE REMOVAL: We propose the removal of a mature, healthy Crepe Myrtle tree within the property side setback, to be replaced with a similar mature tree in the back yard because the Crepe Myrtle in it's current location prevents access from the front driveway to the back yard (RHDC guideline 1.3.5)

MATURE TREE LIST + HEIGHTS:

FRONT YARD

- x2 PECAN TRESS, ~40 FT. TALL

BACK YARD - SOUTH SIDE

- **CREPE MYRTLE; ~30 FT. TALL**

- 28" DBH WATER OAK; ~60 FT. TALL

- 32" DBH HACKBERRY; ~50 FT. TALL

- 12" DBH MAPLE; ~60 FT. TALL

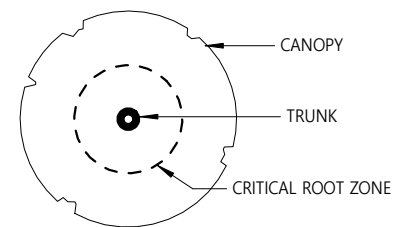
- 40" DBH HACKBERRY; ~60 FT. TALL

BACK YARD - NORTH SIDE

- HACKBERRY; ~50 FT. TALL

- DOGWOOD; ~40 FT. TALL

- PECAN TREE; ~60 FT. TALL



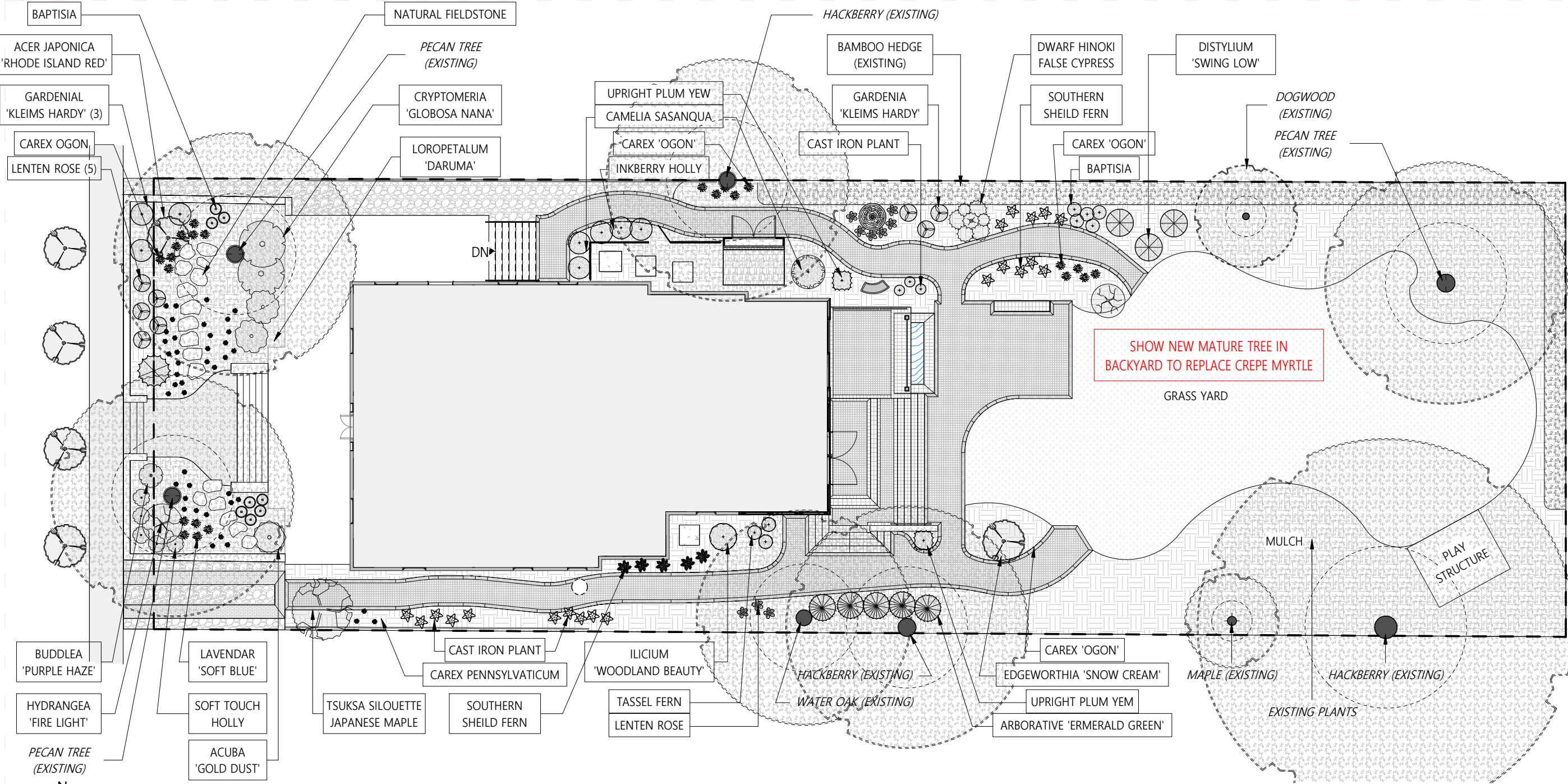
A-010

Project No.: 2305
Date: 12/16/24
Scale: As indicated

SITE PLAN - PLANTINGS - EXISTING

KHERA-MCRACKAN
112 N East St.

LOUIS CHERRY
ARCHITECTURE



1
A-011

SITE PLAN - PLANTINGS - PROPOSED

1/16" = 1'-0"

0 4 8 12 16 24 32 40 48

TREE PROTECTION PLAN NOTES:

- The trees to be protected from the front to back of property are as follows:
- Water Oak at right: DBH 28" – Immediate CRZ 8' from the base – Secondary CRZ 16' from the base
 - Hackberry at back right: approximate DBH 32" – Immediate CRZ 9' from the base – Secondary CRZ 18' from the base
 - Maple at back right: DBH 12" – Immediate CRZ 3' from the base – Secondary CRZ 7' from the base
 - Hackberry at back right: DBH 40" – Immediate CRZ 12' – Secondary CRZ 28' from the base

- To enhance the tree protection during construction, trees and their roots shall be protected by tree protection fence and mulch as follows:
- **Tree protection fence** shall be constructed with 4ft steel "t-posts" and 3ft orange safety fencing (as needed but not to interfere with the fencing project, causing further impact)
 - Trees in close proximity to construction will have **shredded mulch** installed within the tree protection area to reduce compaction to the root zones from equipment/access, etc
 - Sheets of ½ inch plywood may be used over mulch areas where there is construction traffic by necessity

The contractor(s) shall ensure no heavy equipment, no traffic, no storage of materials, or supplies, no port-a-potty(s) are used in mulched or tree fence protected areas. Materials are to be staged in open areas as outlined in the site plan.

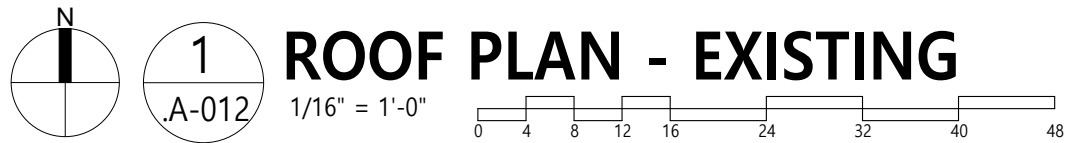
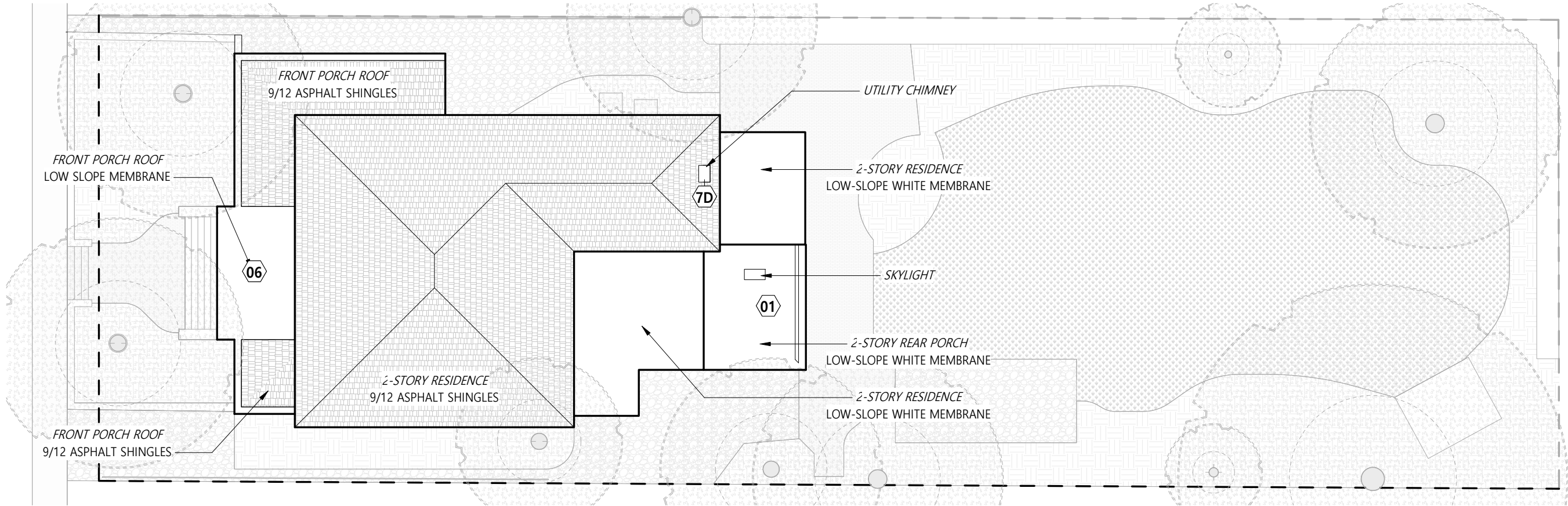
A-011

