



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Remove single door; install new double storefront door

4 N Blount St , 100

Address

Capitol Square

Historic District

Historic Property

COA-0065-2025

Certificate Number

5/12/2025

Date of Issue

11/12/2025

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name:

Mailing address:

City:

State:

Zip code:

Date:

Daytime phone #:

Email address:

Applicant signature: *Bruce*, Manager

Minor work (staff review) – one copy

Major work (COA committee review) – ten copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of approval

Office Use Only

Transaction #: _____

File #: **COA-0065-2025**

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address:

Historic district:

Historic property/Landmark name (if applicable):

Owner name:

Owner mailing address:

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.


Property Owner Name & Address

Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: <u>29, 30</u>
Did you consult with staff prior to filing the application? <input checked="" type="radio"/> Yes <input type="radio"/> No	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.7.9/51	Windows and Doors	Demo of existing single storefront door, cut and removal of a portion of existing brick masonry to accommodate the installation of new storefront double door with same finish as original.

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>11/12/2025</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u></u>	Date <u>05/12/25</u>



REDLINE

May 6th 2025

Raleigh Historic Development Commission
RDHC Office
One Exchange Plaza,
Suite 300
Raleigh, NC 27601

Wake Relief
4 N Blount St,
Suite 100,
Raleigh, NC 27601

Permit Number:
BLDNR-015097-2025 (Express Review)

To whom it may concern.

We appreciate your time and efforts associated with the review of this project. The project in review is located at 4 N Blount St, part of (HOD-G) for the City of Raleigh. The Previous building tenant for the 1st floor (suite 100) was a civil use, church office with fellowship hall. The new tenant, Wake Relief, is a Non-Profit Food Bank who has been helping to provide food to Wake County residents since 1975.

The Scope of the Projects work was to demo many of the small interior rooms and offices within the buildings first floor tenant to create large areas for the delivery, staging and storage of nonperishable and fresh foods for donation to individuals and families with nutritional needs, Wake relief also intends to repurpose the large fellowship room into a faux market in an effort to help users feel more comfortable by recreating a shopping experience. Existing building utilities are to be utilized and added/extended where necessary to account for the change in use and the existing Restrooms are being removed in preparation for new restrooms to accommodate the new occupant loads and ADA access. The interior finishes throughout suite 100 are being replaced with new, easy to clean and maintain, resilient finishes that provide a warm and welcoming atmosphere to the space.

The removal of a (3'-0" x 7'-0" with 2" frame) single exterior store front door at the opposite end of the building and its replacement with (6'-0" x 7'-0" with 2 in frame) new double door, of the same type (anodized aluminum) and finish (dark bronze), will allow the deliveries portion of the program to function at a higher level, on par with the new staging, storage and market functions necessary for Wake Relief to not only service the existing members of the community be many more.

Thank you for your efforts associated with this review. If you have any questions or require additional information, please feel free to contact me directly.

Sincerely,

Jacob Berry
Associate AIA
Redline Design Group, PA
jberry@redlinedg.com
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c: 336.465.5542

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ALS
North Carolina
Chapter

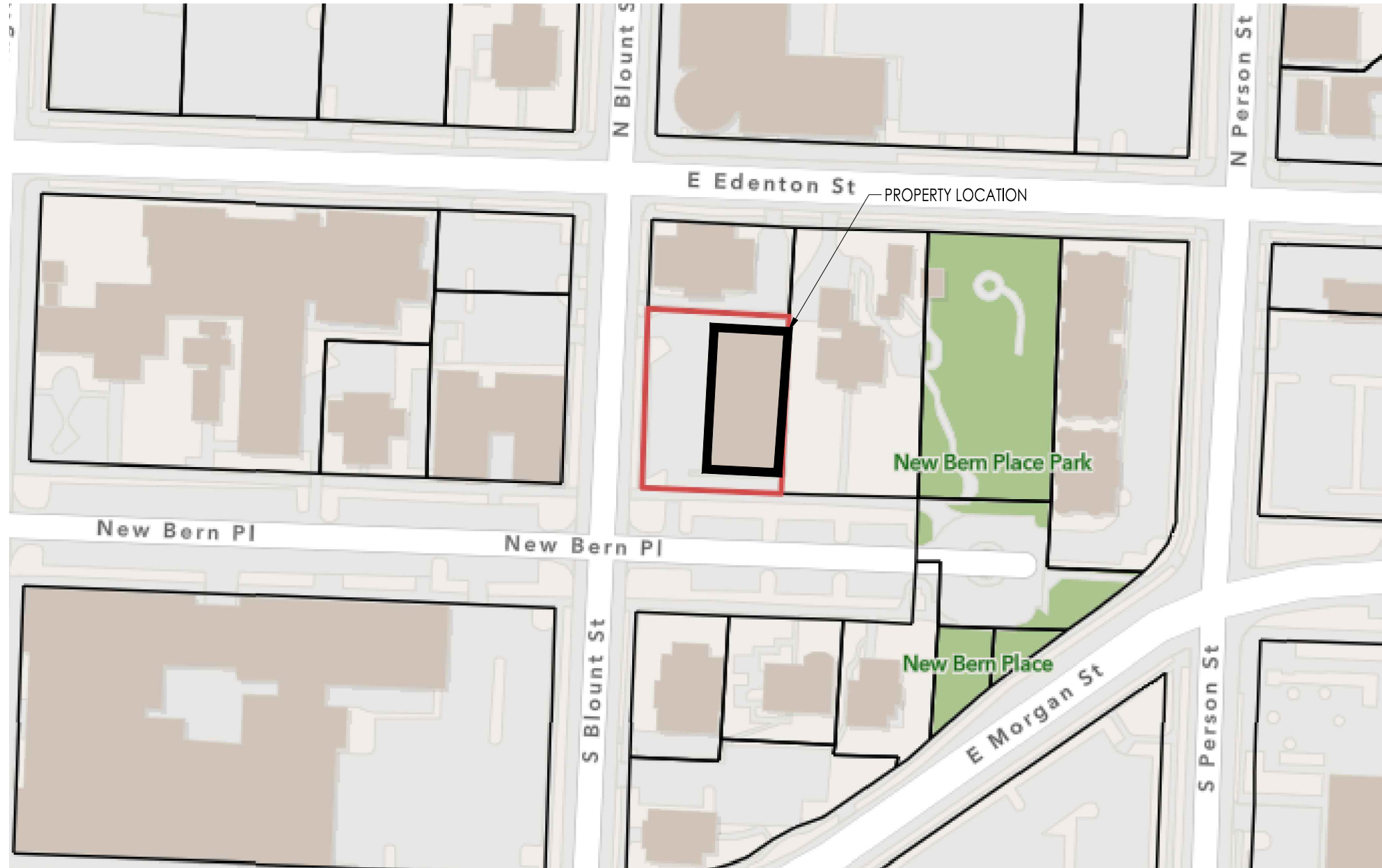
ALS NORTH CAROLINA





WAKE RELIEF

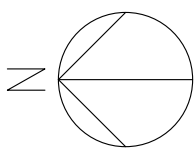
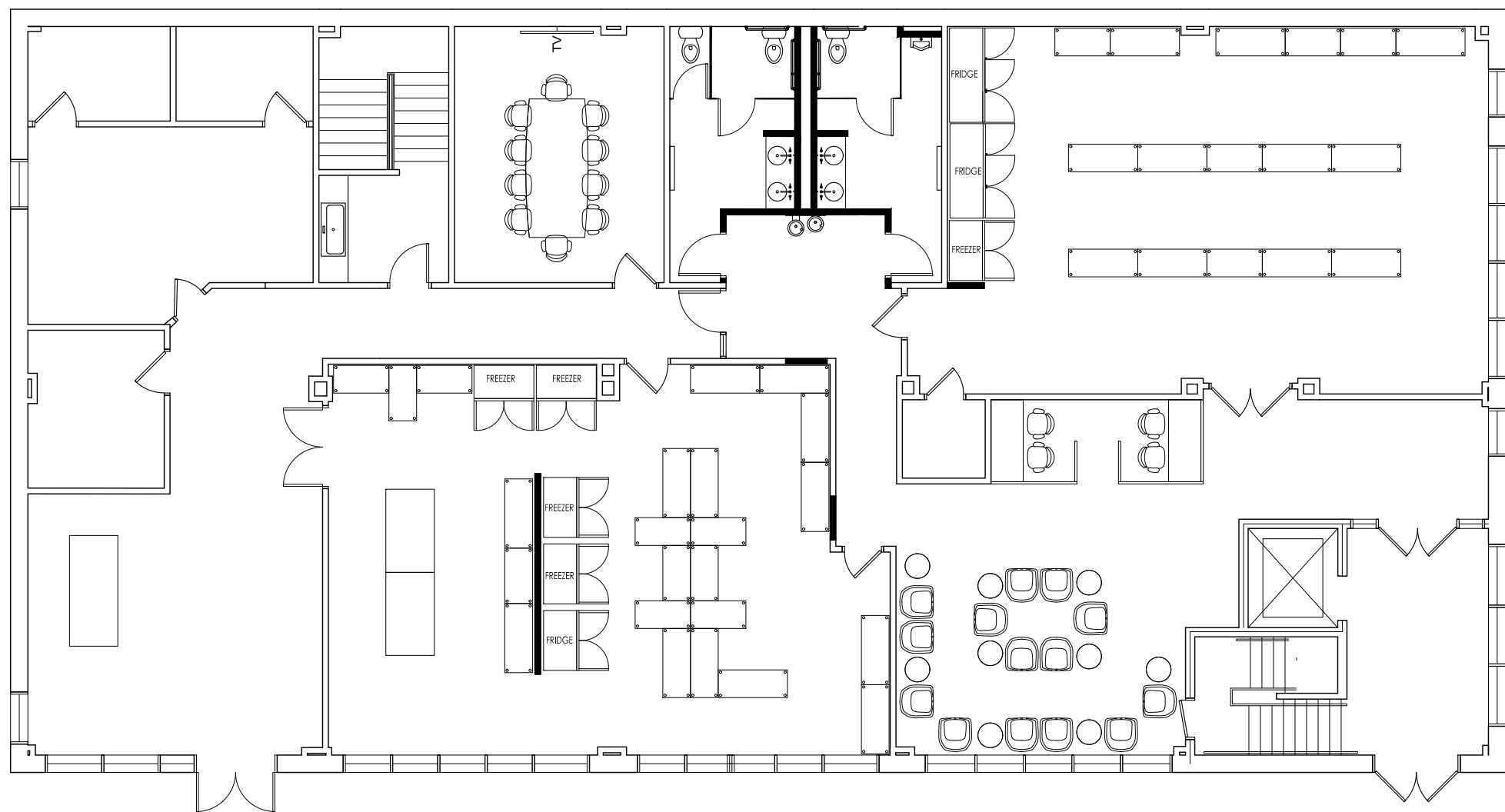
4 N BLOUNT ST, SUITE 100



PROPERTY LOCATION



PROPERTY IMAGE



PLAN NORTH

KEY PLAN

SCALE: $\frac{1}{32}'' = 1'$

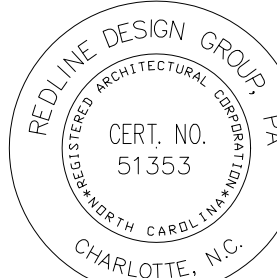
DRAWING INDEX	
TITLE SHEETS	
C0.0	COVER PAGE
T1.1	APPENDIX B
T1.2	GENERAL NOTES
T3.1	LIFE SAFETY
ARCHITECTURAL	
AD1.1	DEMO FLOOR PLAN
AD2.1	DEMO RCP
A1.0	BASEMENT PLAN
A1.1	CONST. FLOOR PLAN
A1.2	DOOR SCHEDULE
A2.1	CONST. RCP
A3.1	FINISH PLAN
A4.1	FURNITURE PLAN
A6.0	EXTERIOR ELEVATIONS
A8.0	ENLARGED RR PLAN AND ELEVATIONS
PLUMBING	
P1.1	BASEMENT FLOOR PLAN - PLUMBING
P1.2	1ST FLOOR PLAN - PLUMBING DEMOLITION
P1.3	FLOOR PLAN - PLUMBING
MECHANICAL	
M0.1	MECHANICAL COVER SHEET
M0.2	MECHANICAL SCHEDULES & DETAILS
M1.1	FIRST FLOOR PLAN - MECH DEMO
M2.1	FIRST FLOOR PLAN - MECHANICAL
ELECTRICAL	
E0.1	ELECTRICAL DETAILS
E0.2	ELECTRICAL DETAILS
E1.1	FIRST FLOOR PLAN - DEMOLITION POWER
E1.2	FIRST FLOOR PLAN - POWER
E2.1	FIRST FLOOR PLAN DEMOLITION LIGHTING
E2.2	FIRST FLOOR PLAN - LIGHTING
E3.1	ELECTRICAL DETAILS



REDLINE

6601 Six Forks Road, Suite 130
Raleigh, NC 27615
O: 919.878.1660

PROJECT NO. RDU 25-001
DRAWN BY: JES
CHECKED BY: MEC



NCSBC 2018



WAKE RELIEF
SUITE 100
4 N. BLOUNT ST
RALEIGH, NC 27601

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DATE: 04/23/25

REVISIONS:

REVISION 1: 05/05/2025

DRAWING TITLE:

COVER SHEET

SHEET NO.

C0.0

FILE: G:\RDU 25-001 Wake Relief @ 4 N. Blount Street\01 CAD\01 PFP\Wake Relief.dwg

PROJECTED: 5/6/2025 3:04 PM

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(REPRODUCE THE FOLLOWING DATA ON THE BUILDING PLANS SHEET 1 OR 2.)

NAME OF PROJECT: WAKE RELIEF
ADDRESS: 4 N. BLOUNT ST. SUITE 100
OWNER OR AUTHORIZED AGENT: REDLINE DESIGN GROUP
EMAIL: JBERRY@REDLINEDG.COM
OWNED BY: THE JOEL FUND
CODE ENFORCEMENT JURISDICTION:

ZIP CODE 27615
PHONE: 919.878.1660
PRIVATELY
CITY/COUNTY
STATE
CITY COUNTY WAKE STATE

CONTACT:
DESIGNER FIRM NAME LICENSE TELEPHONE EMAIL
ARCHITECTURAL: REDLINE DESIGN GROUP MARC CHRISTOPHER 9885 (919) 878-1660 MCHRISTOPHER@REDLINEDG.COM
CIVIL:
ELECTRICAL: ALIGN DESIGN RICK COPELAND 36841 (336) 975-3926 RICK@AE-NC.COM
FIRE ALARM
PLUMBING: ALIGN DESIGN R. EMMETT WILLIS 34327 (919) 275-1935 EMMETT@AE-NC.COM
MECHANICAL ALIGN DESIGN NATHAN ROMBLAD 37491 (919) 538-9983 NATHAN@AE-NC.COM
SPRINKLER-STANDPIPE:
STRUCTURAL:
RETAINING WALLS >5' HIGH:
OTHER:

2018 NC BUILDING CODE: NEW BUILDING ADDITION FIRST TIME INTERIOR COMPLETION
SHELL/CORE* PHASED CONSTRUCTION* INTERIOR ALTERATION
* Contact the local inspection jurisdiction for possible additional procedures and requirements.
2018 NC EXISTING BUILDING CODE: PRESCRIPTIVE ALTERATION LEVEL I HISTORIC PROPERTY
(check all that apply) REPAIR ALTERATION LEVEL II CHANGE OF USE
CHAPTER 14 ALTERATION LEVEL III

CONSTRUCTED: (date) 1987 CURRENT OCCUPANCY(S) (Ch 3) B, SEE NCSBC 303.1.2
RENOVATED: (date) N/A PROPOSED OCCUPANCY(S) (Ch 3) B, S-1, SEE NCSBC 303.1.2
OCCUPANCY CATEGORY: (Table 1604.5) Current: II Proposed: II

BUILDING DATA
THIS SECTION REQUIRED FOR ALL PROJECTS
CONSTRUCTION TYPE: I-A II-A III-A IV V-A
I-B II-B III-B V-B
SPRINKLERS: NO PARTIAL NFPA 13 NFPA 13R NFPA 13D
STANDPIPES: NO CLASS: I II III WET DRY
PRIMARY FIRE DISTRICT: NO YES FLOOD HAZARD AREA: NO YES
SPECIAL INSPECTIONS REQUIRED: NO YES If special inspections are required, contact the local inspection jurisdiction for additional procedures and requirements.

