



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Install EV charger

515 N Blount St

Address

Blount Street

Historic District

Lewis-Smith House

Historic Property

COA-0062-2024

Certificate Number

6/7/2024

Date of Issue

12/7/2024

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name: John Holmes (for J.T. Hobby and Son, Inc.)

Mailing address: 515 N Blount Street

City: Raleigh

State: NC

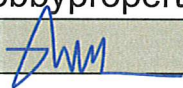
Zip code: 27604

Date: 06/05/2024

Daytime phone #: 919-783-6141

Email address: johnh@hobbyproperties.com

Applicant signature:



Minor work (staff review) – one copy

Major work (COA committee review) – ten copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of approval

Office Use Only

Transaction #: _____

File #: COA-0062-2024

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address: 515 N Blount Street, Raleigh, NC 27604

Historic district: Blount Street Historic District

Historic property/Landmark name (if applicable): Lewis-Smith House

Owner name: J.T. Hobby & Son, Inc.

Owner mailing address: 515 N Blount Street, Raleigh, NC 27604

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

<p>Will you be applying for rehabilitation tax credits for this project? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Did you consult with staff prior to filing the application? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p>	<p>Office Use Only</p> <p>Type of work: <u>50</u></p>
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Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.10/59	Sustainability	Install electric vehicle charger (see additional description on following page).

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 12/7/2024.

Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.



Signature (City of Raleigh) Collette Date 06/07/2024



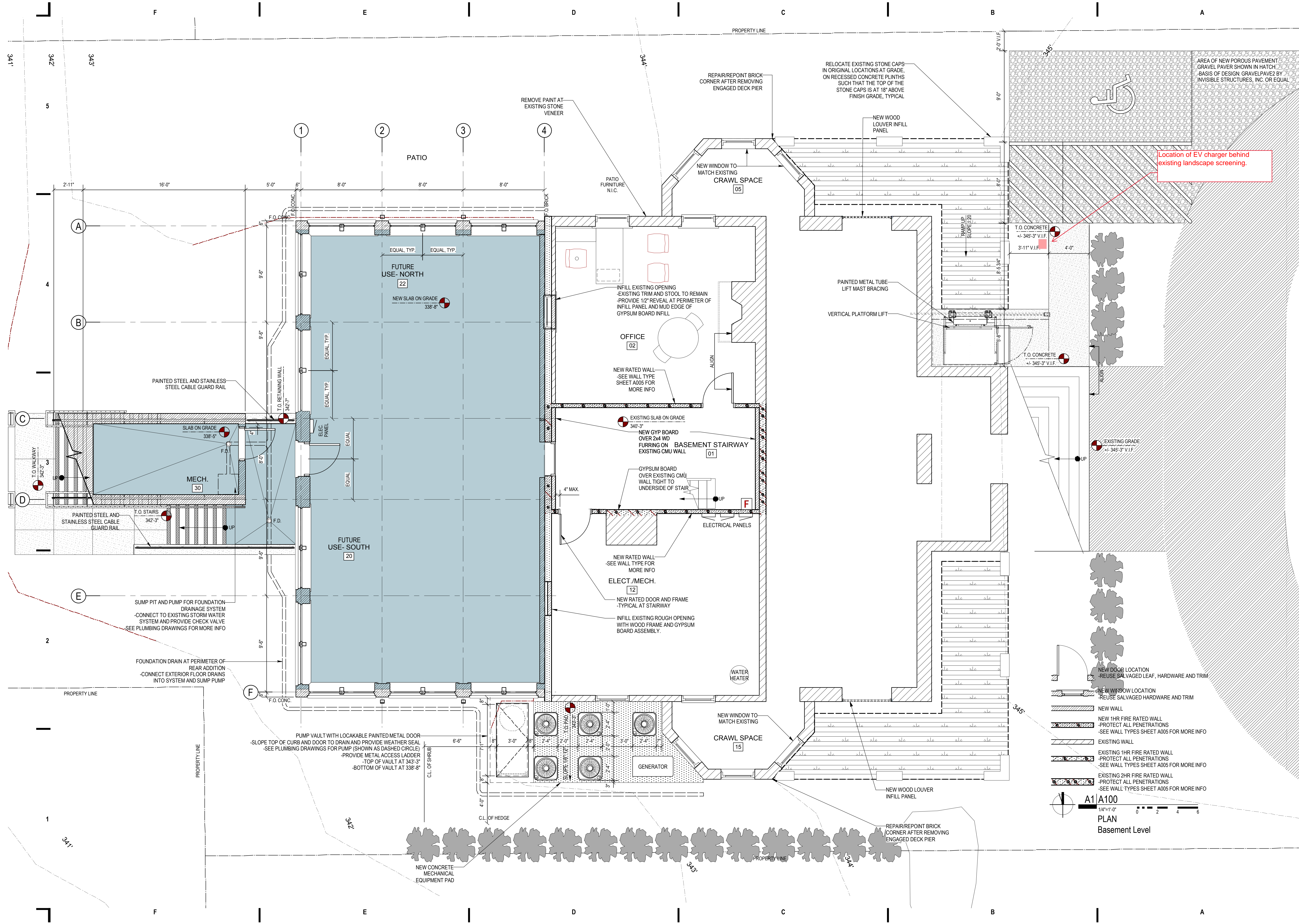
DESCRIPTION OF PROPOSED WORK :