Project No.:	2305
Date:	12/16/24
Scale:	1/16" = 1'-0"

SITE PLAN - PLANTINGS - PROPOSED

KHERA-MCRACKAN
112 N East St.

LOUIS CHERRY
ARCHITECTURE



HEX NOTE LEGEND (COA)	
#	Description
01	2-STORY SCREEN PORCH RENOVATION
06	2ND FLOOR BALCONY
7D	REMOVE UTILITY CHIMNEY

NOTES:

[01] 2-Story Screened Porch Renovation:

- Remove existing low-slope membrane roof and skylight

[06] 2nd Floor Balcony: - Remove existing low-slope membrane and prep for new balcony flooring

[7d] Remove Utility Chimney:

- 30" x 18" utility chimney in the center of the kitchen, passes through a closet on the second floor and is not visible from the street and is not in use
- Remove this chimney to allow for a more flexible interior layout for the kitchen renovation

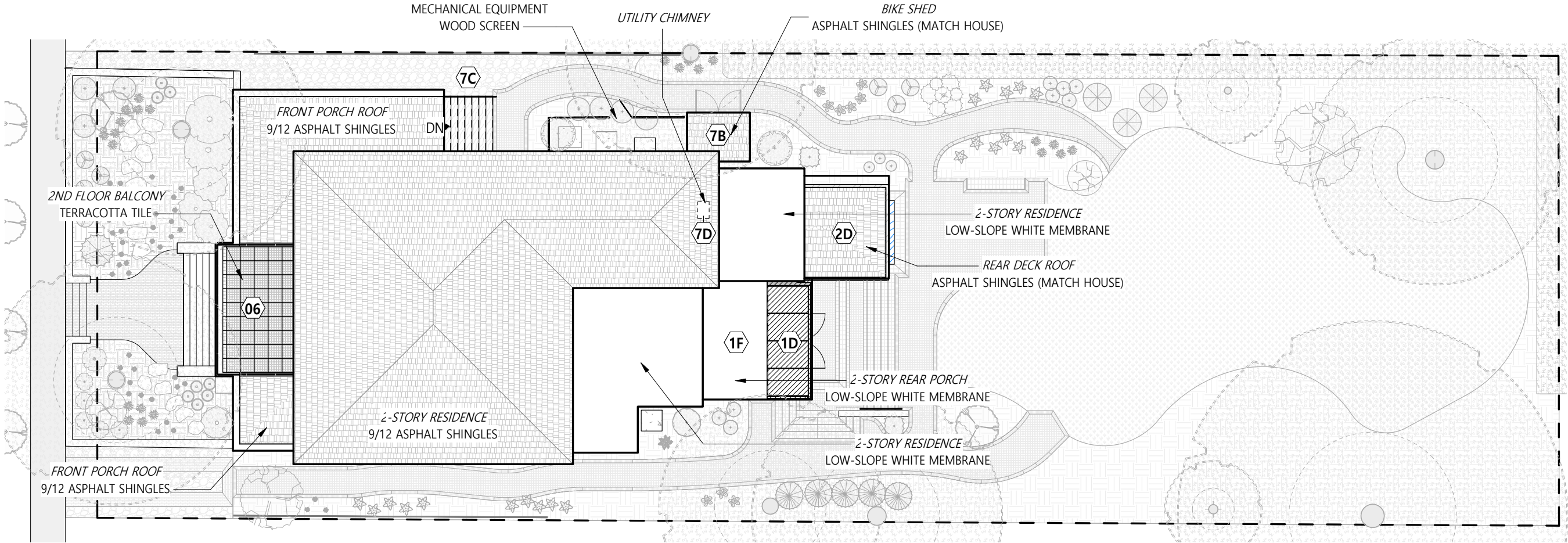
.A-012

Project No.: 2305
Date: 12/16/24
Scale: 1/16" = 1'-0"

ROOF PLAN - EXISTING

KHERA-MCRACKAN
112 N East St.

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ARCHITECTURE



1
A-013

1/16" = 1'-0"