GROSS BUILDING AREA:
FLOOR EXISTING (SQ FT) NEW (SQ FT) Scope
FLOOR 1 5,950 SF 5198 SF
TOTAL 5,950 SF 5,198 SF

ALLOWABLE AREA
PRIMARY OCCUPANCY CLASSIFICATION(S):
ASSEMBLY A-1 A-2 A-3 A-4 A-5
BUSINESS
EDUCATIONAL
FACTORY F-1 Moderate F-2 Low
HAZARDOUS H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
INSTITUTIONAL I-1 I-2 I-1 CONDITION I 2
I-3 I-4 I-2 CONDITION I 2
I-3 CONDITION I 2 3 4 5
MERCANTILE
RESIDENTIAL R-1 R-2 R-3 R-4
STORAGE S-1 MODERATE S-2 LOW HIGH-PILED
PARKING GARAGE OPEN ENCLOSED REPAIR GARAGE
UTILITY & MISCELLANEOUS
ACCESSORY OCCUPANCY CLASSIFICATION(S): A-3 LESS THAN 10% OF TOTAL FLOOR AREA
INCIDENTAL USES (TABLE 509):
This separation is not exempt as a Non-Separated Use (see exceptions).
SPECIAL USES (CHAPTER 4- LIST CODE SECTION):
SPECIAL PROVISIONS (CHAPTER 5- LIST CODE SECTION):
MIXED OCCUPANCY: NO YES SEPARATION: HR. EXCEPTION
NON-SEPARATED USE (508.3)
SEPARATED USE (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.
ACTUAL AREA OF OCCUPANCY A
ALLOWABLE AREA OF OCCUPANCY A
ACTUAL AREA OF OCCUPANCY B
ALLOWABLE AREA OF OCCUPANCY B = 1

STORY NO. DESCRIPTION AND USE BLDG AREA PER STORY (ACTUAL) TABLE 506.2 AREA AREA FOR FRONTAGE INCREASE ALLOWABLE AREA PER STORY OR UNLIMITED

1ST S-1 2956 17,500 N/A 17,500
1ST B 590 23,000 N/A 17,500

***BASED ON MOST STRINGENT OCCUPANCY

1 - Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (F)
c. Ration (F/P) = (F/P)
d. W= Minimum width of public way = (W)
2 - Unlimited area applicable under conditions of section 507.
3 - Maximum Building Area = total number of stories in the building x D but not greater than 3 x D (506.2).
4 - The maximum area of open parking garages must comply with 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1
5 - Frontage increase is based on the unsprinklered area value in Table 506.2

ALLOWABLE HEIGHT
TABLE 503

BUILDING HEIGHT IN FEET (Table 504.3) H = 55 FT H = 25' FT TABLE 504.3
BUILDING HEIGHT IN STORIES (Table 504.4) S = 3 S = 2 TABLE 504.4

Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4

FIRE PROTECTION REQUIREMENTS
THIS SECTION REQUIRED FOR ALL PROJECTS

BUILDING ELEMENT FIRE SEPARATION DISTANCE (FEET) RATING REQ'D* PROVIDED (W/HR REDUCTION) DETAIL # & SHEET # DESIGN # FOR RATED ASSEMBLY DESIGN # FOR RATED PENETRATION DESIGN # FOR RATED JOINTS

BEARING WALLS EXTERIOR
NORTH 0 0
EAST
WEST
SOUTH
INTERIOR BEARING WALLS
NONBEARING WALLS & PARTITIONS EXTERIOR
NORTH 0 0
EAST
WEST
SOUTH
INTERIOR NON BEARING WALLS & PARTITIONS
Structural frame, including columns, girders, trusses
Floor construction, including supporting beams & joists. List construction type
Floor Ceiling Assembly 2 2 EXISTING TO REMAIN
Columns Supporting Floors 0 0
Roof construction, including supporting beams & joists
Roof Ceiling Assembly
Columns Supporting Roof
Shafts - Exit Enclosures
Shafts - Other (describe)
Shafts - Other (describe)
Corridor Separation
Occupancy/ Fire Barrier Separation 0 0
Party/Fire Wall Separation
Incidental Use Separation
Tenant/Dwelling/Sleeping unit Separation
Smoke Barrier Separation
Smoke Partition
* INDICATE SECTION NUMBER PERMITTING REDUCTION

SEE ENGINEERING SHEETS

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES DEGREE OF OPENINGS PROTECTION (TABLE 705.8) ALLOWABLE AREA (%) ACTUAL SHOWN ON PLANS (%)

NORTH - 12.3' 15%
SOUTH - 19.6' 25%
EAST AND WEST - >30' NO LIMIT

LIFE SAFETY SYSTEM REQUIREMENTS
THIS SECTION REQUIRED FOR ALL PROJECTS

EMERGENCY LIGHTING: NO YES
EXIT SIGNS: NO YES
FIRE ALARM: NO YES
SMOKE DETECTION SYSTEMS: NO YES PARTIAL
CARBON MONOXIDE DETECTION: NO YES

OCCUPANT LOAD AND EXIT WIDTH
THIS SECTION REQUIRED FOR ALL PROJECTS

USE GROUP AND/OR SPACE DESIGNATION AREA SF AREA PER OCCUPANT NUMBER OF OCCUPANTS EGRESS WIDTH PER OCCUPANT (TABLE 1005.1) STAIR LEVEL REQUIRED WIDTH (SECTION 1005.1) (A/B) X C ACTUAL WIDTH SHOWN ON PLANS EXIT WIDTH (IN) 2,3,4,5 STAIR LEVEL STAIR LEVEL

S-1 1600 300 6 0.30000 0.20000
B 3598 100 36 0.30000 0.20000
Total # of occupants 42 0.30000 0.20000 12.6" 8.4" 34" 34"

1. See Table 1004.1.1 to determine whether net or gross area is applicable.
2. Minimum stairway width (Section 1009.1); min. corridor width (Section 1017.2); min. door width (Section 1008.1.1)
3. Minimum width of exit passageway (Section 1021.2)
4. The loss of 1 means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1005.1)
5. Assembly occupancies (Section 1025)

LIFE SAFETY PLAN REQUIREMENTS

LIFE SAFETY PLAN SHEET #: T3.1
☐ FIRE AND/OR SMOKE RATED WALL LOCATIONS (CHAPTER 7)
☐ ASSUMED AND REAL PROPERTY LINE LOCATIONS (if not on the site plan)
☐ EXTERIOR WALL OPENING AREA WITH RESPECT TO DISTANCE TO ASSUMED PROPERTY LINES (705.8)
☒ OCCUPANCY USE FOR EACH AREA AS IT RELATES TO OCCUPANT LOAD CALCULATION (TABLE 1004.1.2)
☒ OCCUPANT LOADS FOR EACH AREA
☒ EXIT ACCESS TRAVEL DISTANCES (1017)
☒ COMMON PATH OF TRAVEL DISTANCES (TABLES 1006.2.1 & 1006.3.2(1))
☒ DEAD END LENGTHS (1020.4)
☒ CLEAR EXIT WIDTHS FOR EACH EXIT DOOR
☒ MAXIMUM CALCULATED OCCUPANT LOAD CAPACITY EACH EXIT DOOR CAN ACCOMMODATE BASED ON EGRESS WIDTH (1005.3)
☒ ACTUAL OCCUPANT LOAD FOR EACH EXIT DOOR
☐ A SEPARATE SCHEMATIC PLAN INDICATING WHERE FIRE RATED FLOOR/CEILING AND OR ROOF STRUCTURE IS PROVIDED FOR PURPOSES OF OCCUPANCY SEPARATION
☐ LOCATION OF DOORS WITH PANIC HARDWARE (1010.1.10)
☐ LOCATION OF DOORS WITH DELAYED EGRESS LOCKS AND THE AMOUNT OF DELAY (1010.1.9.7)
☐ LOCATION OF DOORS WITH ELECTROMAGNETIC EGRESS LOCKS (1010.1.9.9)
☐ LOCATION OF DOORS EQUIPPED WITH HOLD OPEN DEVICES
☐ LOCATION OF EMERGENCY ESCAPE WINDOWS (1030)
☐ THE SQUARE FOOTAGE OF EACH FIRE AREA (202)
☐ THE SQUARE FOOTAGE OF EACH SMOKE COMPARTMENT FOR OCCUPANCY CLASSIFICATION I-2 (407.5)
☐ NOTE ANY CODE EXCEPTIONS OR TABLE NOTES THAT MAY HAVE BEEN UTILIZED REGARDING THE ITEMS ABOVE

ACCESSIBLE DWELLING UNITS
(SECTION 1107)

TOTAL UNITS ACCESSIBLE UNITS REQUIRED ACCESSIBLE UNITS PROVIDED TYPE A UNITS REQUIRED TYPE A UNITS PROVIDED TYPE B UNITS REQUIRED TYPE B UNITS PROVIDED TOTAL ACCESSIBLE UNITS PROVIDED

N/A

PLUMBING FIXTURE REQUIREMENTS
(TABLE 2902.1)

USE WATERCLOSETS URINAL LAVATORIES SHOWERS DRINKING FOUNTAINS SERVICE SINK
MALE FEMALE UNISEX MALE FEMALE UNISEX /TUBS REGULAR ACCESSIBLE
EXIST'G 0 0 0 0 0 0 0 0 0 0 0 0
NEW 1 1 0 0 1 1 0 0 0 0 0 0
REQ'D 2 2 0 0 2 2 0 0 0 0 0 0

NOTES:

STRUCTURAL DESIGN LOADS
SEE SHEET T2.1 IF NEEDED

ACCESSIBLE PARKING

LOT OR PARKING AREA TOTAL # OR PARKING SPACES # OF ACCESSIBLE SPACES PROVIDED TOTAL # ACCESSIBLE PROVIDED
REQUIRED PROVIDED REGULAR W/ 5' ACCESS AISLE VAN SPACES WITH 132" ACCESS AISLE 8' ACCESS AISLE

N/A

SPECIAL APPROVALS

(DESCRIBE SPECIAL APPROVALS FROM LOCAL JURISDICTIONS, COUNTY OR STATE DEPARTMENT OF HEALTH, NC DEPARTMENT OF INSURANCE, INTERNATIONAL CODE COUNCIL, ETC.)

ENERGY SUMMARY: this section for new, additions change of use, and interior completion. See sheet T2.1 if needed

ELECTRICAL SUMMARY : this section required for all projects that include electrical design. See engineering sheets

MECHANICAL SUMMARY : This section required for all projects that include mechanical design. See engineer sheets

SHELL VARIABLE FORM : Required for all shell, alteration to shell and interior completion permits. See sheet T2.1 if needed.

SPECIAL INSPECTIONS CHAPTER 17 : Special inspections shall be conducted on all projects that fall within building categories and/or contain elements subject to special inspections as prescribed by revised section 1704. See sheet T2.1 if needed.

6601 Six Forks Road, Suite 130
Raleigh, NC 27615
O: 919.878.1660

PROJECT NO. RDU 25-001
DRAWN BY: TJS
CHECKED BY: MEC

REDLINE DESIGN GROUP, PA
REGISTERED PROFESSIONAL ARCHITECT
CERT. NO. 51353
CHARLOTTE, NC

MARC EDWARD CHRISTOPHER
REGISTERED PROFESSIONAL ENGINEER
9885
04/23/2024
NCSBC 2018

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SUIE 100
4 N. BLOUNT ST
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DATE: 04/23/25
REVISIONS:
REVISION 1: 05/05/2025

DRAWING TITLE:
APPENDIX B
SHEET NO.
T1.1

GENERAL CONDITIONS

- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, STANDARD FORM OF THE AMERICAN INSTITUTE OF ARCHITECTS, CURRENT EDITION, SHALL APPLY TO ALL WORK IN THIS CONTRACT, EXCEPT AS SPECIFICALLY MODIFIED BELOW AND/OR BY THE AGREEMENT.
- PRIOR TO BEGINNING WORK, THE GENERAL CONTRACTOR SHALL IDENTIFY ALL CRITICAL DEADLINES REGARDING INFORMATION OR DECISIONS TO BE COORDINATED BY ARCHITECT WHICH MAY AFFECT CONSTRUCTION SCHEDULE. ALSO IDENTIFY ALL LONG LEAD TIMES ON ITEMS THAT WILL AFFECT THE SCHEDULE. GC TO TO SUGGEST SIMILAR PRODUCTS WHICH WOULD BE A GOOD SUBSTITUTE FOR LONG LEAD TIME ITEMS.
- ALL WORK PERFORMED BY THE CONTRACTOR/SUB-CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF MUNICIPAL, LOCAL OR FEDERAL AND STATE LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- WHERE THE CONTRACT, NOTES OR DRAWINGS CALL FOR ANY WORK OF A MORE STRINGENT NATURE THAN THAT REQUIRED BY THE BUILDING CODE OR ANY OTHER DEPARTMENT HAVING JURISDICTION OVER THE WORK, THE WORK OF THE MORE STRINGENT NATURE CALLED FOR BY THE CONTRACT, CONSTRUCTION NOTES OR DRAWINGS SHALL BE FURNISHED IN ALL CASES.
- THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT, & RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. HE SHALL REPLACE OR REPAIR AS DIRECTED ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WHICH SHALL APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF THE SUBSTANTIAL COMPLETION.
- ALL DRAWINGS AND ALL CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.
- THE GENERAL CONTRACTOR IS WHOLLY RESPONSIBLE FOR THE COORDINATION AND SCHEDULING OF THE WORK EFFORT FOR ALL SUBCONTRACTORS, CRAFTSMAN, AND TRADESMAN REQUIRED TO COMPLETE THE JOB.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL WORK CALLED FOR IN THESE DRAWINGS.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS BETWEEN THE DRAWINGS, THESE NOTES, AND FIELD CONDITIONS, BEFORE COMMENCING WITH ANY WORK, AND REQUEST CLARIFICATION PRIOR TO FINAL BIDDING.
- BEFORE SUBMITTING A PROPOSAL, ALL CONTRACTORS SHALL VISIT THE PREMISES, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK AND THE DIFFICULTIES THAT ATTEND ITS EXECUTION.
- THE SUBMISSION OF A PROPOSAL SHALL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE AND LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIAL REQUIRED FOR DIFFICULTIES ENCOUNTERED, WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE, WILL NOT BE RECOGNIZED.
- EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AS IT RELATES TO THEIR WORK.
- ALL CONTRACTORS SHALL CONTACT THE BUILDING MANAGEMENT TO DETERMINE THE RULES OF THE BUILDING OWNER FOR CONSTRUCTION AND TO DETERMINE WHEN AND HOW DELIVERIES ARE TO BE MADE (SEE BELOW). WHAT PHASE OF CONSTRUCTION CAN BE DONE ON REGULAR OR OVERTIME, AND IN GENERAL, ANY SPECIAL BUILDING REQUIREMENTS WHICH WILL AFFECT THEIR WORK. (IF OVERTIME WORK IS REQUIRED BY ANY TRADE, APPROVAL MUST BE OBTAINED PRIOR TO THE EXECUTION OF ANY WORK, INCLUDING COST) THE GENERAL INTENT IS THAT ALL CONSTRUCTION WORK SHALL BE DONE ON REGULAR TIME EXCEPT NOISE GENERATING CONSTRUCTION.
- EACH CONTRACTOR SHALL MAKE ALL REQUIRED ARRANGEMENTS FOR DELIVERY OF EQUIPMENT AND/OR MATERIALS. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO CHECK THE RULES AND REGULATIONS GOVERNING WORK ON THE PREMISES INCLUDING THE FOLLOWING:
 - DATE AND TIME OF DELIVERY SHALL BE ESTABLISHED IN CONJUNCTION WITH THE PERSON HAVING JURISDICTION OVER PREMISES (OVERTIME CHARGES AND/OR ANY NECESSARY EXPENSE SHALL BE PAID BY CONTRACTOR REQUIRING SERVICE.
 - BUILDING CONDITIONS, INCLUDING SIZE AND LOADING CAPACITY OF ELEVATORS, SIZE OF DOORWAYS, CORRIDORS, WINDOW OPENINGS, ETC. SHALL BE CHECKED FOR TIMES BEING DELIVERED BY CONTRACTOR REQUESTING DELIVERY.
 - ALL CHARGES INVOLVING THE INSTALLATION AND/OR OPERATION OF A HOIST SYSTEM, IF REQUIRED, SHALL BE BORNE BY THE CONTRACTOR USING THE SYSTEM. CHARGES INVOLVING THE TEMPORARY REMOVAL AND REINSTALLATION OF WINDOW SASH AND/OR FIXED PANELS REQUIRED FOR DELIVERY SHALL BE BORNE BY THE CONTRACTOR.
 - CONTRACTOR TO INSTALL ELEVATOR PROTECTION BEFORE USING ELEVATORS FOR MATERIALS.
- THE GENERAL CONTRACTOR, HIS SUBCONTRACTOR, AND ANY OTHER CONTRACTOR INVOLVED IN THIS PROJECT SHALL TAKE NOTE THAT ANY COST CAUSED BY DEFECTIVE OR BLT-TIME WORK, AS A RESULT OF, BUT NOT LIMITED TO INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY THE PARTY RESPONSIBLE THEREFORE.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS, BOTH FROM HIM SELF AND HIS SUBCONTRACTORS EMPLOYEES, AND PROVIDE FOR ITS REMOVAL FROM THE SITE.
- THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN, THAT WHICH SHALL BE FURNISHED, INSTALLED, AND CONNECTED BY THE CONTRACTOR U.N.O.
- WHERE THE TERMS "APPROVED EQUAL," "OTHER APPROVED", "EQUAL TO," "ACCEPTABLE" OR THE OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF THE ARCHITECT AND MUST BE SUBMITTED PER NOTE 21 BELOW.
- THE GENERAL CONTRACTOR SHALL REVIEW, DATE, SIGN, AND SUPPLY CUT SHEET SPECIFICATIONS OF ALL FIXTURES AND EQUIPMENT CALLED FOR ON DRAWINGS, I.E. LIGHT FIXTURES, HARDWARE, ETC.
- THE GENERAL CONTRACTOR SHALL HAVE TEN WORKING DAYS FROM AWARD OF THE CONTRACT TO SUBMIT SUBSTITUTIONS OF SPECIED PRODUCTS OR WORK FOR REVIEW BY THE ARCHITECT. HE SHALL INCLUDE CUT SHEETS WITH SPECIFICATIONS AND REASONS FOR SUBSTITUTION. THE ARCHITECT SHALL RESPOND IN TEN WORKING DAYS TO SUBMITTAL. NO SUBSTITUTIONS SHALL BE ACCEPTED AFTER THE INITIAL TIME LIMIT HAS PASSED.
- THE GENERAL CONTRACTOR SHALL REVIEW, DATE, SIGN, AND SUBMIT ALL SHOP DRAWINGS AND FIXTURE CUTS TO ARCHITECT FOR REVIEW. THE ARCHITECT SHALL HAVE 40 WORKING HOURS (5 DAYS) FOR SHOP DRAWING TURN-AROUND TIME FROM DATE OF RECEIPT. ALL SHOP DRAWINGS AND CUTS SIGNED "REVIEWED" SHALL SUPERSEDE ORIGINAL DRAWINGS IN DESIGN APPEARANCE ONLY. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS IN THEIR DRAWINGS.
- ALL WOODWORK, BLOCKING, GROUNDS, ETC. ARE TO BE FIRE RETARDANT TREATED.
- THE GENERAL CONTRACTOR SHALL EXERCISE STRICT DUST CONTAINMENT CONTROL OVER JOB TO PREVENT DIRT OR DUST FROM LEAVING THE JOB SITE.
- THE GENERAL CONTRACTOR SHALL PROPERLY PROTECT THE BUILDING MANAGEMENT'S AND ANY ADJOINING PROPERTY OR WORK AND ANY DAMAGE TO SAME CAUSED BY HIS WORK OR WORKMEN MUST BE REPAIRED WITHOUT DELAY. PATCHING AND REPLACING OF DAMAGED WORK SHALL BE DONE BY THE CONTRACTOR WHO IS RESPONSIBLE FOR THE DAMAGE.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORK UNTIL TURNED OVER TO THE CLIENT.
- THE CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND THE GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO APPLY TO THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF PERMITTED CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- THE GENERAL CONTRACTOR UPON ACCEPTANCE AND APPROVAL OF THE DRAWINGS ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS, AND WORKMANSHIP OF THE WORK DESCRIBED IN THESE NOTES AND DRAWINGS, AND HE WILL BE EXPECTED TO COMPLY WITH THE SPIRIT, AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.
- UPON COMPLETION OF THE WORK THE GENERAL CONTRACTOR SHALL:
 - MAKE INSPECTIONS
 - PREPARE RECORD DOCUMENTATION.
 - ASSEMBLE OPERATIONS AND MAINTENANCE MANUALS
 - PREPARE AND COORDINATE COMPLETION OF PUNCH LIST
 - COORDINATION OF SYSTEMS AND EQUIPMENT STARTUP
 - ARRANGE SYSTEMS AND EQUIPMENT DEMONSTRATION
 - ASSEMBLE CLOSE OUT DOCUMENTS
 - COMPLETE FINAL CLEANING
 - PROVIDE DESIGNER OF RECORD WITH MARKED UP AS-BUILT DRAWINGS
- ALL EXISTING APPURTENANCES, NOT BEING REMOVED, SHALL BE REFINISHED, LOOSE ITEMS TIGHTENED AND ANY MISSING OR BROKEN PARTS REPLACED BY THE GENERAL CONTRACTOR TO ACHIEVE A FINISHED, FIRST CLASS INSTALLATION AND "LIKE NEW" APPEARANCE.