We propose to add one pedestal-mounted Tesla charger at the northeast corner of 515 N Blount Street (see attached site plan for specific location). To minimize adding additional electrical runs and to avoid existing water and sewer lines, we are locating the charger adjacent to the existing ADA lift where the electrical run is buried. This location has the additional benefit of existing landscaping screening which shields it from both Blount Street and the neighboring property at 521 N Blount Street (though the applicant is also the owner of this parcel). The dimensions of the pedestal are 47"x6"x2". When attached to the pedestal, the charger will add an additional 2.3" of depth to the top 13.6" of the pedestal. Additional product specifications and photos are included for clarity.

4312 Lead Mine Road
Raleigh, NC 27612

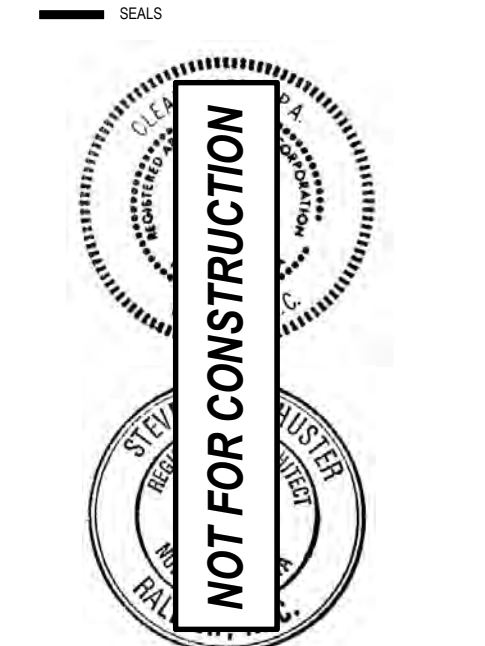
(919) 783 6141 
(919) 782 3321 

hobbyproperties.com
info@hobbyproperties.com



CLEARSCAPES
 ARCHITECTURAL
 311-200 W. Martin Street
 Raleigh, NC 27601
 919.821.2775
 919.821.0804 fax
 artaro@clearscapes.com

CONSULTANTS
 Structural Consultants
 Lysaght & Associates
 120 St. Mary's Street
 Raleigh, NC 27605
 919.833.0495
 P/E/F/A Consultants
 Crenshaw Consulting Engineers
 3515 Bush Street
 Raleigh, NC 27609
 919.871.1070
 HVAC Consultants
 Finish Line Engineering PLLC
 PO Box 98802
 Raleigh, NC 27624
 919.896.4389



Architectural As Built
 April 10, 2015

PROJECT
 Lewis-Smith House
 Alterations
 515 N. Blount St.,
 Raleigh, NC

REVISIONS

NO.	DATE OF REVISION

PROJECT DATA
 DATE: 2015.04.10
 DRAWN: BTL
 CHECKED: SDS
 FILENAME: 110180_1300702_BaseMdl.vwx
 PROJECT NO: 2011_0180
 PRINTING: Architectural As Built

Plan
 Basement Level

SHEETNO.
A100











Gen 3 Wall Connector Manual

48A Single Phase



PRODUCT OVERVIEW

This manual applies to Wall Connectors identified by part number 1457768-**-**.

Product Specifications

Voltage and Wiring	Nominal 200-240 V AC single-phase
Current Output Range	12 - 48 amps
Terminal Blocks	12-4 AWG (3.5 - 25 mm ²), copper only
Supported Conduit Sizing	¾ in (21 mm) default, 1 in (27 mm) optional
Grounding Scheme	TN/TT
Frequency	50/60 Hz
Cable Length	7.3 m (24 ft)
Wall Connector Dimensions	Height: 13.6 in (345 mm) Width: 6.1 in (155 mm) Depth: 4.3 in (110 mm)
Wire Box Bracket Dimensions	Height: 9.8 in (250 mm) Width: 4.7 in (120 mm) Depth: 2.0 in (50 mm)
Weight (including wirebox)	10 lb. (4.5 kg)
Operating Temperature	-22°F to 122°F (-30°C to 50°C)
Storage Temperature	-40°F to 185°F (-40°C to 85°C)
Enclosure Rating	Type 3R
Ventilation	Not required
Means of Disconnect	External branch circuit breaker
Ground Fault Circuit Interrupter	Integrated, no additional required (CCID20)
Wi-Fi	2.4 GHz, 802.11b/g/n
Agency Approvals	cULus - E351001

Transportation and storage: Ensure that Wall Connector is within storage temperature when moving, transporting, or storing.

This device complies with part 15 of the FCC Rules. Operation is subject to the following conditions: (1) This device may not cause harmful interference, and (2) this device must accept any interference received, including interference that may cause undesired operation.

INSTALLING PEDESTAL FOR TESLA WALL CONNECTOR



TESLA