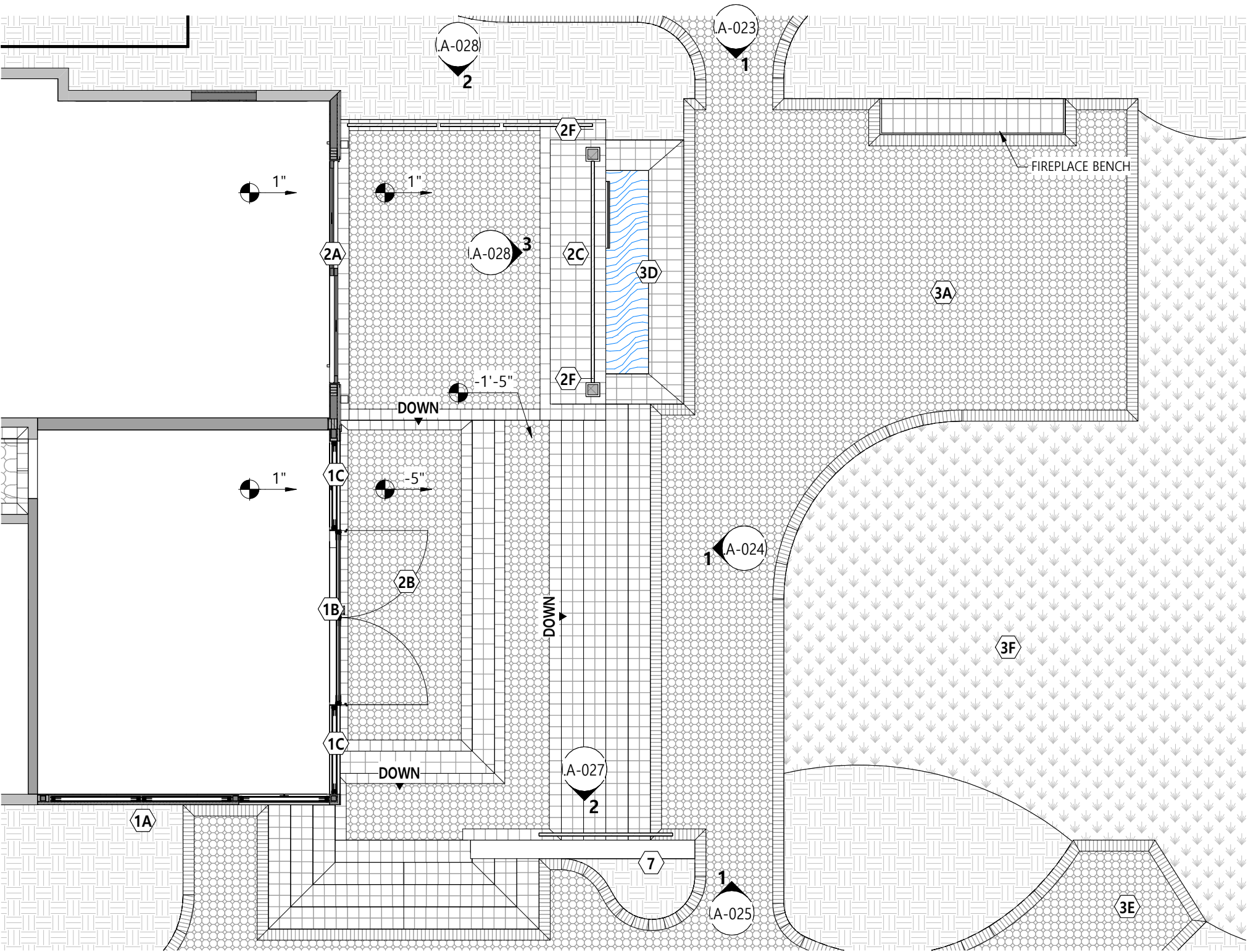
0 4 8 12 16 24 32 40 48

ROOF PLAN - PROPOSED

HEX NOTE LEGEND (COA)	
#	Description
1D	STEEL SKYLIGHT
1F	ROOF DETAILING
2D	COVERED DECK ROOF
06	2ND FLOOR BALCONY
7B	BIKE SHED
7C	FRONT PORCH SIDE STEPS
7D	REMOVE UTILITY CHIMNEY

NOTES:

- [1D] 2nd floor office/studio room steel skylight
- [1F] Roof detailing (fascia, gutters, and downspouts) to match existing low-slope membrane roofs
- [2D] Deck roof detailing (asphalt shingles, fascia, millwork details, gutters) will match the front porch
- [06] 2nd Floor Balcony:
- Convert central flat portion of 1st floor porch roof into a balcony with terracotta tile flooring
 - Install steel railings to match steel fence design (COA-0045-2024)
- [7B] Bike shed roof will be asphalt shingles to match existing house roof



HEX NOTE LEGEND (COA)	
#	Description
1A	FIBER CEMENT BOARD PANELS
1B	STEEL DOORS
1C	STEEL WINDOWS
2A	SLIDING DOOR
2B	TIERED DECK
2C	BUILT-IN BENCH
2F	DECK ROOF COLUMNS + BEAMS
3A	PATIO
3D	WATER FEATURE
3E	PATHWAYS
3F	LANDSCAPE PLAN

1

.A-014

ENLARGED PLAN - BACK OF HOUSE

3/16" = 1'-0"



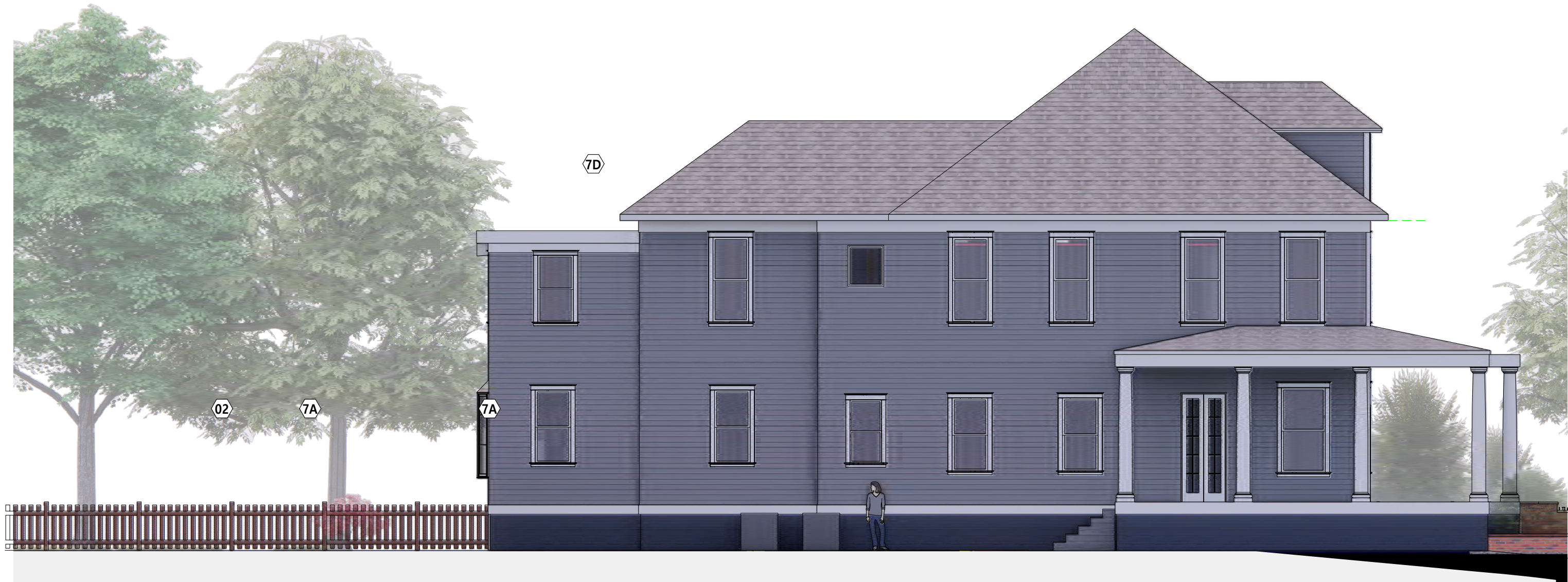
1 (COA) ELEVATION - EXISTING - WEST
.A-015 1/8" = 1'-0" 0 2 4 6 8 12 16 20 24

HEX NOTE LEGEND (COA)	
#	Description
04	MATURE TREE REMOVAL
05	WOOD PRIVACY FENCE
06	2ND FLOOR BALCONY



1
.A-016 (COA) ELEVATION - PROPOSED - WEST
1/8" = 1'-0" 0 2 4 6 8 12 16 20 24

HEX NOTE LEGEND (COA)	
#	Description
04	MATURE TREE REMOVAL
05	WOOD PRIVACY FENCE
06	2ND FLOOR BALCONY
6A	BALCONY - FLOORING
6B	BALCONY - STEEL RAILINGS
7B	BIKE SHED



1 (COA) ELEVATION - EXISTING - NORTH
1/8" = 1'-0"

HEX NOTE LEGEND (COA)	
#	Description
02	COVERED DECK
7A	REMOVE DOUBLE HUNG WINDOWS
7D	REMOVE UTILITY CHIMNEY

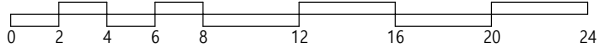


1 (COA) ELEVATION - PROPOSED - NORTH
1/8" = 1'-0"

HEX NOTE LEGEND (COA)	
#	Description
01	2-STORY SCREEN PORCH RENOVATION
02	COVERED DECK
7A	REMOVE DOUBLE HUNG WINDOWS
7B	BIKE SHED
7C	FRONT PORCH SIDE STEPS
7E	EQUIPMENT SCREENING



1 (COA) ELEVATION - EXISTING - EAST
.A-019 1/8" = 1'-0"



HEX NOTE LEGEND (COA)	
#	Description
01	2-STORY SCREEN PORCH RENOVATION
02	COVERED DECK



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.A-020

(COA) ELEVATION - PROPOSED - EAST

1/8" = 1'-0"
0 2 4 6 8 12 16 20 24

HEX NOTE LEGEND (COA)	
#	Description
01	2-STORY SCREEN PORCH RENOVATION
02	COVERED DECK
03	PATIO & LANDSCAPING
7B	BIKE SHED
7C	FRONT PORCH SIDE STEPS



1
.A-021

(COA) ELEVATION - EXISTING - SOUTH

1/8" = 1'-0" 0 2 4 6 8 12 16 20 24

HEX NOTE LEGEND (COA)	
#	Description
01	2-STORY SCREEN PORCH RENOVATION
04	MATURE TREE REMOVAL

.A-021	Project No.: 2305	SOUTH ELEVATION - EXISTING	KHERA-MCRACKAN 112 N East St.	LOUIS CHERRY ARCHITECTURE
	Date: 12/16/24			
	Scale: 1/8" = 1'-0"			



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.A-022

(COA) ELEVATION - PROPOSED - SOUTH

1/8" = 1'-0"