- ALL REQUIRED EXITS, WAYS OF APPROACH THERETO, AND WAYS OF TRAVEL FROM THE EXIT INTO THE STREET SHALL CONTINUOUSLY BE MAINTAINED FREE FROM ALL OBSTRUCTIONS AND IMPEDIMENTS FOR UNOBSTRUCTED EGRESS IN THE CASE OF FIRE OR OTHER EMERGENCY. ALL EXIT WAYS SHALL COMPLY WITH THE ADA AND NCHC CODES.
- DURING THE ENTIRE PERIOD OF CONSTRUCTION, ALL EXISTING EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED AND COMPLY WITH ADA AND NCHC CODES.
- WHERE OPENINGS OCCUR IN EXISTING FIRE RATED AREAS OR PARTITIONS DUE TO EXISTING OR NEW CONDUIT RUNS, ETC. AND/OR WHERE EXISTING FIREPROOFING HAS BEEN REMOVED AS A RESULT OF EXISTING OR NEW CONSTRUCTION WORK THE GENERAL CONTRACTOR SHALL CLOSE AND/OR PATCH AS REQUIRED. ALL OPENINGS TO MATCH IMMEDIATE ADJACENT AREAS IN MATERIAL, FINISH, AND FIRE RATING.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHERS AS REQUIRED BY FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AND BY FIRE DEPARTMENT REGULATIONS.
- INSURANCE AND BONDING FOR THE PROJECT SHALL BE AS DIRECTED BY AND TO THE SATISFACTION OF THE OWNER.
- THE GENERAL CONTRACTOR SHALL VERIFY SIZE, ELECTRICAL REQUIREMENTS, LOCATION AND CHARACTERISTICS OF ALL WORK AND/OR EQUIPMENT SUPPLIED BY THE OWNER OR OTHERS, WITH THE MANUFACTURER OR SUPPLIER PRIOR TO THE START OF RELATED WORK.
- THE GENERAL CONTRACTOR SHALL SUBMIT ALL APPLICATIONS FOR PAYMENT PER THE "OWNER CONTRACTOR" AGREEMENT.
- THE GENERAL CONTRACTOR SHALL SEE THAT ALL SUBCONTRACTORS RECEIVE COMPLETE SETS OF WORKING DRAWINGS OR ASSUME FULL RESPONSIBILITY FOR COORDINATION OF WORK WHEN COMPLETE SETS ARE NOT AVAILABLE TO SUB-CONTRACTORS.
- MANUFACTURER'S NAME, TRADEMARK, LOGOS, ETC. SHALL NOT BE VISIBLE TO THE PUBLIC.
- ALL ASSEMBLIES OR DETAILS INDICATED AS ALTERNATES TO BASE REQUIREMENTS ARE TO BE PRICED INDIVIDUALLY.
- WHERE SPECIAL ITEMS REQUIRE EXTENDED LEAD TIME PREVENTING INSTALLATION BY PROJECTED MOVE-IN DATE, CONTRACTOR IS TO PROPOSE AN AVAILABLE ALTERNATE AND PRICING FOR APPROVAL BY THE ARCHITECT AND TENANT, AS WELL AS TO PREPARE PRICING FOR TEMPORARY ASSEMBLIES.
- PHILLIPS ARCHITECTURE DOES NOT EXPRESS OR IMPLY ANY WARRANTY OR GUARANTEE IN REGARDS TO THE INTERPRETATION OR CHANGES TO THE ADA. THE ARCHITECT HAS TAKEN GREAT CARE IN PROVIDING GENERAL COMPLIANCE WITH THE INTENT OF THE ADA. HOWEVER, PHILLIPS ARCHITECTURE AND OUR RETAINED CONSULTANTS WILL ASSUME NO LEGAL RESPONSIBILITY FOR THE OUTCOME OF DECISIONS, CONTRACTS, OR COMMITMENTS MADE ON THE BASIS OF THESE DOCUMENTS.

SUPERVISION

- A REPRESENTATIVE FOR THE GENERAL CONTRACTOR MUST BE PRESENT FOR ALL SPRINKLER AND FIRE ALARM SHUTDOWNS AND REACTIVATIONS.
- THE GENERAL CONTRACTOR'S REPRESENTATIVE SHALL BE THE LAST PERSON AT THE CONSTRUCTION SITE EACH DAY TO CONFIRM ALL LIGHTS ARE OFF AND THE COMMON AREAS ARE CLEAN.
- ALL AFTER HOURS DELIVERIES SHALL BE SUPERVISED BY THE GENERAL CONTRACTOR.
- A GENERAL CONTRACTOR REPRESENTATIVE MUST BE PRESENT ON SITE TO SUPERVISE ALL WORK PERFORMED IN OCCUPIED SPACES UNLESS OTHERWISE DIRECTED BY OWNER.
- THE GENERAL CONTRACTOR SHALL HAVE A REPRESENTATIVE ON-SITE EACH MORNING FOR DELIVERIES, UNLOCKING OF DOORS, AND DIRECTING SUB-CONTRACTORS.
- THE GENERAL CONTRACTOR SHALL HAVE A REPRESENTATIVE ON-SITE TO DIRECT SUBCONTRACTORS DURING THE PUNCH LIST COMPLETION PROCESS.
- THE GENERAL CONTRACTOR MUST SPECIFY AND RECEIVE APPROVAL ON HOW LARGE MATERIAL DELIVERIES ARE TO BE ACCOMPLISHED. (I.E. SCISSOR LIFT THOROUGH WINDOW, UP STAIRWELL, ELEVATOR, ETC.)
- THE GENERAL CONTRACTOR SHOULD INSPECT THE JOB SITE WITH THE OWNERS REPRESENTATIVE BEFORE CONSTRUCTION BEGINS TO DOCUMENT ANY PRE-EXISTING DAMAGE.

DEMOLITION

- THE GENERAL CONTRACTOR SHALL INSPECT THE SITE AND CALL ATTENTION TO ANY ENVIRONMENTAL HAZARDS WITH THE BUILDING MANAGEMENT. ALL SAID HAZARDS ARE TO BE REMOVED AT THE BUILDING'S EXPENSE. REMOVAL IS TO ADHERE TO THE ENVIRONMENTAL PROTECTION AGENCY'S GUIDELINES.
- THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIAL AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED IN THE DRAWINGS OR AS OTHERWISE DIRECTED BY PHILLIPS ARCHITECTURE.
- THE GENERAL CONTRACTOR SHALL FURNISH BUILDING OWNER WITH A COMPLETE INVENTORY LIST OF ALL ITEMS THAT CAN BE REUSED AND/OR STORED IN BUILDING STOCK IF REQUESTED.
- THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE BUILDING FOR THE DEMOLITION AND REMOVAL OF DEBRIS, INCLUDING OVERTIME WORK REQUIRED.
- ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO TENANT OR AS OTHERWISE INDICATED.
- IN ALL AREAS WHERE DEMOLITION (REMOVAL OF TILE, CARPETING, TACK STRIPS, PARTITIONS, ETC.) CAUSES AN UNEVENNESS IN SLAB, THE CONTRACTOR SHALL PATCH TO LEVEL THE SLAB TO RECEIVE NEW FINISHED FLOORING. REFER TO NOTE 12.1
- THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE BUILDING OWNER, INCLUDING BUT NOT LIMITED TO WINDOWS, CEILING TILE, PUBLIC TOILETS, ELEVATORS, DOORS, ELECTRICAL AND AIR CONDITIONING EQUIPMENT, CONVEYOR ENCLOSURES, ETC.
- THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER CONSTRUCTION AS REQUIRED.
- THE GENERAL CONTRACTOR SHALL CAP AND FLUSH OFF BEHIND FINISH SURFACES ALL PROJECTING PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS WHICH ARE BEING ABANDONED.
- THE GENERAL CONTRACTOR IS TO EITHER PATCH WITH SHEETROCK OR CAP WITH BLANK PLATE ABANDONED ELECTRICAL AND DATA OUTLETS ON WALLS. GENERAL CONTRACTOR TO CONSULT WITH OWNER REGARDING WHICH METHOD HE WOULD LIKE TO USE.
- UPON COMPLETION OF THE DEMOLITION WORK, THE GENERAL CONTRACTOR SHALL PROVIDE THAT ALL AREAS BE LEFT BROOM CLEAN.

PATCHING & CUTTING

- THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, FITTING, & PATCHING WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY, AND FIT TO RECEIVE OR BE RECEIVED BY WORK OF OTHER CONTRACTORS SHOWN UPON OR REASONABLY IMPLIED BY THE DRAWINGS AND NOTES.
- THE GENERAL CONTRACTOR SHALL SURVEY ALL EXISTING FINISHED SURFACES TO INCLUDE: CORNER BEADS, STOPS, ETC. FOR CHIPS, CRACKS, HOLES, DAMAGED SURFACES, AND ANY OTHER DEFECTS CAUSING AN APPEARANCE DIFFERENT FROM A NEW FIRST CLASS FINISHED INSTALLATION. THESE DEFECTIVE SURFACES SHALL BE REPAIRED, OR IF BEYOND REPAIRING THEN THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING AND INSTALL NEW SURFACES TO THE SATISFACTION OF THE ARCHITECT.
- ALL DAMAGED EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WORK SHOWN ON DRAWINGS SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT AREAS IN MATERIALS, FIRE RATING, FINISH AND COLOR, U.N.O
- ALL FIRE PROOFING REMOVED FROM COLUMNS AND BEAMS DURING THE COURSE OF CONSTRUCTION SHALL BE REPLACED WITH THE SAME MATERIAL AND RATING AS THAT WHICH WAS REMOVED.

PARTITIONS

- OPENINGS IN FIRE RATED WALLS SHALL HAVE FIRE DAMPERS AS REQUIRED BY LOCAL BUILDING CODES.
- THE GENERAL CONTRACTOR SHALL PROVIDE SUFFICIENT FRAMING FOR ALL WALL PENETRATIONS FOR DUCT WORK, ALL OPENINGS SHALL BE PROPERLY SEALED FOR SOUNDPROOFING AND VIBRATION.
- THE GENERAL CONTRACTOR WILL NOT BE ENTITLED TO EXTRAS FOR OPENING ANY PARTITIONS BECAUSE OF TELEPHONE INSTALLATION, SECURITY SYSTEMS, OR COMPUTER DATA SYSTEMS, GC TO COORDINATE WITH SUBCONTRACTORS TO BE IN WALLS WHEN OPEN.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL SLEEVES AND FIRE PROOFING AT ANY PENETRATIONS IN A RATED PARTITION AS REQUIRED BY STATE AND LOCAL CODES.

CEILING

- THE GENERAL CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY AND ALL DAMAGED CEILING TILES WHICH ARE REMOVED TO FACILITATE PLENUM SYSTEM INSTALLATIONS.
- THE GENERAL CONTRACTOR SHALL NOT BE ENTITLED TO EXTRAS FOR OPENING ANY CEILING BECAUSE OF TELEPHONE INSTALLATION, SECURITY SYSTEMS, OR COMPUTER DATA SYSTEMS, GC TO COORDINATE WITH SUBCONTRACTORS TO BE IN CEILING WHEN PLENUM IS OPEN.

CABINET WORK

- REFERENCE SHEET ARCHITECTURAL PLANS FOR MILLWORK FINISH AND MATERIAL SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF THE CABINET CONTRACTOR.
- ALL "INSTALLED" CABINERY SHALL COMPLY WITH LOCAL BUILDING CODES.
- ALL CABINET FINISHES SHALL BE BUILT AS NOTED ON ARCHITECTURAL PLANS.
- ALL "INSTALLED" CABINETS SHALL BE SCRIBED TO WALL OR CEILING AS REQUIRED. CABINET CONTRACTOR TO CHECK JOB PROGRESS AND COORDINATE WITH OTHER TRADES INVOLVED.
- THE CABINET CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT AS REQUESTED.
- THE CABINET CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE.
- THE CABINET CONTRACTOR SHALL PROVIDE RUBBER BUMPERS ON ALL WOOD DOORS.
- WHERE MEMBERS ARE MITERED OR BUTTED, THEY SHALL BE JOINED AND SECURED IN A MANNER TO ENSURE AGAINST THE JOINT OPENING.
- ALL FINISHED WORK, AS FAR AS PRACTICAL, SHALL BE ASSEMBLED AND FINISHED IN THE SHOP AND DELIVERED TO THE BUILDING READY TO ERECT IN PLACE.
- ALL THE WORK SHALL BE FABRICATED, ASSEMBLED, FINISHED, AND ERECTED TO MEET CURRENT AWI STANDARDS. REFERENCE SECTION 6400.
- ALL MILLWORK SHOP DRAWINGS ARE TO CALL OUT ALL MATERIALS AND FINISHES, ALL JOINTS, CORNERS, AND EDGES ARE TO BE DETAILED IN INDIVIDUAL DETAILS. ALL DIMENSIONS, CRITICAL OR OTHERWISE, ARE TO BE CALLED OUT ON THE SHOP DRAWINGS.
- ALL MILLWORK, SPECIAL PRODUCTS, AND SPECIAL ASSEMBLIES ARE SUBJECT TO SUBMITTAL AND SHOP DRAWINGS PREPARATION FOR REVIEW. SHOP DRAWINGS AND SUBMITTALS SHALL NOT BE WAIVED UNLESS WRITTEN PERMISSION TO DO SO IS GIVEN BY THE ARCHITECT.
- THE MILLWORK CONTRACTOR SHALL COORDINATE ALL MILLWORK INSTALLATIONS WITH OTHER SUB-CONTRACTORS AND SHALL BEAR ANY COST ASSOCIATED WITH RECONFIGURATION OF MILLWORK IN CONFLICT WITH THE OTHER TRADES.
- THE CABINET CONTRACTOR SHALL COORDINATE THE DELIVERY OF ALL MILLWORK ITEMS TO ENSURE THAT THEY WILL FIT THROUGH EXISTING DOORS AND INTO EXISTING ELEVATOR COMPARTMENTS. MILLWORK SHALL BE FABRICATED, WHOLE OR IN COMPONENTS AS NECESSARY TO ACCOMMODATE DELIVERY INTO THE BUILDING.

DOORS & HARDWARE

- THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL DOORS AS SPECIFIED ON DRAWINGS, U.N.O.
- CONTRACTOR IS TO COORDINATE KEYING REQUIREMENTS WITH BUILDING OWNER/MANAGER PRIOR TO ORDERING CYLINDERS FOR LOCKSETS. KEYING INFORMATION SHALL INCLUDE HIERARCHY OF SECURITY, NUMBER OF MASTER KEYS. REFERENCE NOTE 10.4
- ALL LOCK SETS SHALL BE CODED AND/OR KEYED IN ACCORDANCE WITH THE BUILDING REQUIREMENTS. CODES AND/OR KEYS ARE TO BE DELIVERED TO TENANT PROPERLY TESTED AND/OR TAGGED. THE NUMBER OF MASTER AND PASS KEYS SHALL BE COORDINATED WITH BUILDING MANAGEMENT.
- WHEN REQUESTED BY ARCHITECT DETAILED HARDWARE SCHEDULES SHALL BE SUBMITTED FOR REVIEW. FABRICATION OF MATERIAL SHALL NOT BE COMMENCED UNTIL SUCH REVIEW HAS BEEN RETURNED.