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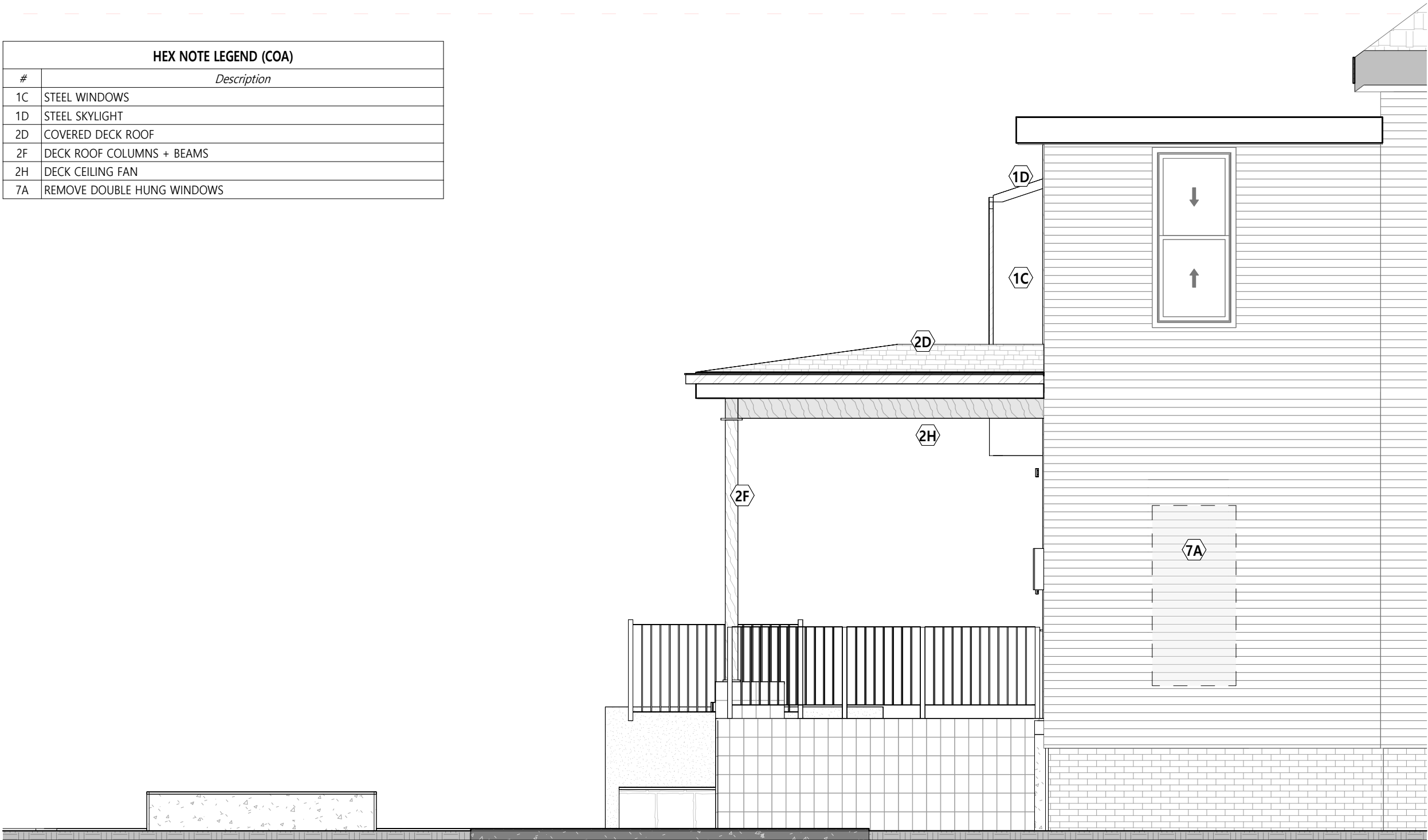
16

20

24

HEX NOTE LEGEND (COA)	
#	Description
01	2-STORY SCREEN PORCH RENOVATION
02	COVERED DECK
04	MATURE TREE REMOVAL
06	2ND FLOOR BALCONY

HEX NOTE LEGEND (COA)	
#	Description
1C	STEEL WINDOWS
1D	STEEL SKYLIGHT
2D	COVERED DECK ROOF
2F	DECK ROOF COLUMNS + BEAMS
2H	DECK CEILING FAN
7A	REMOVE DOUBLE HUNG WINDOWS



1 NORTH ELEVATION (ENLARGED)
.A-023 1/4" = 1'-0"

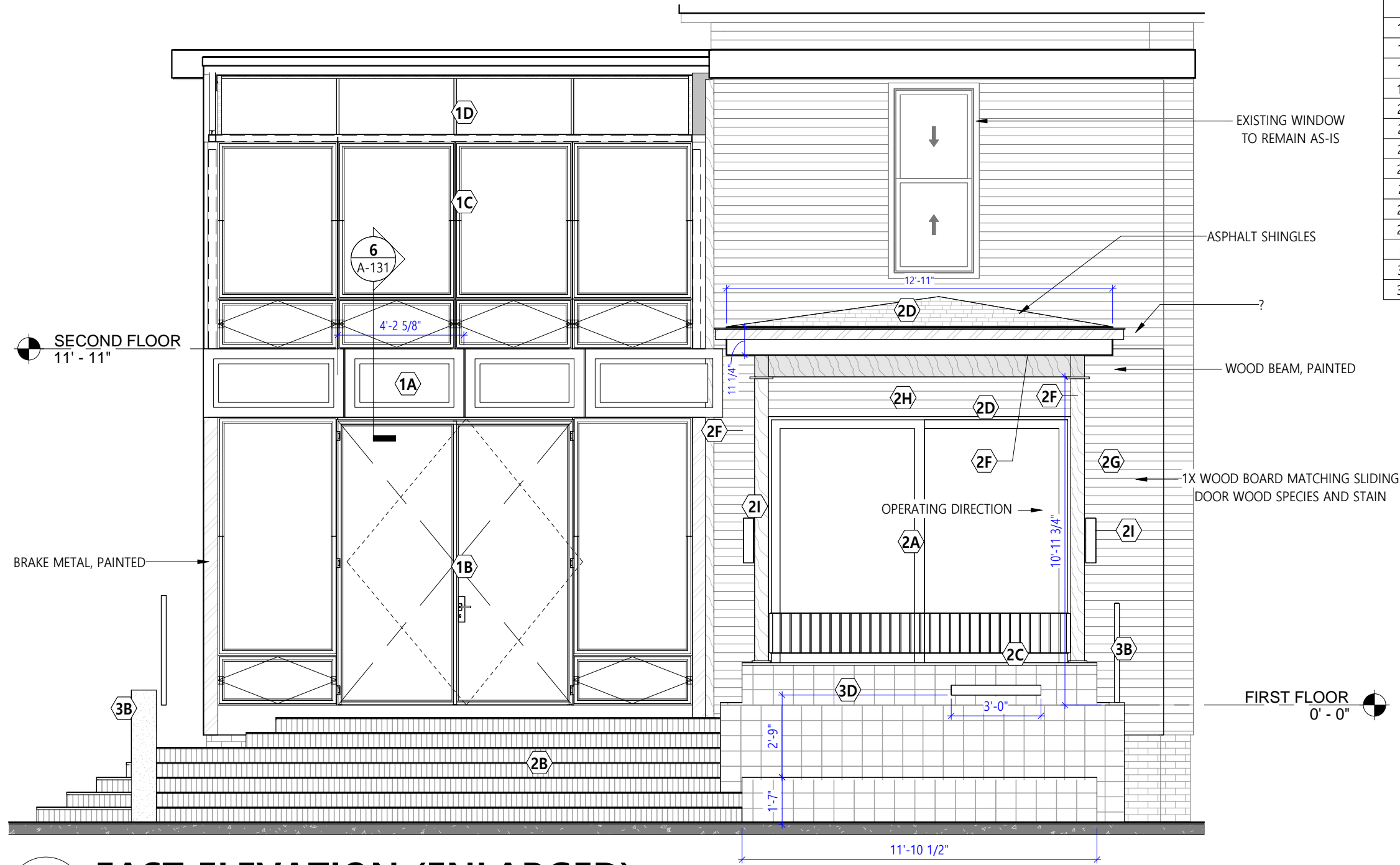
.A-023

Project No.:	2305
Date:	12/16/24
Scale:	1/4" = 1'-0"

NORTH ELEVATION - PROPOSED - ENLARGED

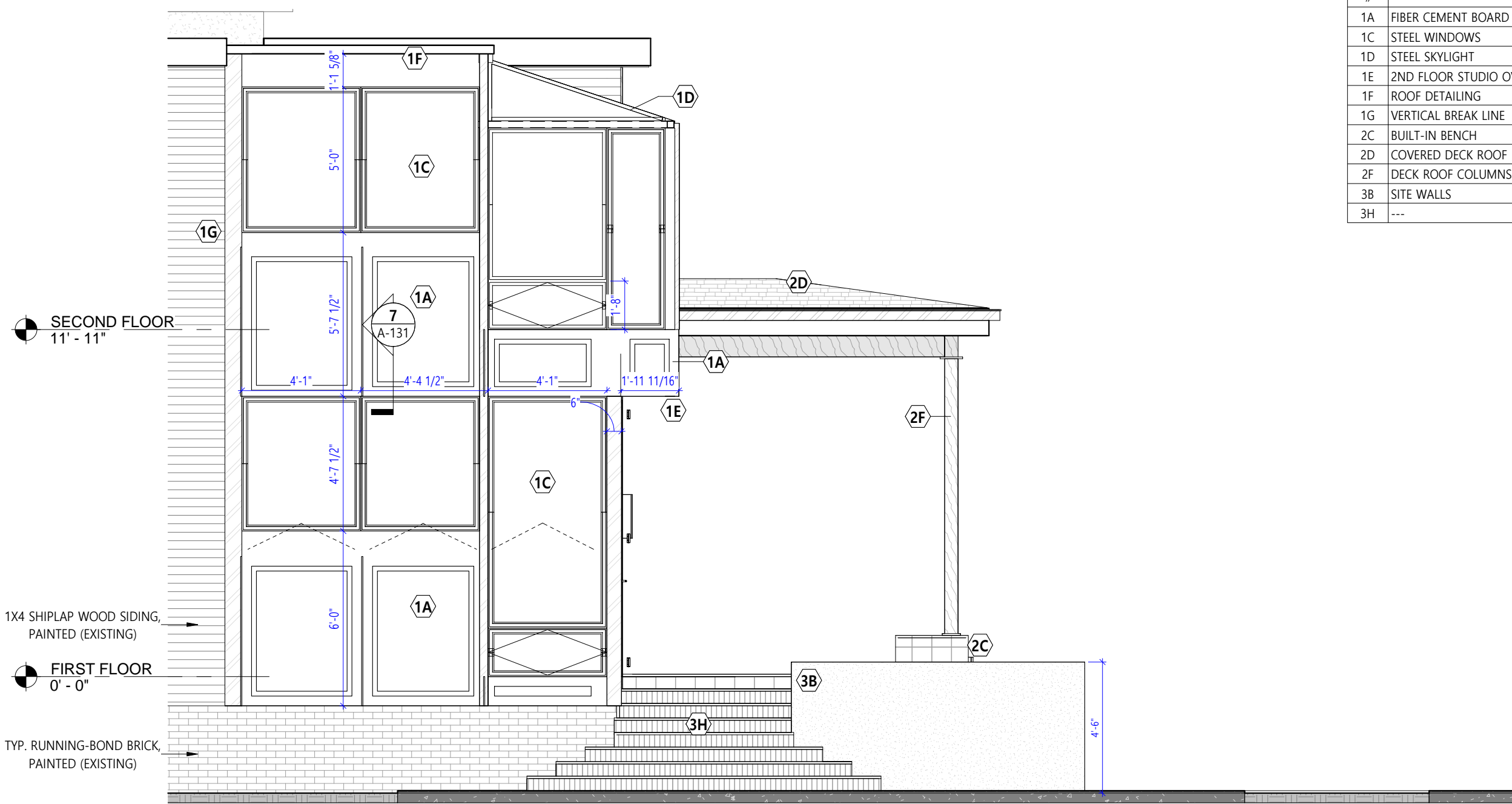
KHERA-MCRACKAN
112 N East St.

LOUIS CHERRY
ARCHITECTURE



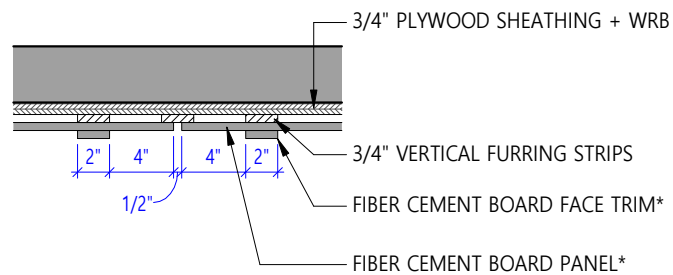
HEX NOTE LEGEND (COA)	
#	Description
1A	FIBER CEMENT BOARD PANELS
1B	STEEL DOORS
1C	STEEL WINDOWS
1D	STEEL SKYLIGHT
2A	SLIDING DOOR
2B	TIERED DECK
2C	BUILT-IN BENCH
2D	COVERED DECK ROOF
2F	DECK ROOF COLUMNS + BEAMS
2G	INFILL TO MATCH EXISTING
2H	DECK CEILING FAN
2I	DECK WALL SCONCES
3B	SITE WALLS
3D	WATER FEATURE

1 EAST ELEVATION (ENLARGED)
.A-024 1/4" = 1'-0"



HEX NOTE LEGEND (COA)	
#	Description
1A	FIBER CEMENT BOARD PANELS
1C	STEEL WINDOWS
1D	STEEL SKYLIGHT
1E	2ND FLOOR STUDIO OVERHANG
1F	ROOF DETAILING
1G	VERTICAL BREAK LINE
2C	BUILT-IN BENCH
2D	COVERED DECK ROOF
2F	DECK ROOF COLUMNS + BEAMS
3B	SITE WALLS
3H	---

1 SOUTH ELEVATION (ENLARGED)
.A-025 1/4" = 1'-0"



*ALL FIBER CEMENT SIDING AND TRIM TO BE PAINTED
AND INSTALLED WITH THE SMOOTH SIDE FACING OUT

1 DETAILS - Fiber Cement Board Panels

1" = 1'-0"

PHOTO DETAIL -EXISTING ROOF EAVE



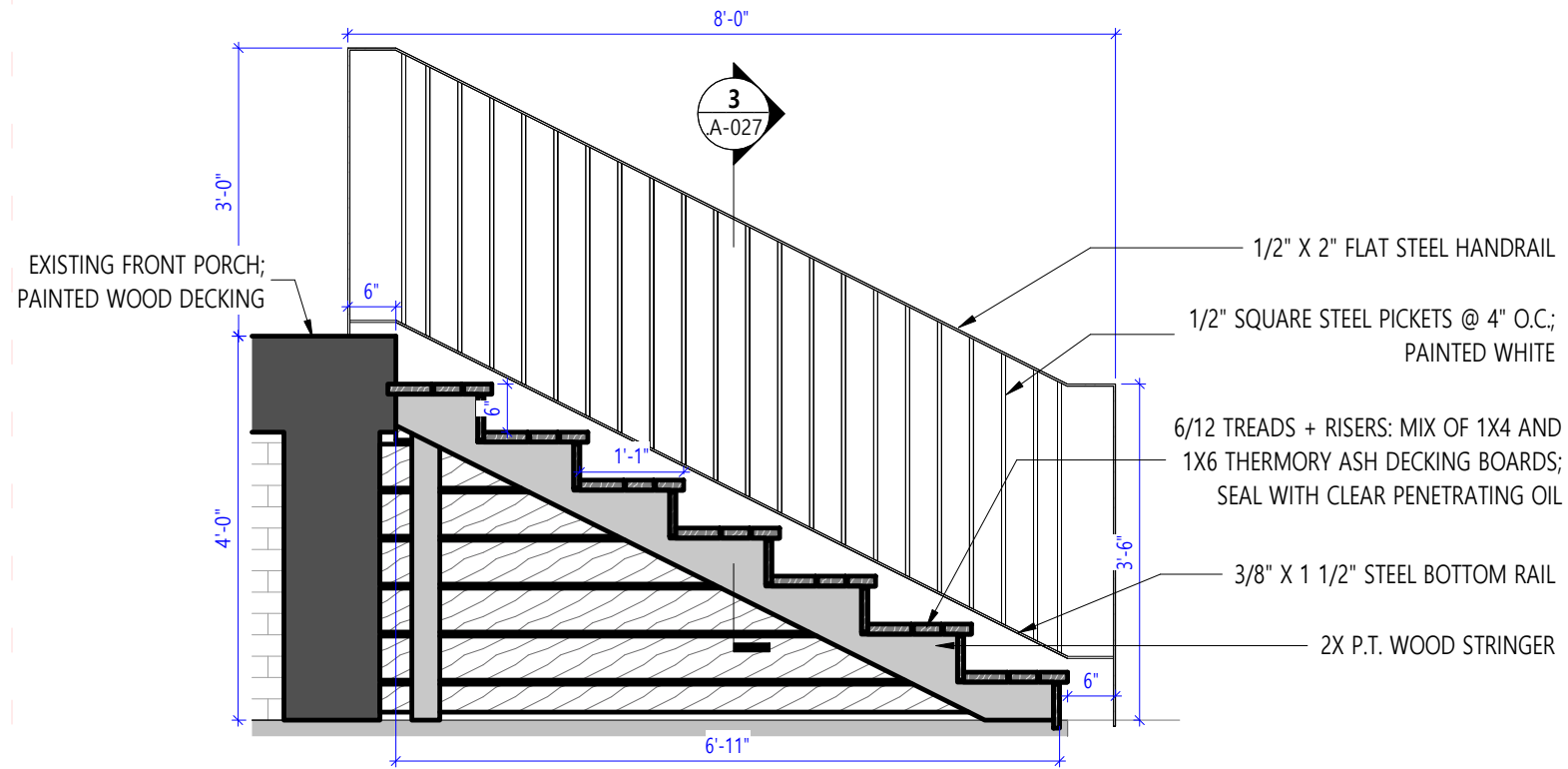
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Project No.: 2305
Date: 12/16/24
Scale: As indicated