PAINTING & WALL COVERING

- WALLS SHALL INCLUDE SURFACES FROM FLOOR TO CEILING, INCLUDING PILASTERS, FASCIAS, JAMBS, BUCKS, REVEALS, RETURNS, AND ALL VERTICAL SURFACES NOT INCLUDED IN CEILING.
- ALL WALLS AND CEILINGS SHALL BE PROPERLY PREPARED, SPECKLED, SANDED, ETC. TO PROVIDE A PERFECTLY SMOOTH FINISH AND SURFACE READY FOR PRIME AND PAINT.
- ALL WOOD SHELVING AND PAINTED DOORS SHALL RECEIVE PRIMING, SANDING, AND TWO FULL COATS OF SEMI-GLOSS ENAMEL FREE OF BRUSH MARKS.
- THE CONTRACTOR SHALL REMOVE ALL ELECTRICAL SWITCH PLATES AND OUTLET PLATES SURFACE HARDWARE, ETC. PRIOR TO PAINTING, PROTECTING AND REPLACING SAME WHEN PAINTING IS COMPLETE.
- THE CONTRACTOR SHALL USE A LATEX BASE PAINT (UNLESS OTHERWISE NOTED). COLORS AND FINISHES SELECTED BY THE ARCHITECT. HE SHALL PROPERLY PREPARE ALL SURFACES TO RECEIVE ONE (1) PRIME COAT AND TWO (2) FINISH COATS OF PAINT.
- THE GENERAL CONTRACTOR SHALL INSTALL WALL COVERINGS AS PER MANUFACTURERS SPECIFICATIONS WHERE DESIGNATED. ALL WALL COVERINGS SHALL BE SMOOTH, WITH NO WRINKLES, BUBBLES, OR LOOSE EDGES. ALL PASTE AND BRUSH MARKS SHALL BE THOROUGHLY REMOVED. WALL COVERING ADJOINING WOOD OR METAL TRIM SHALL BE CUT STRAIGHT AND SQUARE. ALL WORKMANSHIP WHICH IS NOT JUDGED TO BE FIRST QUALITY BY THE ARCHITECT WILL NOT BE ACCEPTED.
- ALL EXISTING LOOSE PAINT SHALL BE REMOVED AND SPECKLED.
- ALL EXISTING UNEVENNESS IN ALL PARTITIONS SHALL BE Sanded OR CHIPPED AWAY TO ENSURE A PERFECTLY EVEN SURFACE.
- THE CONTRACTOR SHALL EXAMINE ALL AREAS OF CONSTRUCTION AFTER COMPLETION OF WORK BY ALL TRADES (INCLUDING TELEPHONE INSTALLATION, FLOORING, ETC.) AND INDICATE ALL NECESSARY "TOUCH UP" PAINTING AND/OR PATCHING.
- IF IS THE INTENT OF THE DRAWINGS THAT ALL EXPOSED SURFACES RECEIVE FINISHES AS INDICATED ON DRAWINGS AND SPECIFICATIONS UNLESS SPECIFICALLY NOTED OTHERWISE, ANY SURFACE WHICH DO NOT HAVE A SPECIFIC FINISH NOTED OR ARE NOTED TO REMAIN UNFINISHED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND FINISHED PER THE ARCHITECT'S INSTRUCTIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL LOCAL V.O.C. (VOLATILE ORGANIC COMPOUNDS) REGULATIONS FOR PRIMERS, PAINTS, SOLVENTS, AND ADHESIVES.

FLOORING

- THE GENERAL CONTRACTOR SHALL FLASH PATCH ALL CRACKS, HOLES, OR OTHER IMPERFECTIONS (PROJECTIONS SHALL BE REMOVED AND PATCHED) TO PROVIDE A CONTINUOUS SMOOTH FLOOR SURFACE. LEVEL NOT TO EXCEED 1/4" IN 10'-0" NON-ACCUMULATIVE.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AFTER FLOOR PATCHING IS DONE AND RECEIVE THEIR REVIEW PRIOR TO INSTALLATION OF FINISHED FLOORING.
- THE NEW FLOORING IS TO BE INSTALLED BY GENERAL CONTRACTOR AND SHALL BE AS SPECIFIED ON THE CONSTRUCTION DOCUMENTS.
- ALL FLOORING TO BE INSTALL IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION. THE CONTRACTOR SHALL INSPECT THE EXISTING FINISHES AND PROVIDE ALL NECESSARY SURFACE PREPARATIONS REQUIRED.
- ALL WORKMANSHIP SHALL BE OF THE BEST QUALITY AND WHEN THE WORK IS COMPLETE, IT SHALL BE FREE FROM BUCKLES, BUBBLES, OPEN JOINTS, OR OTHER IMPERFECTIONS. SEAMS SHALL BE KEPT IN ACCURATE ALIGNMENT ALONG BOTH COORDINATES. TILE HAVING CHIPPED OR ROUNDED CORNERS WILL BE REJECTED AND IF LAID, SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE TILE.
- TILE SHALL BE LAID WITH PATTERN IN ONE DIRECTION AND COURSES PARALLEL TO WALLS, U.N.O. THE TILE SHALL BE SECURELY CEMENTED AND SHALL BE LAID WITH TIGHT JOINTS.
- SPACES BEING SURFACED SHALL BE CLOSED TO TRAFFIC AND OTHER WORK DURING THE LAYING OF FLOORING.
- UPON COMPLETION, ALL WORK SHALL BE CLEANED BY THE CONTRACTOR, REMOVING ALL SPOTS OF ADHESIVE AND SURFACE STAINS AND ALL SCRAPS. CARTONS AND CONTAINERS SHALL BE REMOVED FROM THE BUILDING.

- THE GENERAL CONTRACTOR SHALL CLEAN AND GIVE RESIDENT TILE FLOOR TWO (2) APPLICATIONS OF AN APPROVED NONSLIP WAX WHICH IS TO BE THOROUGHLY MACHINE BUFFED AND LEFT IN CONDITION ENTIRELY SATISFACTORY TO ARCHITECT/OWNER.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE PROTECTION FOR ALL RESIDENT FLOORING WORK FOR THE DURATION OF THE CONTRACT, AND REMOVE ALL PROTECTION PRIOR TO PUNCH LIST.
- TILE FLOORING CONTRACTOR TO SUBMIT ACTUAL DIMENSIONED PLAN FOR APPROVAL PRIOR TO CONSTRUCTION.
- CARPET CONTRACTOR TO PROVIDE SEAMING DIAGRAM TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION IF REQUESTED.
- CONTRACTOR TO COORDINATE ALL FLOORING CONTRACTORS INVOLVED TO ASSURE FLUSH INSTALLATION OF ALL VARYING FLOOR MATERIALS USED. ALL TRANSITIONS SHALL BE CENTERED ON DOORS AND THE METHODS APPROVED BY THE ARCHITECT.
- CONTRACTOR SHALL PROVIDE AND INSTALL TRANSITION STRIPS AT VCT AND CARPET TRANSITIONS, IF TRANSITION OCCURS AT A DOOR LOCATION THE TRANSITION SHALL BE CENTERED ON THE DOOR. COLOR IS TO MATCH ADJACENT FLOORING BASE TRIM.

PLUMBING

- FURNISH, INSTALL, PROVIDE AND MAKE OPERATIVE ALL EQUIPMENT, MATERIALS, SUPERVISION, LABOR AND ANY AND ALL ITEMS NECESSARY FOR THE PROPER INSTALLATION OF A CORRECTLY FUNCTIONING PLUMBING SYSTEM AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. EQUALS SHALL BE ACCEPTED FOR EQUIPMENT UNLESS OTHERWISE NOTED.
- ORDINANCES, PERMITS AND CODES: THE WORKMANSHIP AND MATERIALS COVERED BY THESE SPECIFICATIONS SHALL CONFORM TO ALL REGULATIONS OF ALL THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, CONNECTION AND INSPECTION FEES AS REQUIRED FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM.
- THE LOCATION OF PIPING AND EQUIPMENT, AS SHOWN ON THE DRAWINGS, IS DIAGRAMMATIC AND SCHEMATIC AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE HIS OWN WORKING LAYOUT TO ELIMINATE ALL STRUCTURAL AND ARCHITECTURAL CONFLICTS IN THE BUILDING.
- VERIFY ALL MEASUREMENTS AT THE SITE AND COORDINATE ALL WORK SO THAT IT DOES NOT INTERFERE WITH THE WORK OF OTHER TRADES.
- INSULATION: ALL INSULATION, INCLUDING JACKET, OR FACING AND ADHESIVE USED TO ADHERE FACING OR JACKET TO THE INSULATION SHALL HAVE A COMPOSITE FIRE AND SMOKE HAZARD RATING TESTED BY THE PROCEDURE RECOMMENDED BY ASTM E-84, NFPA 225 OR U.L. 723, NOT EXCEEDING: FLAME SPREAD 25, SMOKE DEVELOPED 50. ALL INSULATION ACCESSORIES SHALL ALSO HAVE THE RATING LISTED ABOVE.
- DOMESTIC WATER PIPES SHALL BE INSULATED WITH ONE (1) INCH THICK PREFORMED HIGH DENSITY FIBERGLASS WITH FACTORY APPLIED VAPOR BARRIER AND SELF SEALING LAP, SUCH AS OWENS CORNING 25 ASJ.
- SANITARY WASTE AND VENT PIPE SHALL BE CAST IRON WITH NO-HUB FITTINGS OR SCHEDULE 40 PVC.
- NATURAL GAS PIPE SHALL BE SCHEDULE 40 BLACK STEEL WITH THREADED FITTINGS. INSTALL PRESSURE REDUCING VALVES WHERE REQUIRED. SYSTEM IS DESIGNED FOR 1/2 PSIG PRESSURE. INSTALL IN ACCORDANCE WITH NFPA 54.

CHANGES IN THE WORK

- THE TENANT WITHOUT INVALIDATING THE CONTRACT, MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK, THE CONTRACT SUM BEING ADJUSTED ACCORDINGLY. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT EXCEPT THAT ANY CLAIM FOR EXTENSIONS OF TIME CAUSE THEREBY SHALL BE ADJUSTED AT THE TIME OF ORDERING SUCH CHANGE.

CLEANING

- THE "EXISTING TO REMAIN", EXISTING RELOCATED, OR NEW ITEMS INSTALLED BY THE GENERAL CONTRACTOR IN ADDITION TO BEING AMPLY PROTECTED THROUGHOUT THE PERIOD OF CONSTRUCTION SHALL BE THOROUGHLY CLEANED TO THE SATISFACTION OF THE ARCHITECT/OWNER PRIOR TO BEING TURNED OVER TO THE TENANT.
- THE GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN COVE BASE AND STRAIGHT BASE, ALL WALL COVERING INSTALLATIONS, ALL DOORS AND FRAMES, ETC., TO THE SATISFACTION OF THE ARCHITECT/OWNER PRIOR TO BEING TURNED OVER TO THE TENANT.
- THE BASE BUILDING TOILET FACILITIES SHALL BE AMPLY PROTECTED THROUGHOUT THE PERIOD OF CONSTRUCTION AND ALL DAMAGED OR MALFUNCTIONING ITEMS SHALL BE REPAIRED, REPLACED, AND/OR THOROUGHLY CLEANED TO THE SATISFACTION OF THE ARCHITECT/OWNER PRIOR TO BEING TURNED OVER TO THE TENANT.

TRANSPORTATION

- THE GENERAL CONTRACTOR AGREES TO PAY ALL TRANSPORTATION CHARGES ON ALL HIS MATERIAL OR EQUIPMENT TO THE POINT OF USE AND SHALL BE RESPONSIBLE FOR ALL UNLOADING, CHECKING, AND STORING OF SAME IN CONNECTION WITH CONTRACT.

CLAIMS FOR EXTRA WORK

- IF THE GENERAL CONTRACTOR CLAIMS THAT ANY REVISION TO DRAWINGS INVOLVE EXTRA COST, UNDER THIS CONTRACT, HE SHALL GIVE THE ARCHITECT WRITTEN NOTICE THEREOF WITHIN A REASONABLE TIME AFTER RECEIPT OF SUCH INSTRUCTIONS, IN ANY EVENT BEFORE PROCEEDING TO EXECUTE THE WORK AND THE PROCEDURE SHALL THEN BE AS PROVIDED FOR IN THE "CHANGES IN THE WORK". NO SUCH CLAIMS SHALL BE VALID UNLESS SO MADE UNLESS OTHERWISE AGREED, NO PAYMENT ON SUCH BILLS WILL BE MADE UNTIL FINAL SETTLEMENT.
- ALL CLAIMS FOR ADDITIONAL WORK WILL BE SUBMITTED IN WRITING FOR REVIEW BY THE ARCHITECT OR OWNER AND SHOULD INCLUDE A COMPLETE DESCRIPTION OF THE WORK BEING PERFORMED, MATERIALS BEING USED, THE CONSTRUCTION SPACE NUMBER OF THE AREA BEING WORKED IN, AND THE AUTHORIZATION UNDER WHICH THE WORK IS BEING PERFORMED.

REMODELING

- ALL EXISTING CONSTRUCTION INDICATED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE AND DIRT. UPON COMPLETION OF NEW CONSTRUCTION ALL EXISTING ITEMS REMAINING SHALL BE TOUCHED-UP, REPAIRED, OR REPLACED AND CLEANED TO HAVE "LIKE NEW" CONDITION FOR FINAL PUNCH.
- AT CONTRACTOR'S DISCRETION WINDOW TREATMENTS MAY BE REMOVED AND STORED TO PREVENT DAMAGE. CLEAN AND REPAIR WINDOW TREATMENTS BEFORE REINSTALLING.
- ALL ITEMS INDICATED TO BE REMOVED AND STORED FOR NEW CONSTRUCTION SHALL BE STORED IN A PROTECTED AREA UNTIL NEEDED. UPON COMPLETION OF THE NEW INSTALLATION THE REUSED ITEM SHALL BE CLEANED, REPAIRED, AND TOUCHED-UP TO "LIKE NEW" CONDITION FOR FINAL PUNCH.
- AT CONTRACTOR'S DISCRETION, EXISTING CEILING TILE MAY BE REMOVED AND STORED TO PREVENT DAMAGE. PROVIDE NEW TILES FOR REPLACING DAMAGED TILES. IF REUSING OLD CEILING TILE GC TO MATCH COLORS AS REQUIRED SO EACH ROOM HAS SAME COLOR TILE.
- REPAIR AND LEVEL ALL EXISTING CEILING GRID. STRAIGHTEN AND FILL HOLES IN MAIN TS. REPLACE ANY BENT OR DAMAGED CROSS TS. MAIN TS THAT ARE SEVERELY DAMAGED MAY NEED TO BE REPLACED AND SHOULD BE NOTED IN FINAL BID. ALL CEILING GRID SHOULD BE THE SAME COLOR AND FINISH WHERE IT IS PART OF A CONTIGUOUS SYSTEM.
- CONTRACTOR SHALL VERIFY AVAILABILITY OF CIRCUITS IN EXISTING ELECTRIC PANELS.
- ELECTRICIAN IS TO RECONFIGURE REMAINING ELECTRICAL ITEMS IN CONJUNCTION WITH NEW CONSTRUCTION.

ROOF

- PRIOR APPROVAL IS REQUIRED FOR INSTALLATION OF EQUIPMENT ON ROOF AREA OR IN EQUIPMENT ROOMS.
- GENERAL CONTRACTOR TO CONTACT OWNER FOR APPROVAL PRIOR TO MAKING ANY ROOF PENETRATIONS.

ELECTRICAL

- WHEREVER ELECTRICAL OR TELEPHONE APPEAR BACK-TO-BACK, THE OUTLET BOXES SHALL BE STAGGERED SO AS TO REDUCE NOISE TRANSMISSION THROUGH THE PARTITIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL AND STATE BUILDING CODES.
- FOR TELEPHONE AND COMPUTER CABLES THAT ENTER THE CEILING PLENUM, PLENUM RATED CABLE SHALL BE USED.
- ALL WALL AND CEILING BOXES MUST HAVE COVERS (INCLUDING ALL TELEPHONE BOXES).
- THE ELECTRICAL CONTRACTOR IS TO INCLUDE AN ALTERNATE PRICE TO STRAP AND HANG EXISTING CONDUIT IN THE PLENUM AREA ABOVE THE CEILING.
- THE CIRCUIT DIRECTORY FOR ALL ELECTRICAL PANELS INVOLVED IN CONSTRUCTION MUST BE UPDATED TO CORRECT CIRCUIT CHANGES.
- REMOVE ABANDONED PHONE AND COMPUTER CABBING WITH EACH RENOVATION.
- ALL LIGHT FIXTURES MUST BE REPAIRED AND FULLY OPERATIONAL BEFORE TENANT OCCUPIES. ALL LAMPS MUST BE CONSISTENT IN LIGHT COLOR AS DIRECTED BY OWNER.
- IF A TENANT EXPANDS INTO PART OF A VACANT AREA, A LIGHT SWITCH MUST BE INSTALLED TO CONTROL THE REMAINING VACANT SPACE.

HVAC AND DUCTWORK

- TYPE OF DIFFUSERS SHALL BE THE SAME AS BUILDING STANDARD UNLESS OTHERWISE NOTED.
- REMOVE ABANDONED EQUIPMENT, DUCTWORK, AND PIPING ABOVE THE CEILING DURING EACH RENOVATION.
- ALL PVC PIPING LOCATED ABOVE CEILING MUST BE REMOVED OR REPLACED IN RETURN AIR PLENUMS.
- ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH NCSBCA STANDARDS FOR APPLICABLE PRESSURE AND CLASS.
- SUB-CONTRACTOR TO BALANCE FANS AND AIR DISTRIBUTION SYSTEM IN ALL AFFECTED AREAS TO PROVIDE INDICATED AIR QUANTITIES. PROVIDE TEST AND BALANCE REPORT WITH FINAL REQUEST FOR PAYMENT.