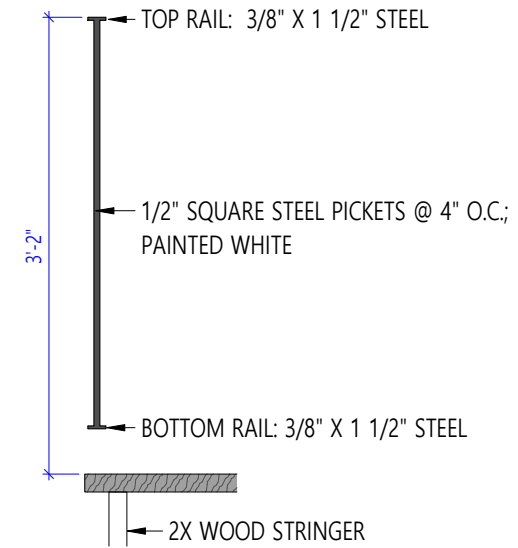
MISCELLANEOUS DETAILS

KHERA-MCRACKAN
112 N East St.

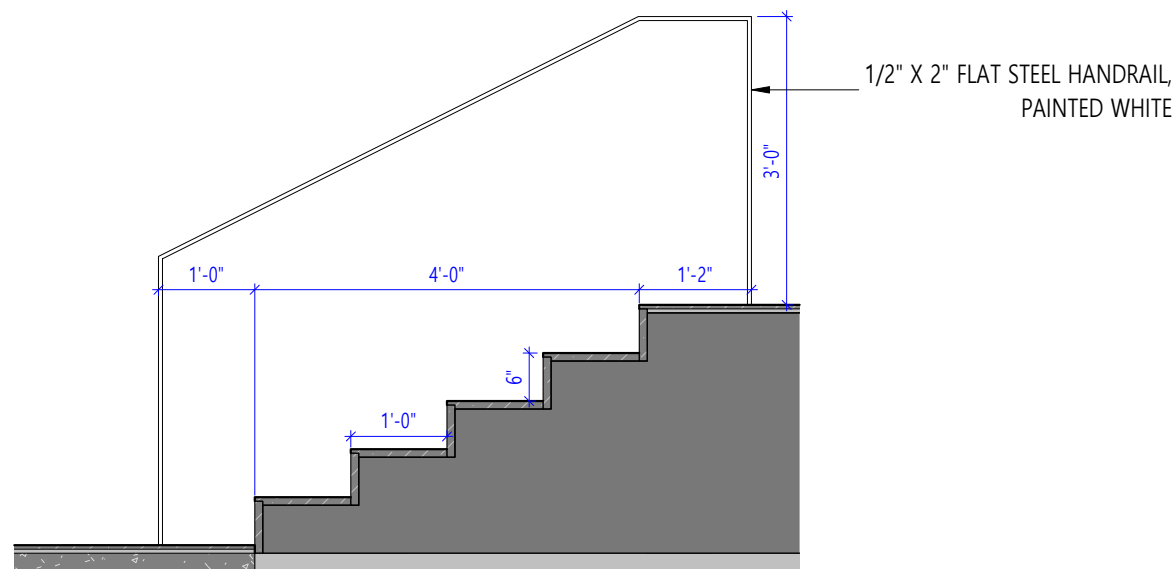
LOUIS CHERRY
ARCHITECTURE



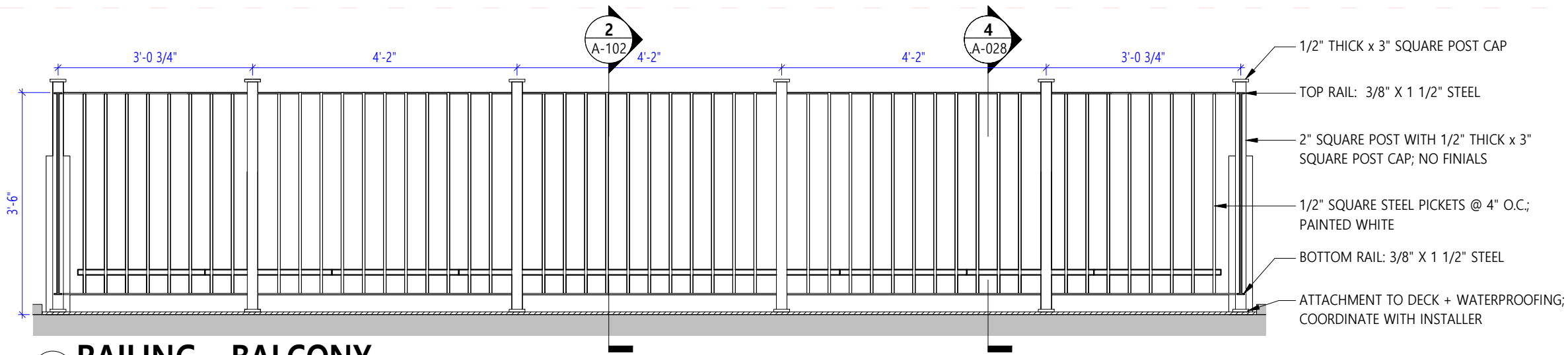
① **HANDRAIL - SIDE PORCH STEPS**
1/2" = 1'-0"



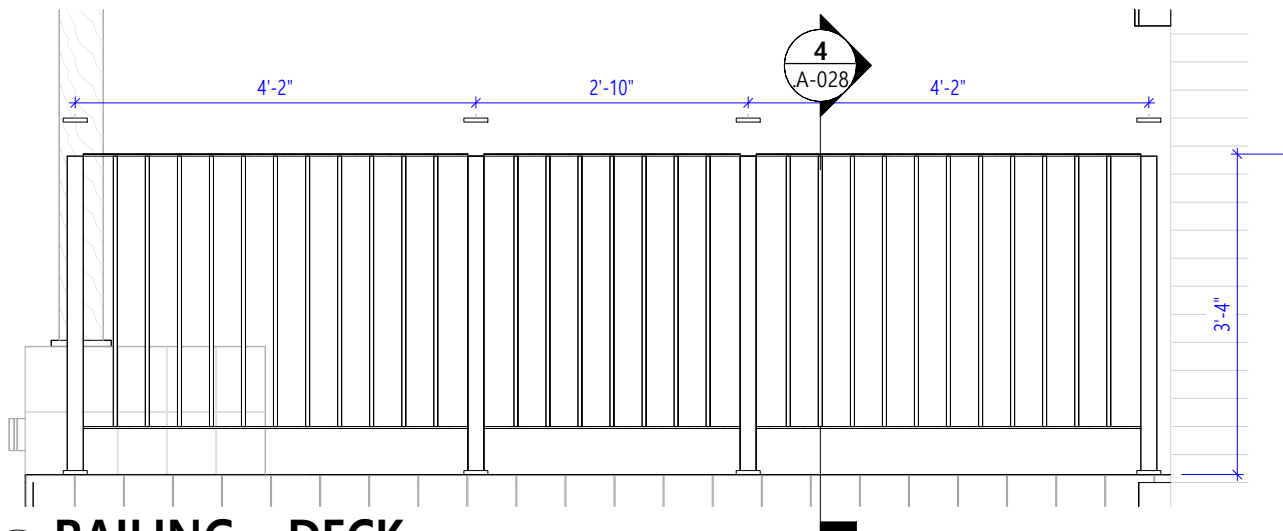
③ **SECTION 1**
3/4" = 1'-0"



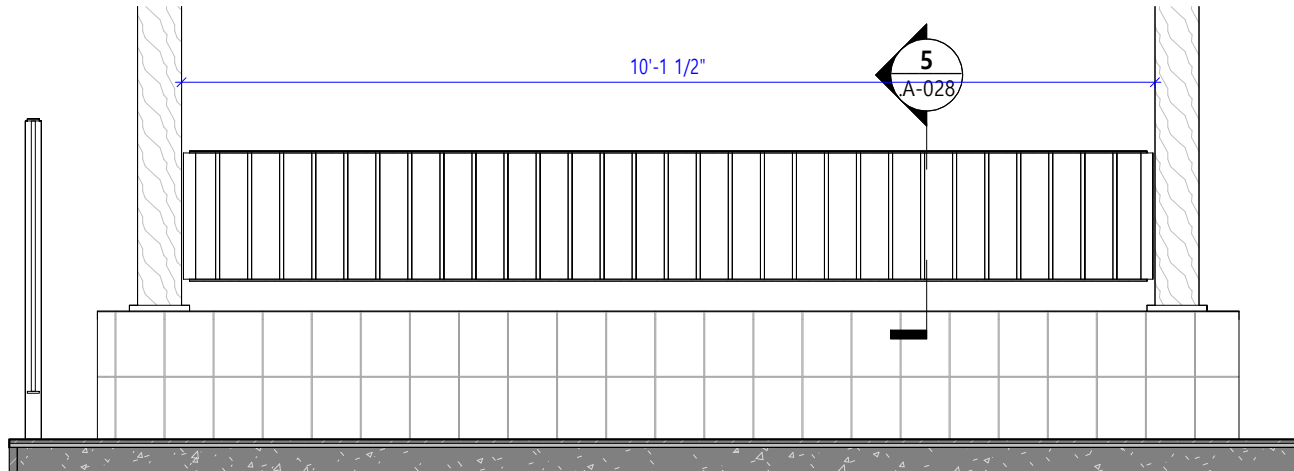
② **HANDRAIL - PATIO STEPS**
1/2" = 1'-0"



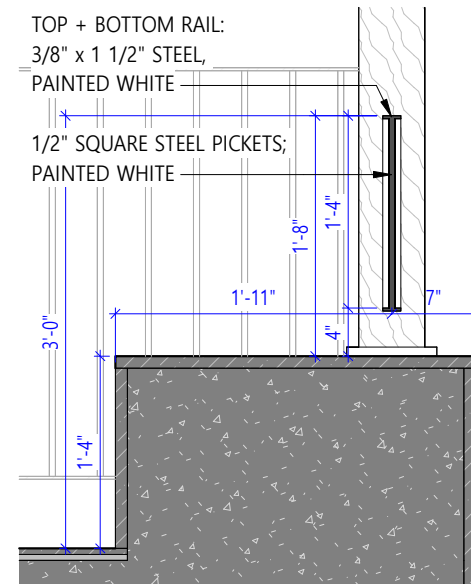
1 RAILING - BALCONY
1/2" = 1'-0"



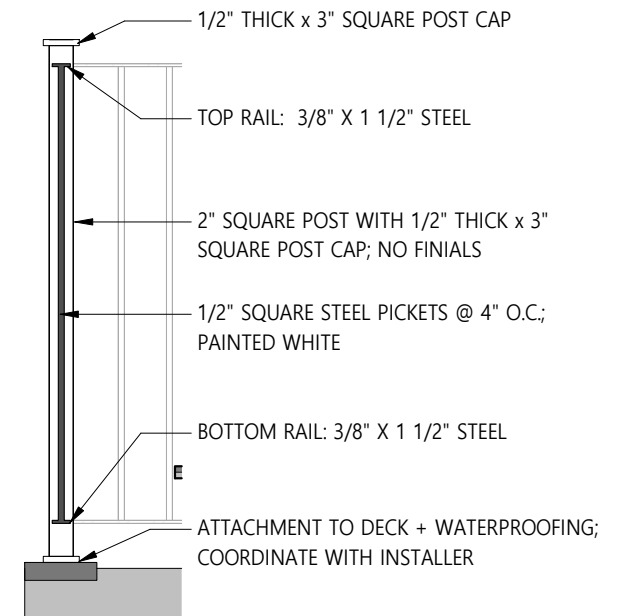
2 RAILING - DECK
1/2" = 1'-0"



3 RAILING - DECK BENCH
1/2" = 1'-0"



5 SECTION 2
3/4" = 1'-0"



4 SECTION 1
3/4" = 1'-0"

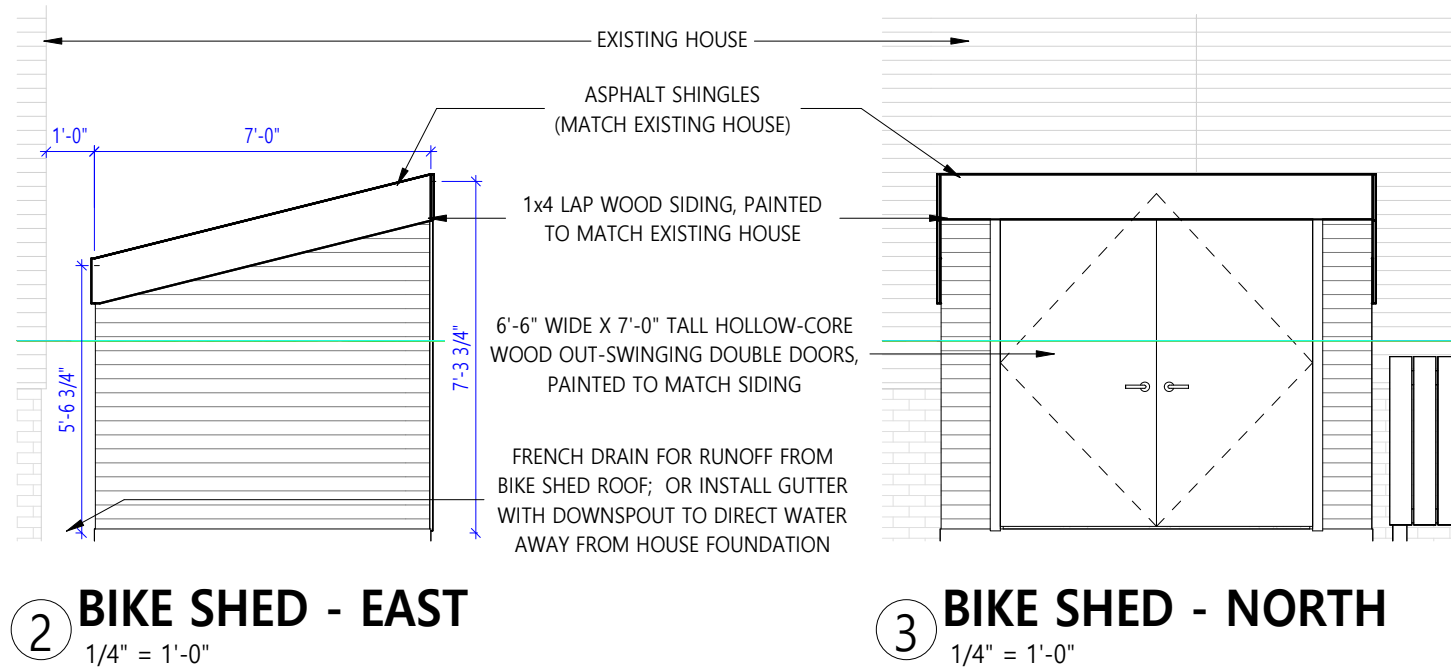
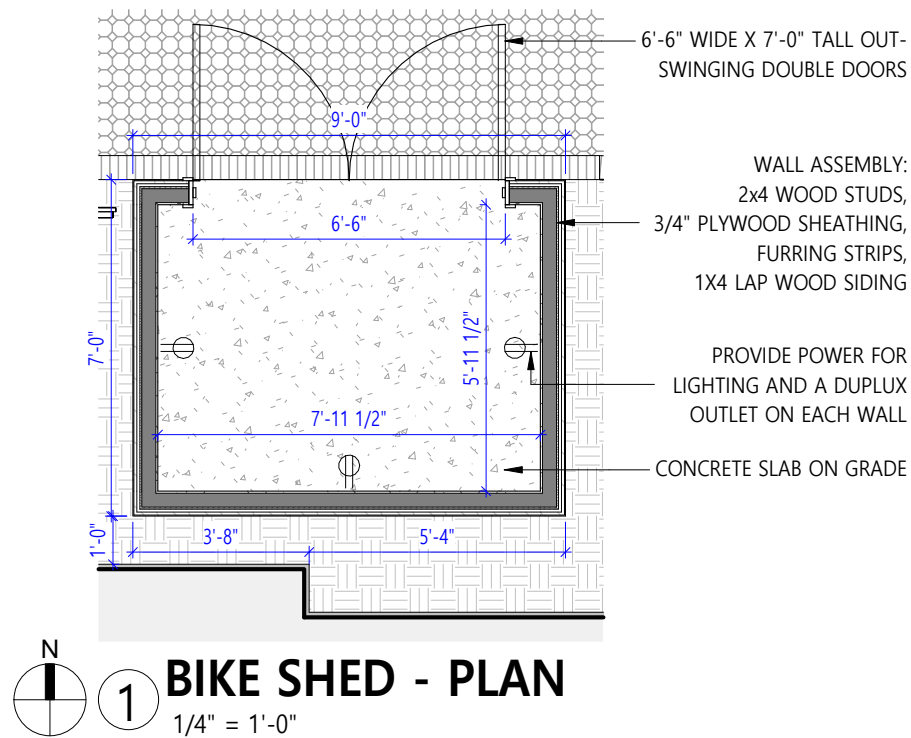
.A-028