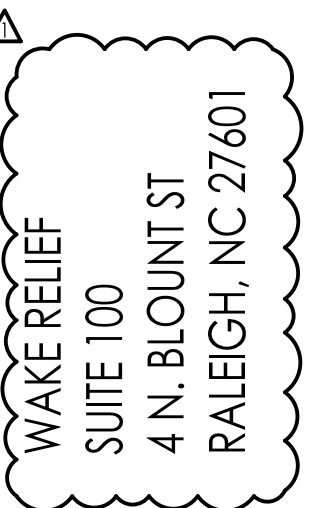


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PROJECT NO. RDU 25-001
DRAWN BY: JES
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REVISION 1: 05/05/2025	

DRAWING TITLE:	GENERAL NOTES
SHEET NO.:	T1.2

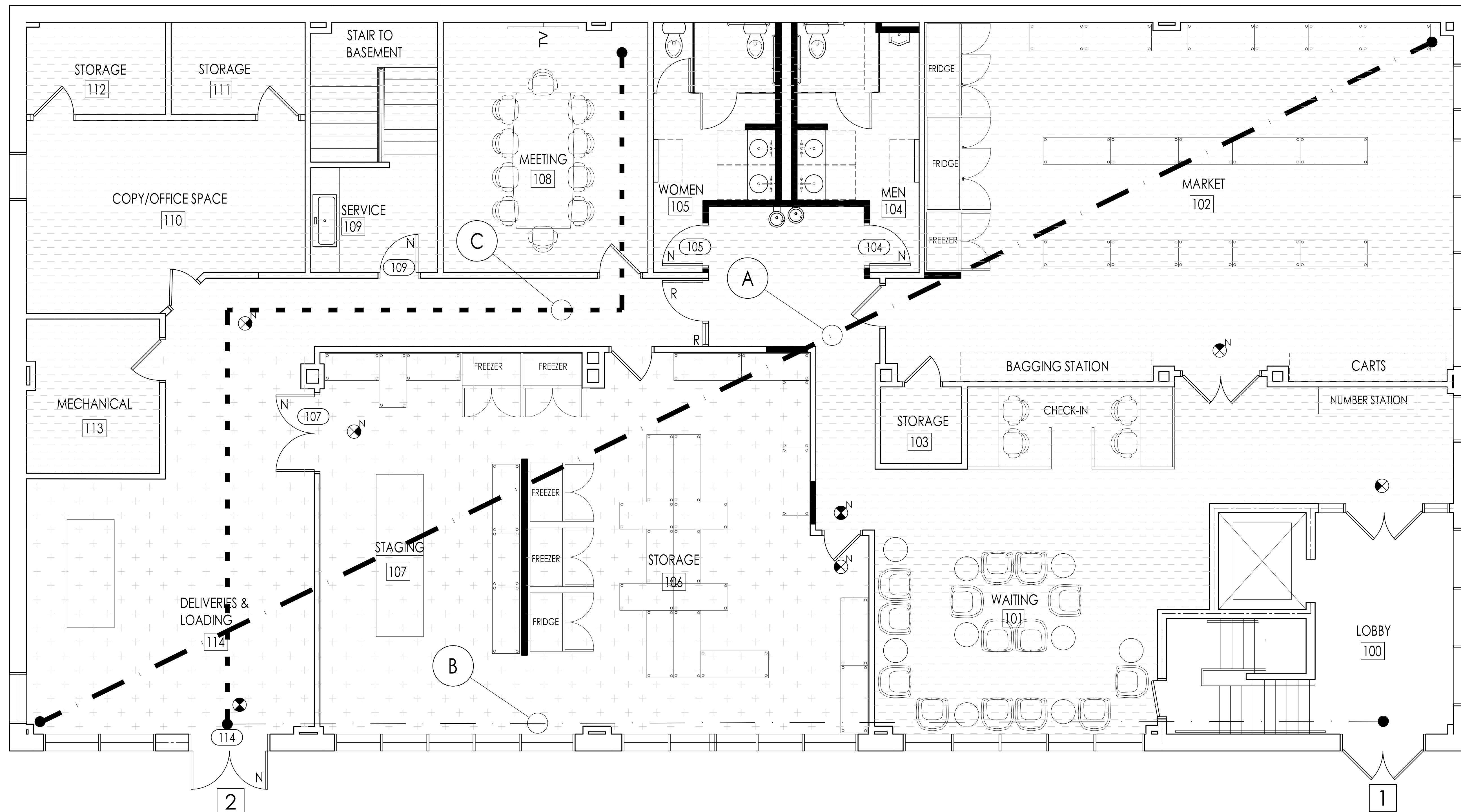
EXIT REQUIREMENTS						
FLOOR, ROOM, AND OR SPACE	MINIMUM NUMBER OF EXITS		TRAVEL DISTANCE		ARRANGEMENT MEANS OF EGRESS (SECTION 101.5.2)	
DESIGNATION	REQUIRED	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 101.6.1)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN EXITS	ACTUAL DISTANCE SHOWN ON PLANS
WAKE RELIEF TENANT	2	2	200	78'-10"	>57'-3"	85'-3"

OCCUPANT LOAD & EXIT WIDTH						
USE GROUP AND/OR SPACE DESIGNATION	AREA	AREA PER OCCUPANT	NUMBER OF OCCUPANTS	EGRESS WIDTH PER OCCUPANT		ACTUAL WIDTH SHOWN ON PLANS
				STAIR	LEVEL	
B BUSINESS	3598	100	36	0.30000	0.20000	
S-1 STORAGE	1,600	300	6	0.30000	0.20000	
TOTAL	5,198		42	0.30000	0.20000	12.6" 8.4" 34" 34"

SUE 100 (NO SPRINKLERS)		
(A)	LONGEST DIAGONAL - 114'-4"	
(B)	ACTUAL SEPARATION OF REQUIRED EXITS > 1/2 THE DIAGONAL - 85'-3"	
(C)	ACTUAL TRAVEL DISTANCE = 78'-10" (MAX. ALLOWABLE TRAVEL DISTANCE = 200')	

DOOR CAPACITY			
DOOR #	CLR. WIDTH	MAX CALC. OCCUPANT LOAD CAPACITY	ACTUAL OCCUPANT LOAD
1	36"	180	46
2	36"	180	46

LIFE SAFETY SYMBOLS	
LIFE SAFETY LINE TAG	○
LIFE SAFETY DOOR TAG	□
LIFE SAFETY COMMON PATH OF TRAVEL	→
EXISTING FIRE EXTINGUISHER WITH CABINET	Ⓔ
EXIT SIGN	Ⓧ
(B) BUSINESS:	▨
(S-2) STORAGE:	▩



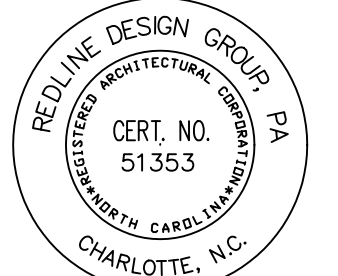
1 WAKE RELIEF - LIFE SAFETY PLAN
SCALE: 1/4"=1'-0"



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REVISION 1: 05/05/2025

DRAWING TITLE:

LIFE SAFETY

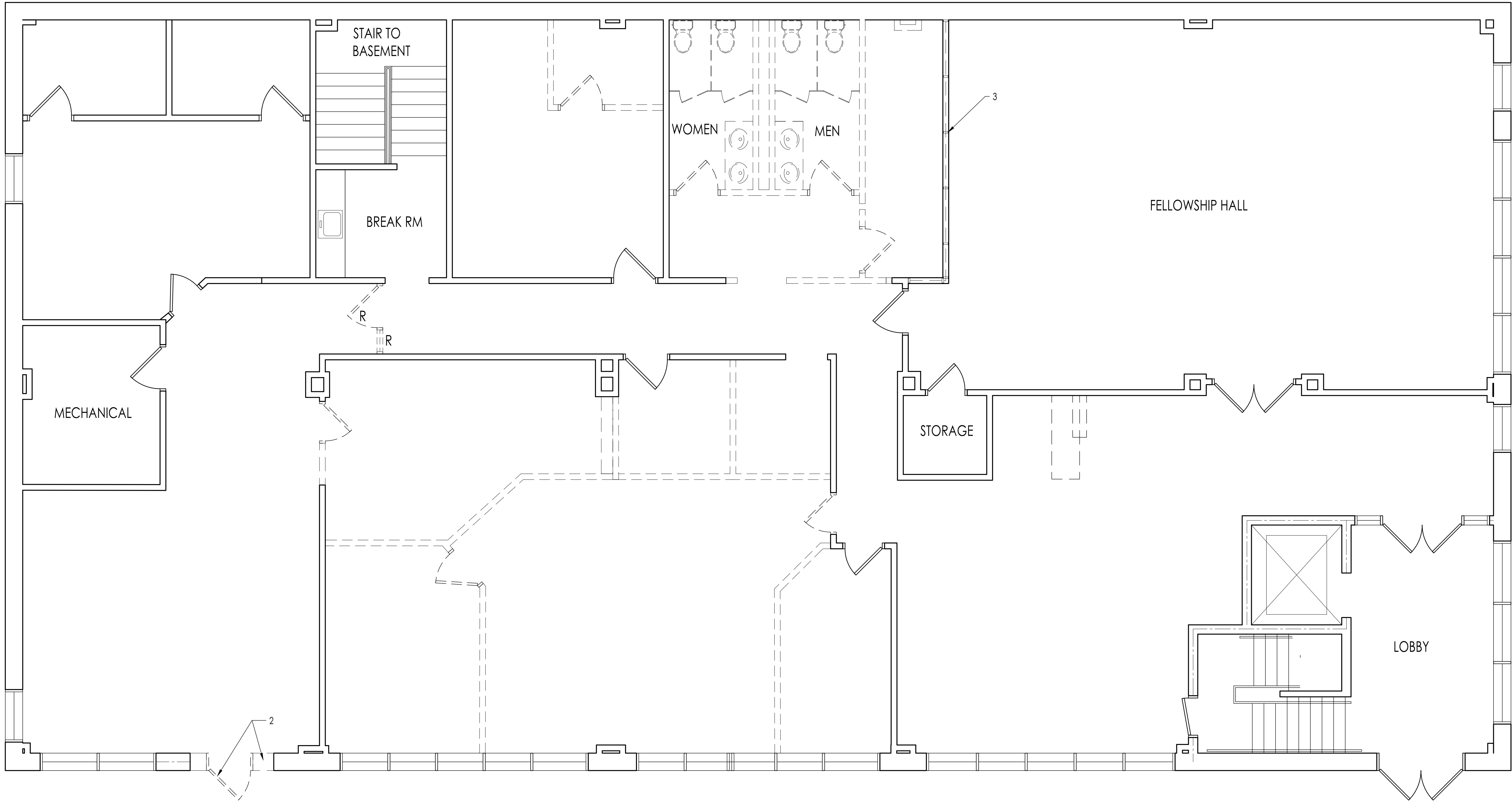
SHEET NO.

T3.1

WALL SYMBOLS	
	EXISTING WALL TO BE REMOVED
	EXISTING NON-RATED WALL TO REMAIN
	NEW WALL TO THE CEILING GRID (3-5/8" 25 GA. MTL STUD @ 16" O.C. W/ 5/8" GWB BOTH SIDES) BRACE TO DECK AT 48" O.C. MAX
	EXISTING 2HR FIRE BARRIER TO DECK TO REMAIN
PLAN SYMBOLS	
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO BE REMOVED AND SAVED FOR RELOCATION
	EXISTING DOOR TO REMAIN
	EXISTING GLASS WINDOW TO BE REMOVED AND SAVED FOR RELOCATION
	EXISTING GLASS WINDOW TO REMAIN
OFFICE	ROOM NAME

GENERAL NOTES	
A.	G.C. SHALL BECOME FAMILIAR W/ JOBSITE & EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. G.C. SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PROPOSED WORK AND EXISTING CONDITIONS.U.O.N.
B.	ALL WALLS WITH SOLID HATCHING ARE NEW. ALL EXISTING WALLS HAVE NO HATCH. 90 DEG SWING DOORS ARE NEW DOORS. 45 DEG SWING DOORS INDICATED EXISTING DOORS.
C.	CONTRACTOR TO PERFORM DEMOLITION AS REQUIRED. PATCH AND REPAIR FINISHES AS REQUIRED FOR NEW SCOPE OF WORK.
D.	EXISTING DOORS SCHEDULED TO BE DEMOLISHED TO BE SALVAGED FOR RELOCATION. CONTRACTOR TO COORDINATE RELOCATION STRATEGY.
E.	CONTRACTOR TO COORDINATE ANY REQUIRED FURNITURE DEMOLITION WITH OWNER.
F.	ALL EXISTING WALLS SELECTED FOR DEMO ARE TO BE DEMO'D ONLY UP TO THE CEILING HEIGHT. TYP. THROUGHOUT. U.O.N. EXISTING TO REMAIN CEILINGS TO BE PATCHED AND REPAIRED AS REQUIRED.
G.	ALL DOORS, FRAMES AND HINGES MARKED FOR DEMO ARE TO BE RELOCATED FOR NEW USE. TYP. U.O.N. CONTRACTOR TO COORDINATE FINAL RELOCATION STRATEGY.
H.	REMOVE EXISTING FLOOR FINISH AND PREP FOR NEW TYP. THROUGHOUT.
I.	PREP EXISTING WALLS FOR NEW PAINT AND FINISH.
J.	CONTRACTOR SHALL PROVIDE TEMPORARY SHORING/BRACING AS REQUIRED FOR DEMOLITION.

DEMOLITION NOTES	
1.	REMOVE EXISTING FLOOR FINISH THROUGHOUT SCOPE AREA AND PREP FOR NEW.
2.	REMOVE EXTERIOR MASONRY WALL, DOOR, FRAME, AND HARDWARE AS REQUIRED TO INSTALL NEW DOUBLE DOOR.
3.	REMOVE GLASS WINDOW AND PREP FOR INFILL.



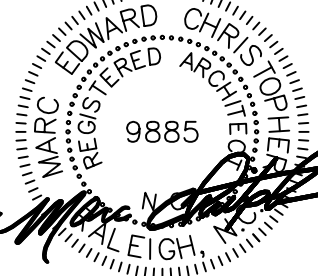
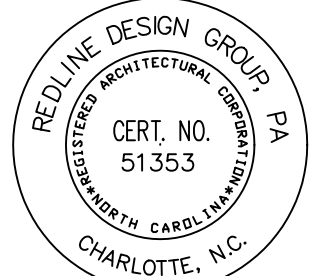
1 | WAKE RELIEF - DEMOLITION PLAN
 SCALE: 1/4"=1'-0"



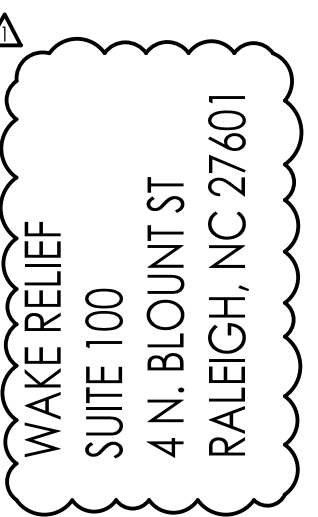
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PROJECT NO.	RDU 25-001
DRAWN BY:	JCS
CHECKED BY:	MEC



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DATE: 04/23/25

REVISIONS:

Δ REVISION 1: 05/05/2025

DRAWING TITLE:

DEMO
 FLOOR
 PLAN

SHEET NO.

AD1.1

GENERAL NOTES	
A.	REMOVE EXISTING LIGHTING, AND CEILING GRID, TYP. PREP FOR NEW THROUGHOUT. U.O.N
B.	LEAVE EXISTING GWB SOFFIT AS IS. TYP THROUGHOUT




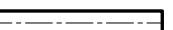





This architectural floor plan depicts a large, rectangular hall or auditorium, overlaid with a fine grid system for spatial organization. The plan includes several distinct areas and features:

- Entrance and Reception:** A large, open area at the top center, likely serving as the main entrance and reception zone.
- Seating and Staging:** The central and lower portions of the hall are filled with numerous small, rectangular shapes, possibly representing seating or stage equipment. A large, rectangular area at the bottom center is marked with a large 'X', indicating a stage or performance area.
- Corridors and Circulation:** A network of corridors and walkways is shown, connecting different parts of the hall. A prominent corridor runs horizontally across the middle, with several vertical branches.
- Rooms and Offices:** Several smaller, rectangular rooms are located along the perimeter, particularly on the left and right sides. Some of these rooms contain furniture, such as desks and chairs, suggesting they are offices or administrative spaces.
- Structural Elements:** The plan shows various structural details, including walls, doors, and windows. A large, rectangular area on the right side is shaded, possibly indicating a specific material or structural element.
- Grid System:** A fine grid is overlaid on the entire plan, providing a reference for dimensions and spatial layout.

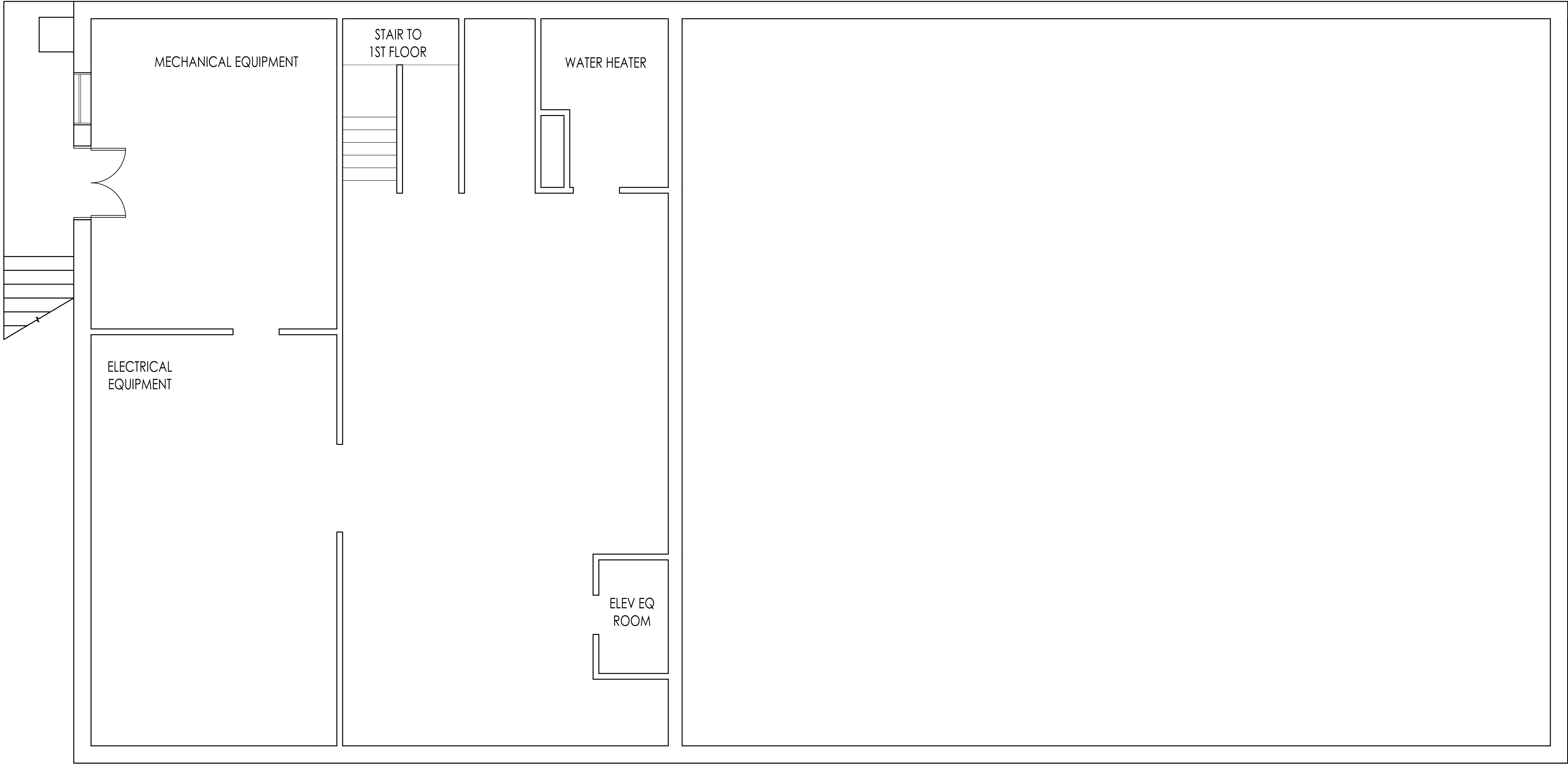


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FILE: G:\V20U-25-001 Wake Relief @ 4 M. Blount Street\01 CAD\07\Wake Relief_FP_AVI_25.05.05.dwg

WALL SYMBOLS	
	EXISTING WALL TO BE REMOVED
	EXISTING NON-RATED WALL TO REMAIN
	NEW WALL TO THE CEILING GRID (3-5/8" 25 GA. MTL STUD @ 16" O.C. W/ 5/8" GWB BOTH SIDES) BRACE TO DECK AT 48" O.C. MAX
	EXISTING 2HR FIRE BARRIER TO DECK TO REMAIN
PLAN SYMBOLS	
	EXISTING DOOR TO REMAIN
	NEW DOOR TO BE INSTALLED
	RELOCATED DOOR TO BE INSTALLED
	RELOCATED GLASS SIDELITE TO BE INSTALLED
	EXISTING GLASS WINDOW TO REMAIN
OFFICE	ROOM NAME

GENERAL NOTES
A. REFER TO MEP SHEETS FOR DEMO. AND CONST. NOTES PERTAINING TO BASEMENT UTILITY CONNECTIONS.



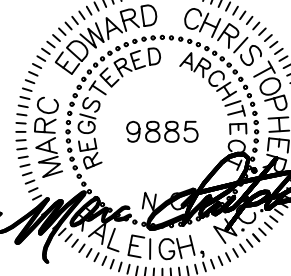
1 WAKE RELIEF - DEMOLITION PLAN
 SCALE: 1/4"=1'-0"



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PROJECT NO.	RDU 25-001
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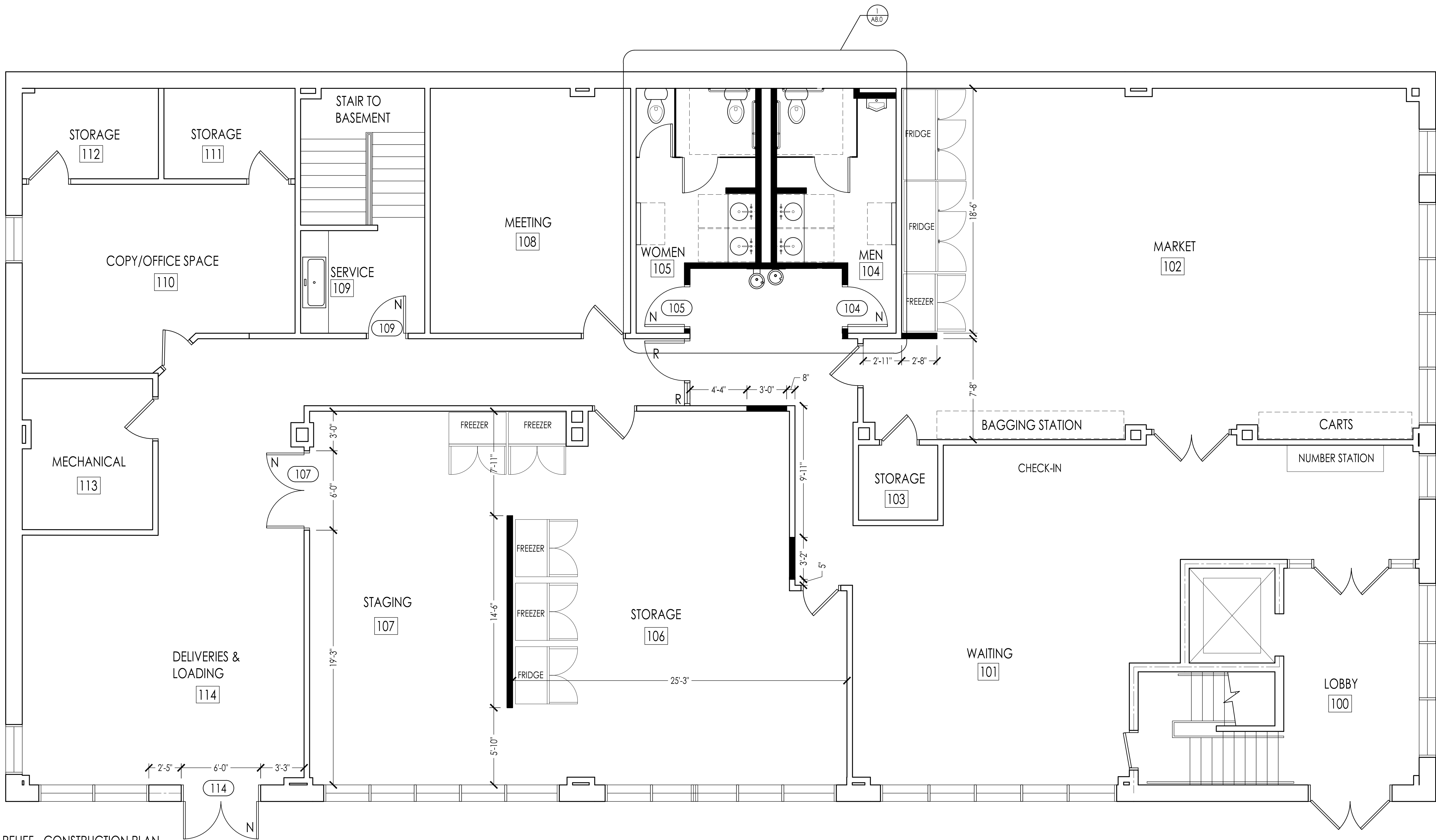
REVISIONS:
 Δ REVISION 1: 05/05/2025

DRAWING TITLE:
 BASEMENT
 PLAN
 SHEET NO.
A1.0

WALL SYMBOLS	
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	EXISTING NON-RATED WALL TO REMAIN
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	EXISTING 2HR FIRE BARRIER TO DECK TO REMAIN
PLAN SYMBOLS	
	EXISTING DOOR TO REMAIN
	NEW DOOR TO BE INSTALLED
	RELOCATED DOOR TO BE INSTALLED
	RELOCATED GLASS SIDELITE TO BE INSTALLED
	EXISTING GLASS WINDOW TO REMAIN
	OFFICE ROOM NAME

GENERAL NOTES	
A.	G.C. SHALL BECOME FAMILIAR W/ JOBSITE & EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. G.C. SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PROPOSED WORK AND EXISTING CONDITIONS.U.O.N.
B.	ALL WALLS WITH SOLID HATCHING ARE NEW. ALL EXISTING WALLS HAVE NO HATCH. 90 DEG SWING DOORS ARE NEW DOORS. 45 DEG SWING DOORS INDICATED EXISTING DOORS.
C.	CONTRACTOR TO PERFORM DEMOLITION AS REQUIRED. PATCH AND REPAIR FINISHES AS REQUIRED FOR NEW SCOPE OF WORK.
D.	G.C. TO PROVIDE FIRE RETARDANT TREATED WOOD BACKING WITHIN STUD CAVITY AT TV LOCATIONS.
E.	G.C. TO PREP EXISTING AND NEW WALLS TO RECEIVE NEW PAINT (SEE A3.1 FINISH PLANS FOR COLOR LOCATIONS) - (1) COAT PRIMER AND (2) COATS PAINT COMPLETE.
F.	G.C. TO PROVIDE AND INSTALL NEW SEMI- RECESSED FIRE EXTINGUISHER CABINET(S).

CONSTRUCTION NOTES
1.



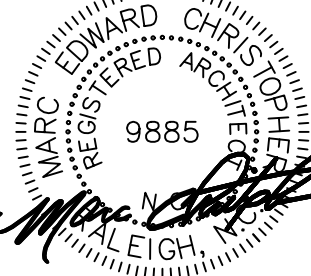
1 WAKE RELIEF - CONSTRUCTION PLAN
 SCALE: 1/4"=1'-0"



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DATE: 04/23/25

REVISIONS:

REVISION 1: 05/05/2025

DRAWING TITLE:

CONST.
 FLOOR
 PLAN

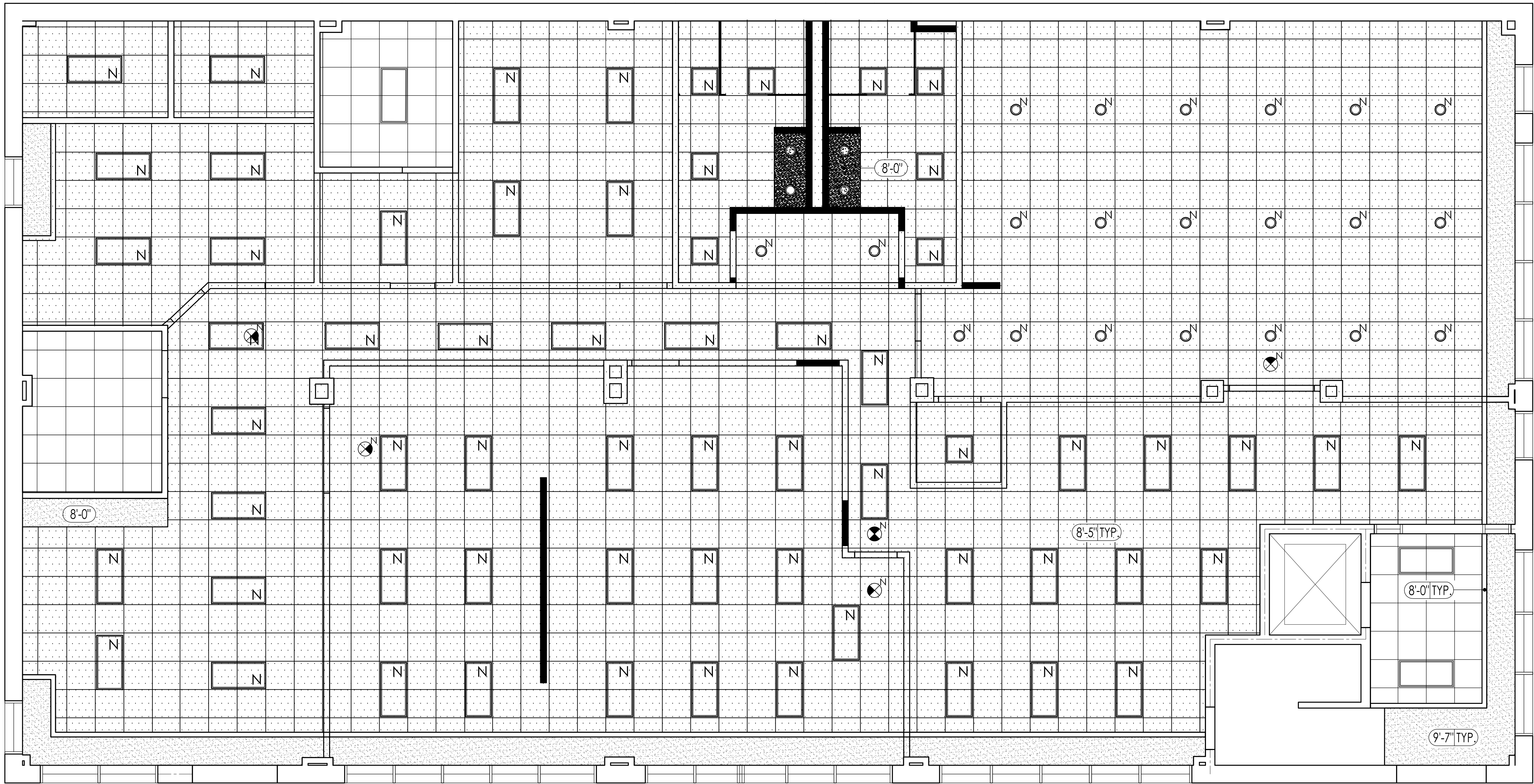
SHEET NO.

A1.1

WALL SYMBOLS	
	EXISTING WALL TO BE REMOVED
	EXISTING NON-RATED WALL TO REMAIN
	NEW WALL TO THE CEILING GRID (3-5/8" 25 GA. MTL STUD @ 16" O.C. W/ 5/8" GWB BOTH SIDES) BRACE TO DECK AT 48" O.C. MAX
	EXISTING 2HR FIRE BARRIER TO DECK TO REMAIN

RCP SYMBOLS	
	EXISTING CEILING GRID & TILE TO REMAIN
	NEW CEILING GRID & TILE TO BE INSTALLED.
	EXISTING GWB TO REMAIN
	NEW GWB CEILING TO BE INSTALLED
	EXISTING 2'X4' LIGHT FIXTURE TO REMAIN
	NEW 2'X4' LED LIGHT FIXTURE TO BE INSTALLED
	NEW 2'X2' LED LIGHT FIXTURE TO BE INSTALLED
	NEW DIMMABLE LED RECESSED CAN LIGHT FIXTURE TO BE INSTALLED

GENERAL NOTES	
A.	NEW CEILING GRID AND GWB SOFFIT TO BE SET AT ELEVATION TO MATCH EXISTING. TYP. THROUGHOUT. U.O.N.
B.	NEW LIGHTING IN LIKE FOR LIKE CONFIGURATION TYP.



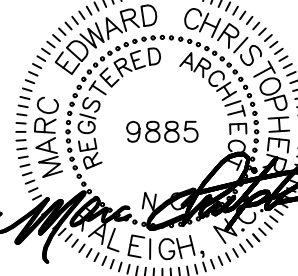
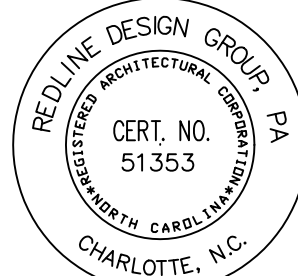
1 WAKE RELIEF - CONSTRUCTION PLAN
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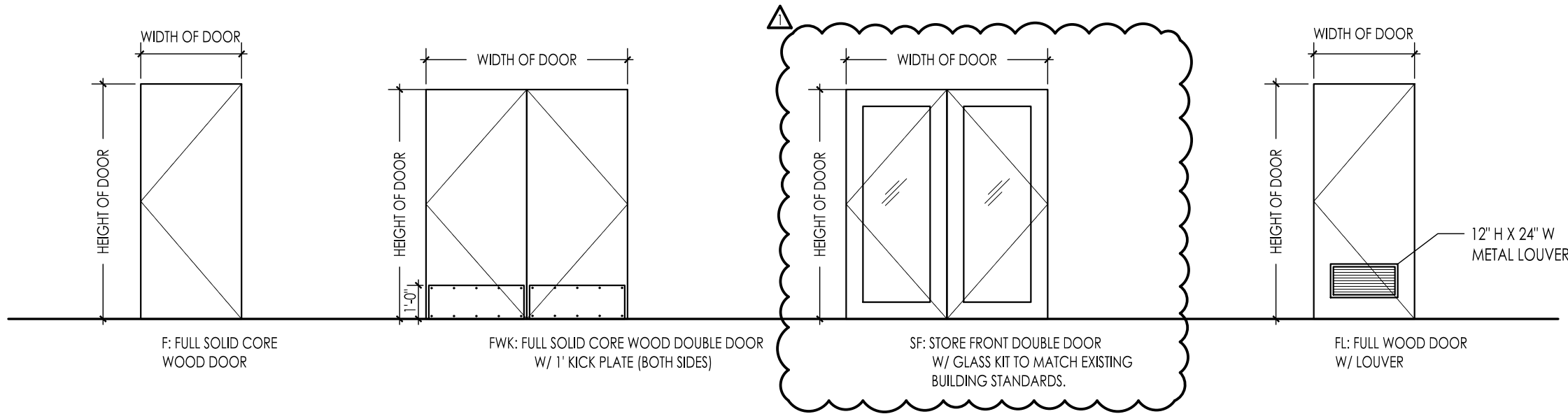
CONST.
 RCP

SHEET NO.