Project No.: 2305
Date: 12/16/24
Scale: As indicated

DETAILS - BALCONY + DECK RAILING

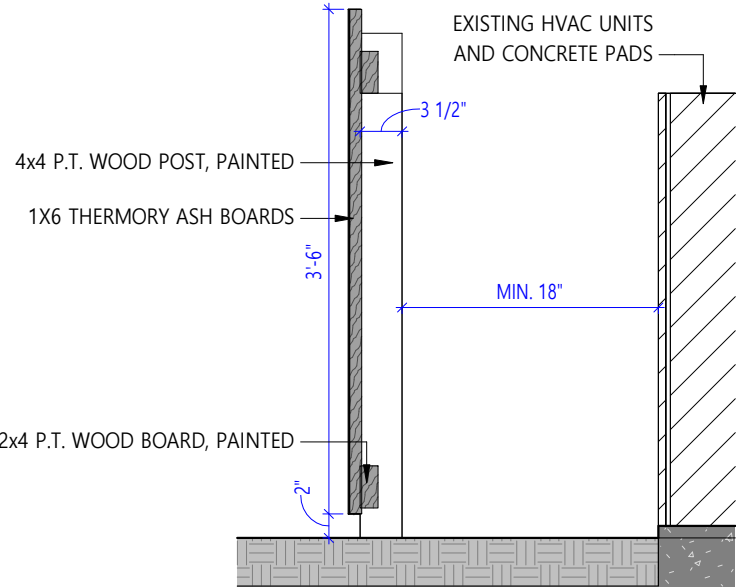
KHERA-MCRACKAN
112 N East St.

LOUIS CHERRY
ARCHITECTURE

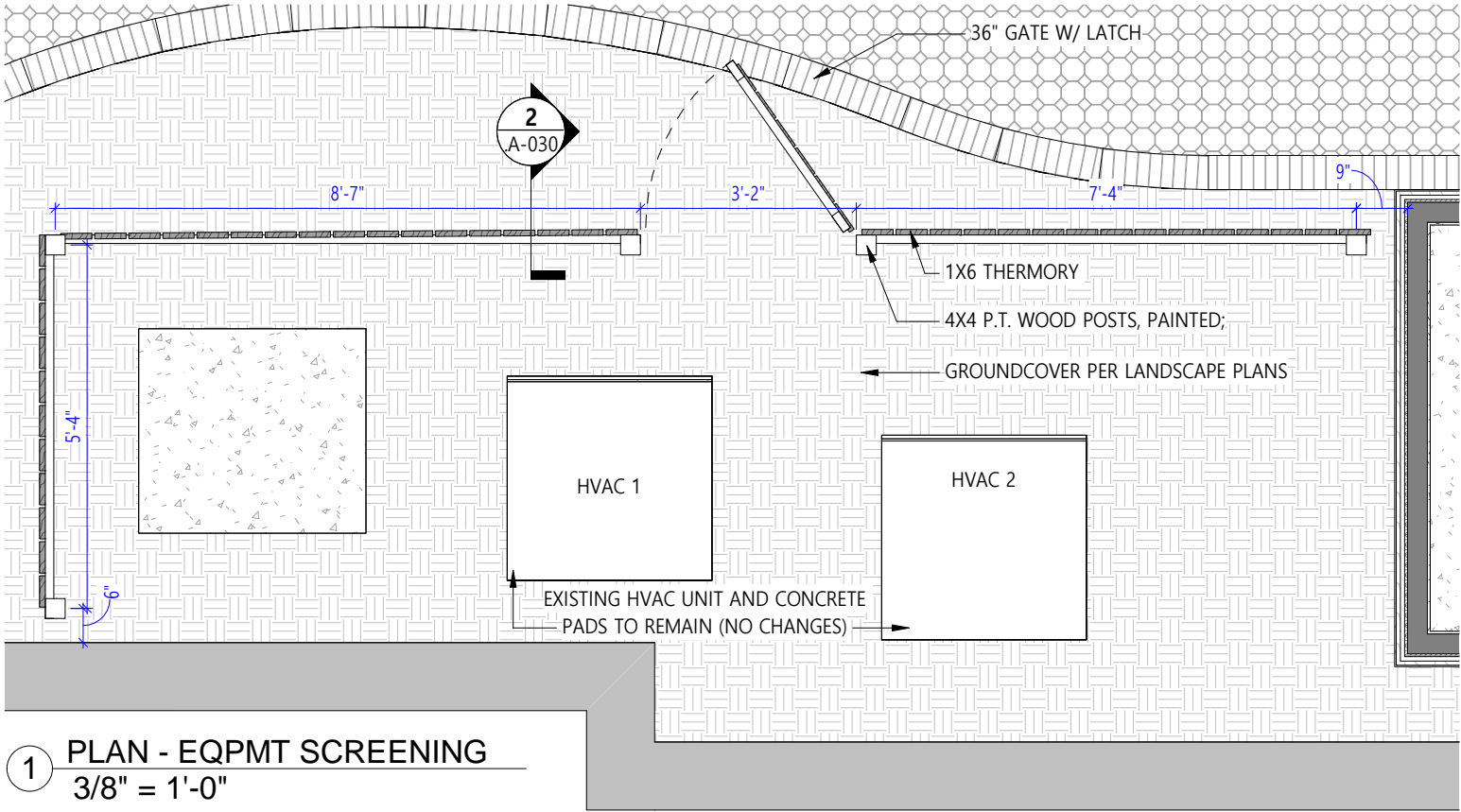


- BIKE SHED ADDITIONAL DETAILS**
- STORAGE*
- BIKES (x5)
 - SCOOTERS (x2)
 - 12"D FIXED PLYWOOD SHELF ALONG BACK WALL
WITH HOOKS FOR HELMETS + OTHER GEAR
- INTERIORS*
- MARINE-GRADE PLYWOOD, PAINTED

- EQUIPMENT SCREENING:
- 4x4 P.T. WOOD POSTS + 2x4 P.T. WOOD BACKER RAILS, PAINTED
 - 1x6 THERMORY ASH BOARDS, VERTICAL; CLEAR SEALER
 - MAINTAIN 18" CLEARANCE TO AC UNITS
 - TYPICAL GATE LATCH; BLACK FINISH



2 SECTION - EQPMT SCREENING
3/4" = 1'-0"



1 PLAN - EQPMT SCREENING
3/8" = 1'-0"



.A-030

Project No.: 2305
Date: 12/16/24
Scale: As indicated

DETAILS - EQUIPMENT SCREENING

KHERA-MCRACKAN
112 N East St.

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ARCHITECTURE