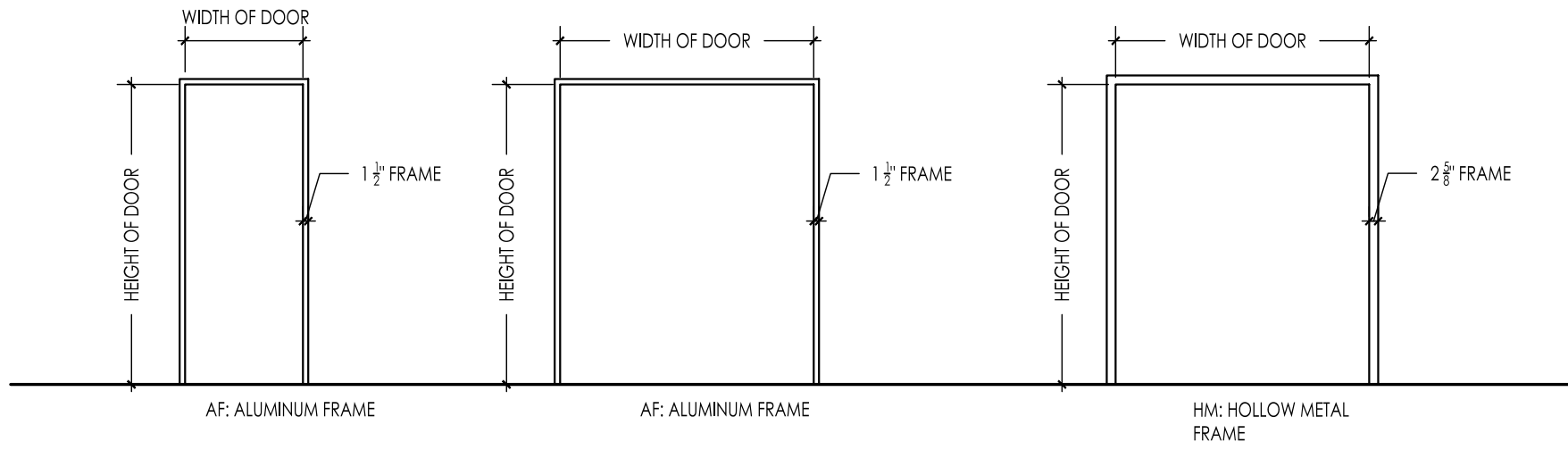
A2.1

DOOR SCHEDULE						
NO.	ROOM NAME	SIZE	FRAME TYPE	DOOR TYPE	HARDWARE	NOTES
104	RESTROOM	3'-0"W X 7'-0"H	AF	F	PR, CL	
105	RESTROOM	3'-0"W X 7'-0"H	AF	F	PR, CL	
107	STAGING	6'-0"W X 7'-0"H	AF	FWK	CL, LS, AL, IL, MFB	1
109	SERVICE	3'-0"W X 7'-0"H	AF	FL	LS	
114	DELIVERIES AND LOADING	6'-0"W X 7'-0"H	AF	SF	PH, DB, CL	1

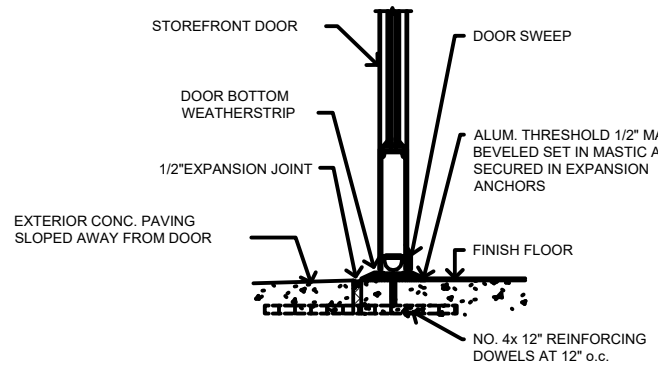
ABBREVIATION LEGEND				NOTES	
SCW	SOLID CORE WOOD			1	DOOR 107 TO HAVE (1) CLOSER AND LOCKSET (OR) DEADBOLT AT A.L. AND (1) SET MANUAL FLUSH BOLTS AT THE TOP AND BOTTOM AT IL.
IL	INACTIVE LEAF	AL	ACTIVE LEAF	2	
AF	ALUMINUM FRAME	HM	HOLLOW METAL	3	
PR	PRIVACY SET	LS	LOCKSET	4	
DB	DEAD BOLT	CL	CLOSER	5	
PH	PANIC HARDWARE	MFB	MANUAL FLUSH BOLTS	6	
SF	STORE FRONT				



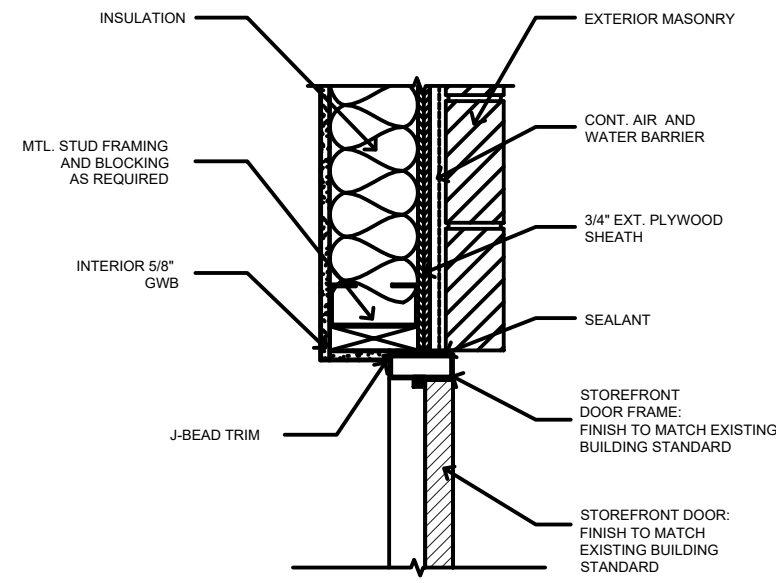
1 WAKE RELIEF - DOOR TYPES
 SCALE: 1/4"=1'-0"



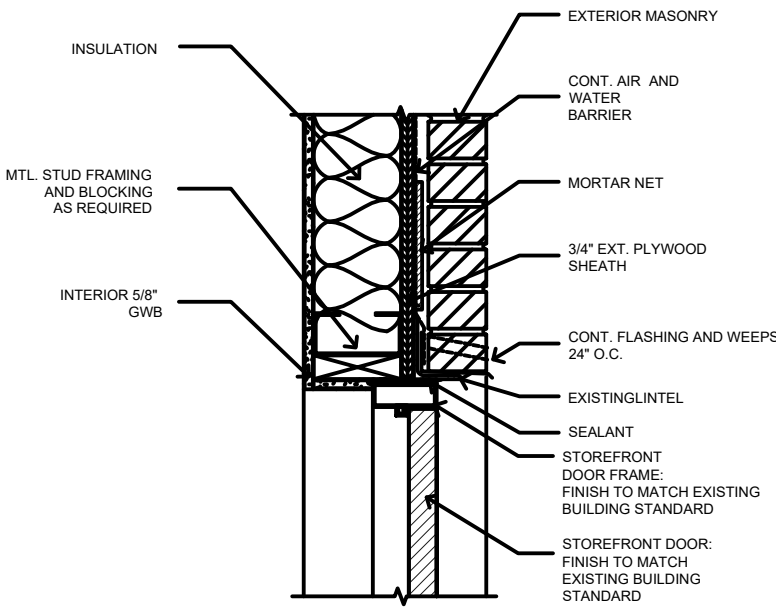
2 WAKE RELIEF - FRMAE TYPES
 SCALE: 1/4"=1'-0"



S1 STOREFRONT SILL DETAIL- AT THRESHOLD



J1 STOREFRONT JAMB DETAIL



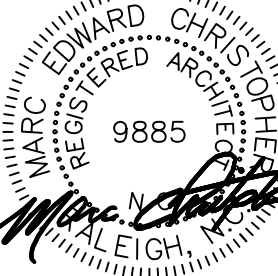
H1 STOREFRONT HEADER DETAIL



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PROJECT NO. RDU 25-001
 DRAWN BY: JCS
 CHECKED BY: MEC



NCSBC 2018



WAKE RELIEF
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DATE: 04/23/25

REVISIONS:

REVISION 1: 05/05/2025

DRAWING TITLE:

DOOR
 SCHEDULE

SHEET NO.

A1.2

FILE: G:\PDM 25-001 Wake Relief @ 4 N. Blount Street\01 CAD\WRF\Wake Relief_FFP_P01_25.05.05.dwg
PLOTTED: 3/6/2025 3:04 PM

FINISH SCHEDULE									
KEY NAME	HATCH	DESCRIPTION	MANUFACTURER	STYLE	COLOR	FINISH	SIZE	CONTACT	COMMENTS
LVT-1		LUXURY VINYL TILE - ASHLAR	INTERFACE	NORTHERN GRAIN 3MM	DARK WASH	CERAMOR	25CM X 1M	KAY JACKSON KAY.JACKSON@INTERFACE.COM	INSTALL NEW LVT TO CARPET TRANSITION STRIP IN LINE WITH DOOR THRESHOLD AT ALL NECESSARY LOCATION TYP OF (2) SEE PLANS FOR LOCATIONS
LVT-1		LUXURY VINYL TILE - HERRING BONE	INTERFACE	NORTHERN GRAIN 3MM	DARK WASH	CERAMOR	25CM X 1M	KAY JACKSON KAY.JACKSON@INTERFACE.COM	INSTALL SINGLE RUN OF 25CM X 1M AS FLOORING TRANSITION BETWEEN ASHLAR AND HERRINGBONE PATTERN TYP OF (2)
CT-1		CERAMIC FLOOR TILE	TRINITY SURFACES	DEFINE	HEATHER GRAY	RECTIFIED MATTE	12 X 24	SARAH BELL SBELL@TRINITYSURFACES.COM	
WT-1		CERAMIC WALL TILE	TRINITY SURFACES	DEFINE	HEATHER GRAY	RECTIFIED MATTE	12 X 24	SARAH BELL	
CPT-1		CARPET	TBD	TBD	TBD	TBD	TBD	-	INSTALL NEW LVT TO CARPET TRANSITION STRIP IN LINE WITH DOOR THRESHOLD AT ALL NECESSARY LOCATION TYP OF (3) SEE PLANS FOR LOCATIONS
PL-1		WOOD LAMINATE	FORMICA	05788-NG	HAZEL WALNUT	NATURAL GRAIN TEXTURE	-	SHERI REID SHERI.REID@FORMICA.COM	
PT-1		GENERAL WALL PAINT	SHERWIN WILLIAMS	SW-7008	ALABASTER	EPOXY	-	RUSS HANSEN RUSSELL.E.HANSEN@SHERWIN.COM	
PT-2		ACCENT PAINT	SHERWIN WILLIAMS	SW-6438	DILL	EXPOXY	-	RUSS HANSEN	
RB-1		RUBBER WALL BASE	JOHNSONITE	TRADITIONAL VINYL 4" 1 / 8	76 CINNAMON		4" H		
SS-1		SOLID SURFACE COUNTERTOP	CONSENTINO	SILESTONE GROUP 1	LAGOON	POLISHED	128.74" X 62.60"	JASON GRAHAM JGRAHAM@CONSENTINO.COM	

- GENERAL NOTES
- A.

G.C. TO PREP FOR NEW FLOOR FINISH(S) TYP. THROUGHOUT
- B.

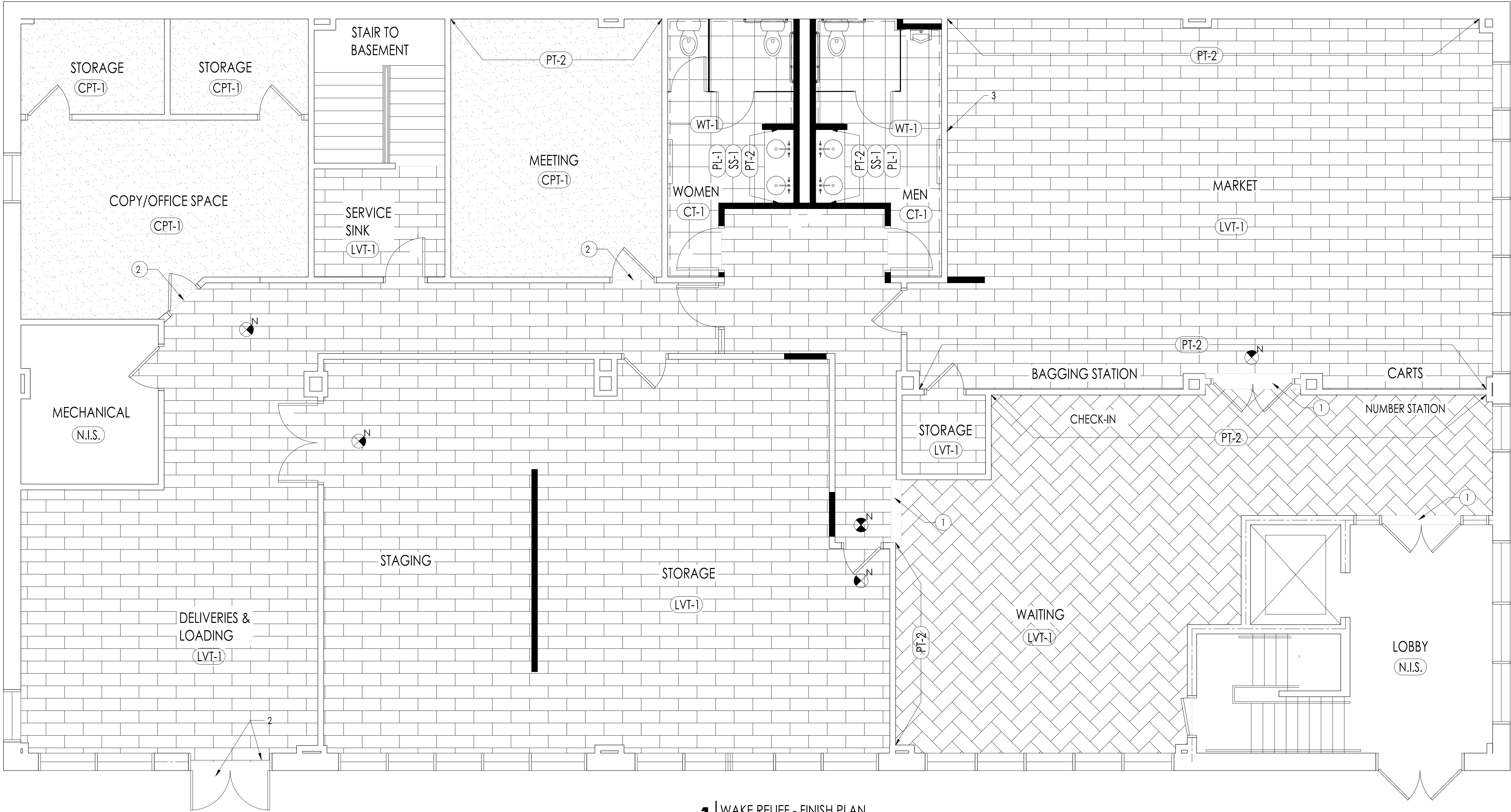
G.C. TO PREP EXISTING AND NEW WALLS TO RECEIVE NEW PAINT [SEE A3.1 FINISH PLANS FOR COLOR LOCATIONS] - (1) COAT PRIMER AND (2) COATS PAINT COMPLETE.
- C.

G.C. TO PREP FOR NEW RR. VANITY AND WET WALL.

- FINISH NOTES
1.

INSTALL SINGLE RUN OF 25CM X 1M AS FLOORING TRANSITION BETWEEN ASHLAR AND HERRINGBONE PATTERN LVT-1, TYP. OF 2. SEE PLANS FOR LOCATIONS
2.

INSTALL NEW 3MM LVT TO CARPET TRANSITION STRIP IN LINE WITH DOOR AT ALL NECESSARY LOCATIONS. TYP. OF 3. SEE PLANS FOR LOCATION



1

WAKE RELIEF - FINISH PLAN

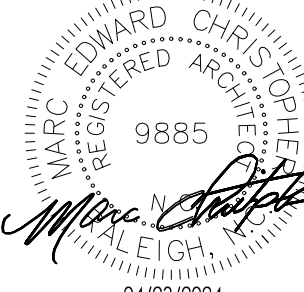
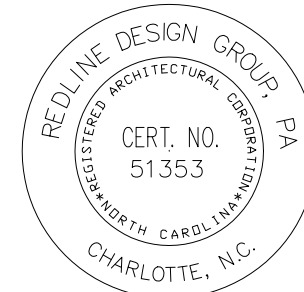
SCALE: 1/4"=1'-0"



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PROJECT NO. RDU 25-001
DRAWN BY: JEB
CHECKED BY: MFC



NCSBC 2018



WAKE RELIEF
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DATE: 04/23/25

REVISIONS:

REVISION 1: 05/05/2025

DRAWING TITLE:

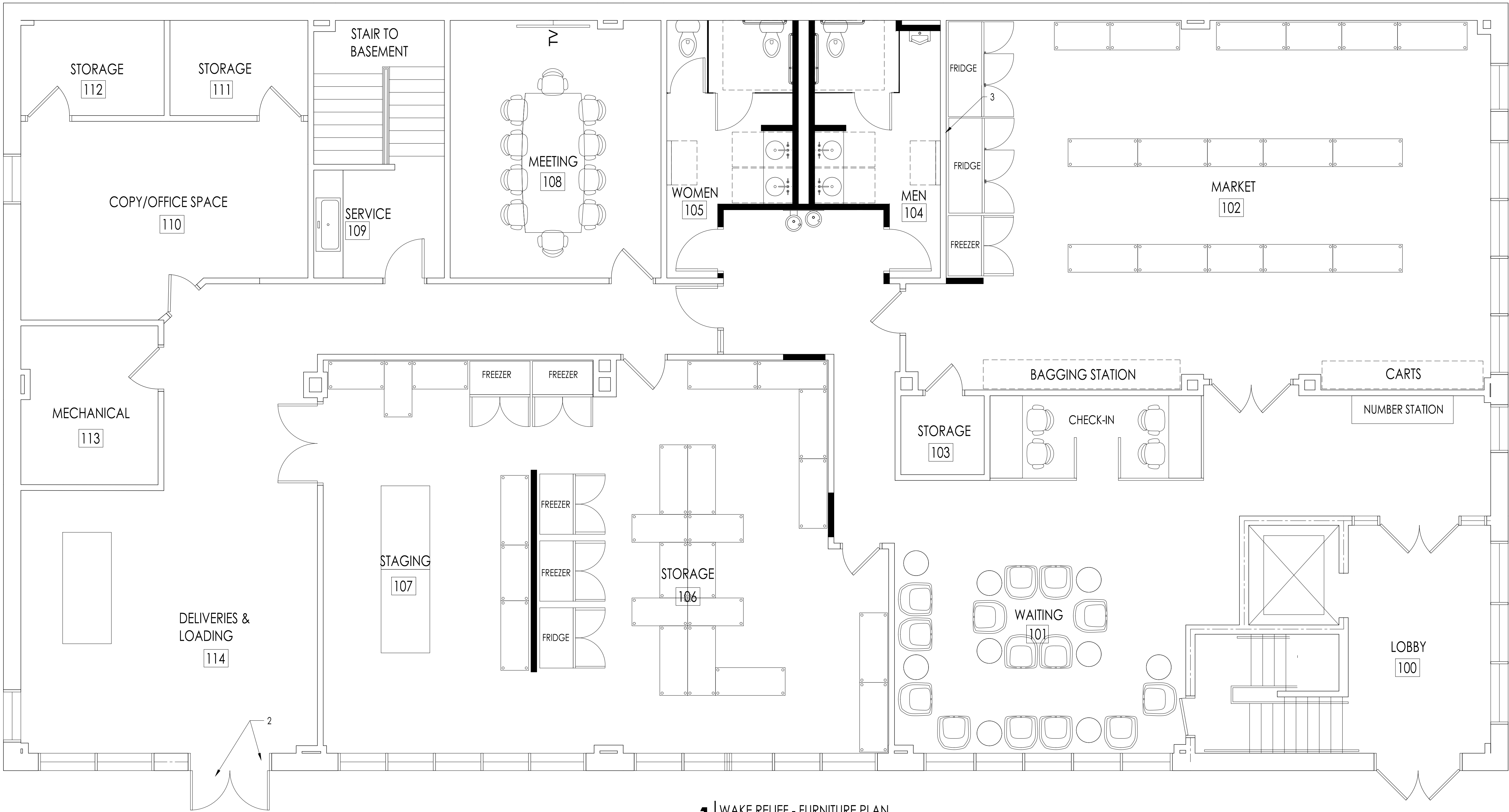
FINISH
PLAN

SHEET NO.

A3.1

FILE: G:\PDU 25-001 Wake Relief @ 4 N. Blount Street\07 CAD\WF Wake Relief_FFP_P01_25.05.05.dwg
PLOTTED: 9/6/2025 3:04 PM

FURNITURE + EQUIPMENT NOTES	
1.	ALL EXISTING RECEPTACLES TO REMAIN. U.O.N. ALL ELECTRICAL RECEPTACLES (BODY AND COVERPLATE) AS WELL AS ANY SWITCHES (SWITCH BODY AND COVERPLATE) SHALL BE WHITE G.C. TO REPLACE ANY EXISTING CONDITIONS THAT DIFFER FROM THIS STANDARD AS REQUIRED.
2.	ALL LOW VOLTAGE SYSTEMS (DATA CABLING, SECURITY AND AUDIO/VISUAL) SHALL BE COORDINATED WITH TENANT.
3.	ALL FURNITURE SHOWN ON DRAWINGS IS FOR REFERENCE ONLY AND SHALL BE PROVIDED BY TENANT.



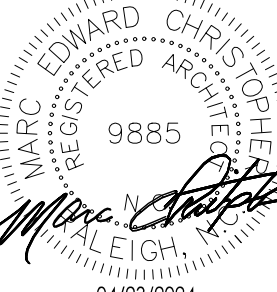
1 | WAKE RELIEF - FURNITURE PLAN
SCALE: 1/4"=1'-0"



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PROJECT NO. RDU 25-001
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04/23/2024
NCSBC 2018



WAKE RELIEF
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DATE: 04/23/25

REVISIONS:

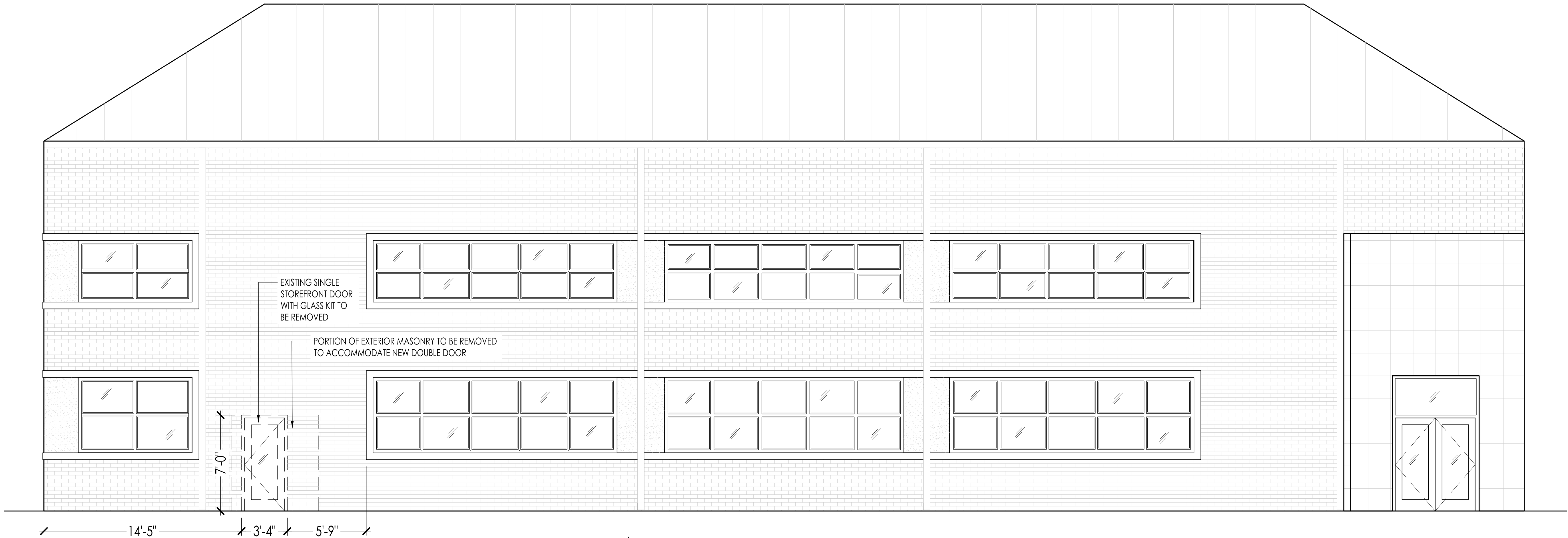
REVISION 1: 05/05/2025

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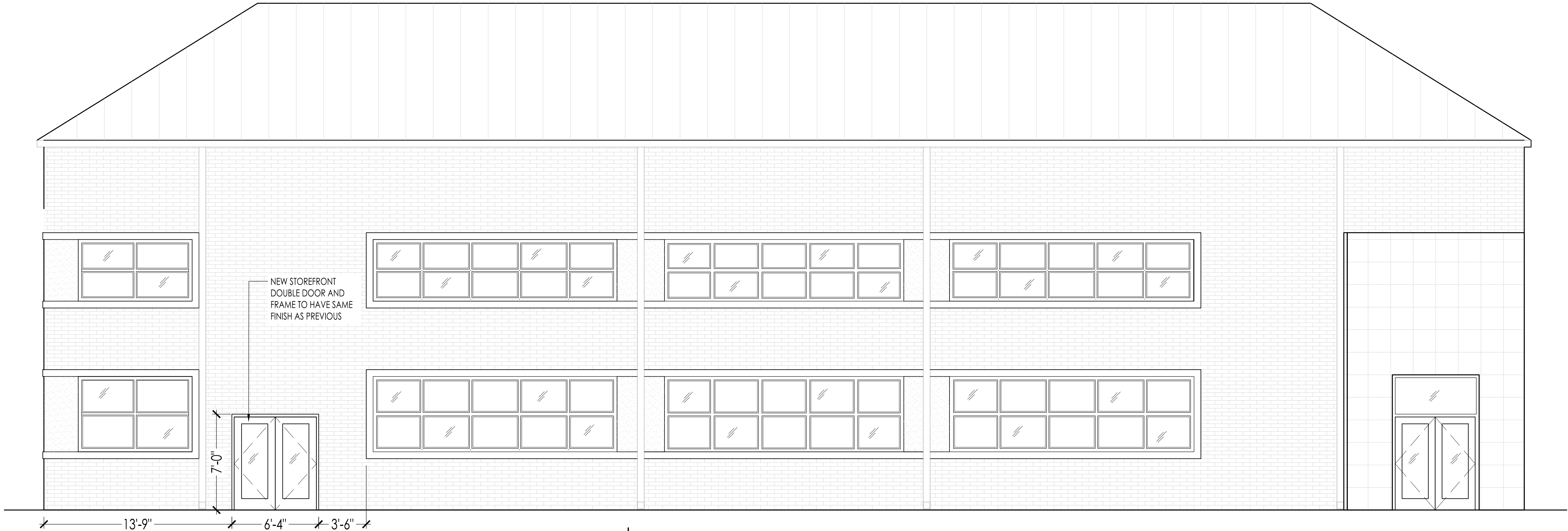
FURNITURE
PLAN

SHEET NO.

A4.1



1 EXISTING ELEVATION
 SCALE: 1/4"=1'-0"



2 NEW ELEVATION
 SCALE: 1/4"=1'-0"



REDLINE

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PROJECT NO. RDU 25-001
 DRAWN BY: JCS
 CHECKED BY: MEC



NCSBC 2018



WAKE RELIEF
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DATE: 04/23/25

REVISIONS:

REVISION 1: 05/05/2025

DRAWING TITLE:

EXTERIOR
 ELEVATIONS

SHEET NO.

A6.0



20D, 35D & 50D Doors

Narrow, Medium and Wide Stile Standard Entrance Systems



ENTRANCE SYSTEM

Product Description

Entrance systems by YKK AP offer an abundance of design options. VersaJamb®, our unique reinforced tubular door frame, allows for side-lite glazing without shear clips while maintaining the structural integrity of transom frames.

Door corners are mechanically joined and welded to ensure that they are more than capable of withstanding today's most demanding conditions. Standard hardware options include the Smart Series Push/Pull and touch bar exit devices. Custom entrances are available with options for one inch glazing, mid rails, high bottom rails and will accommodate most custom hardware.

Product Options & Features

- Single and Double acting door options
- Tested and manufactured well above standard grade and performance levels
- Complete Design Freedom via varied rail and stile widths
- Door Corners are mechanically joined and welded together
- Lifetime warranty on all entrance variations
- Integrates seamlessly with a variety of our YKK AP products



Quality
inspires®



20D, 35D & 50D

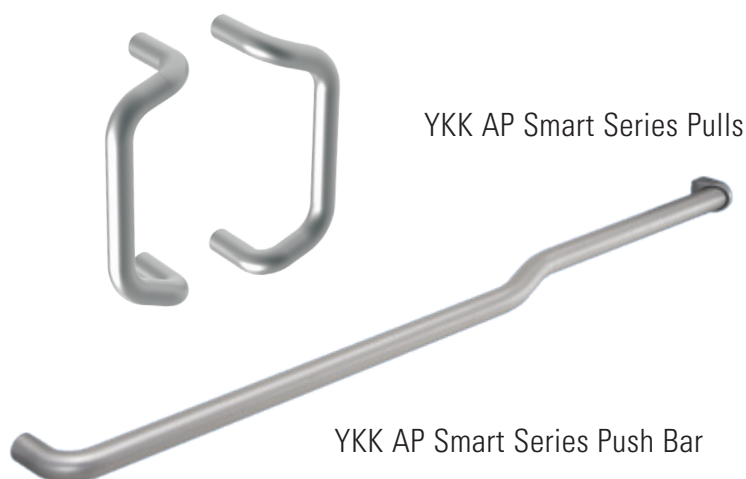
SYSTEM SPECIFICATIONS

System Stile	Glazing & Config	Glass	Air Infiltration (Single Acting Butt Hinges or Offset Pivots)	Structural Uniform Load	Structural Performance
2-1/8" Narrow 3-1/2" Medium 5" Wide	Outside & Center	Tested Glass: 1" IGU with Low-E (C.O.G. U-factor: 0.29)	Single Doors: 0.50 CFM/FT ² Paired Doors: 1.00 CFM/FT ² @ 6.24 PSF (299 Pa)	20D Single/Pair: 35 psf 35D Single/Pair: 50 psf 50D Single/Pair: 60 psf	Door corner structural strength shall be tested per YKK AP's dual moment test procedure and certified by an independent testing lab to ensure corner integrity and weld compliance. Certified test procedures and results are available upon request.
Testing Standards			ASTM E 283	ASTM E 330	N/A
Entrance Glazing Sizes			3/16", 1/4", 5/16", 3/8", 1/2", 5/8", 3/4" & 1"		
Available Finishes			Factory Anodized (AAMA 612) and Organic Paints (AAMA 2604 & AAMA 2605)		

SMART SERIES DEVICES

Smart Series Push/Pull

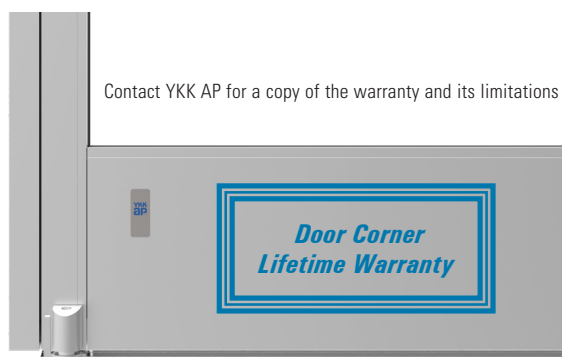
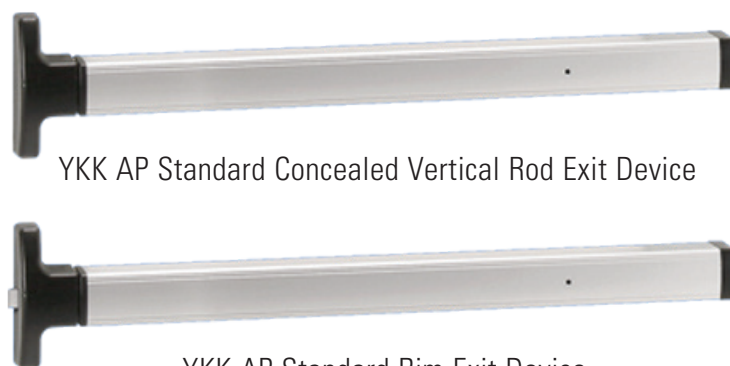
YKK AP's Smart Series one inch diameter Push/Pull provides maximum flexibility and occupant safety. The pull handle is open to permit access to the lock cylinder and is slightly angled to provide a uniquely modern look. The Smart Push starts at the locking stile similar to a typical one inch diameter push bar, but then has an ergonomic "S-Bend" toward the locking stile to bring the bar closer to the door where it is captured by a patented end cap. This innovative push bar easily accommodates custom width openings while subtly informing a pedestrian which side of the door to push on when exiting a building.



STANDARD DEVICES

YKK AP Exit Devices

The modern and economical YKK AP standard touch bar exit devices are ideally suited for all applications that require emergency egress. The devices are ANSI Grade 1, carry the UL label and are approved for Life Safety. Both the rim and concealed vertical rod devices feature single point dogging and are available with electric actuation.



Stock Entrances

- 20D Narrow Stile 3'-0" and 3'-6" x 7'-0" Singles
- 20D Narrow Stile 6'-0" x 7'-0" Pairs
- Offset Pivots, Center Pivots and Butt Hinge hanging options
- MS Lock and CVR Exit Device (Offset Pivot only)

Custom Entrances

- 20D, 35D, and 50D
- Doors up to 8'-0" Tall
- Standard and Custom Hardware

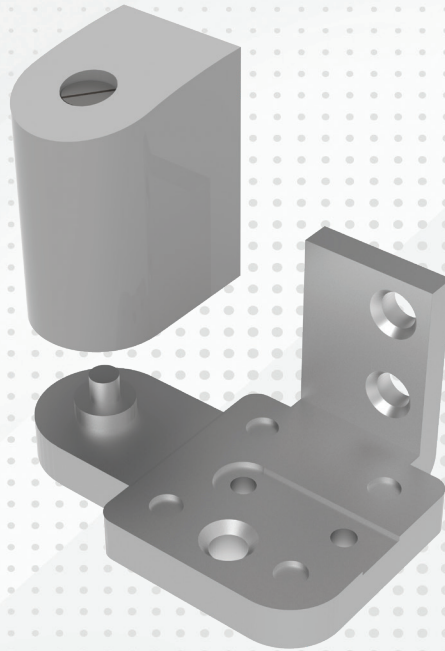
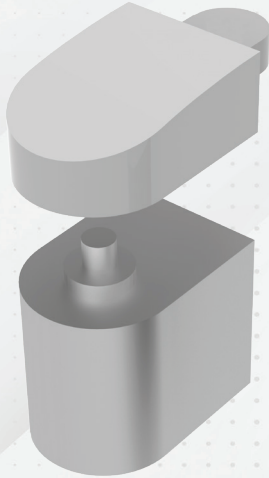
Additional information including CAD details, CSI specifications, Test Reports and Installation instructions are available online at:

www.ykkap.com/commercial/product/entrances/20d35d50d/

Pivots



Commercial
Standard Entrance
Hardware



Description

- Door and frame portion of top pivot assembly are die cast aluminum.
- Press fit bearing on the pivot frame portion is self-lubricating oilite bronze type.
- Spring loaded hardened steel dowel pivot pin in door portion completes assembly.
- **Door:** Cast aluminum with radial and thrust ball bearings; with vertical screw adjustment.
- **Frame portion (with threshold):** Aluminum pivot base with steel pivot; integral part of door frame and securely anchors frame and threshold to floor.
- **Frame portion (without threshold):** Stainless steel pivot plate with stainless steel pivot; plate fastened at three points directly to floor.

Application

- **Top offset pivot:** Mortised frame portion into header/ transom bar, attached with screws through extrusion and threaded into pivot block. Spring loaded pivot allows for easy installation and maintenance.
- **Bottom offset pivot:** Frame portion is used with threshold. On interior or vestibule doors not requiring threshold, floor mounted portion is used. Door portion provides vertical adjustment with both pivot pieces.
- Typical package for doors up to 7'-6" height; requires intermediate pivot for doors over 7'-6" high. Intermediate pivot can be specified for doors to 7'-0" height.

NOTE: Maximum door weight for pivots is 125lbs

YKK AP Part Numbers

H-2101: Right Hand (RH) Pivot Package

H-2102: Left Hand (LH) Pivot Package

Compatible Entrances

20D/35D/50D, 25T/35T/50T & 35HL/50HL

Material Composition

Aluminum with Stainless Steel Bearing & Pins

Finishes

Electrodeposition: 628 Clear or 335 Black

Hardware Vendor



Vendor Part or Series

Calibre PV-5000 Series

21-5014-00

H-2101 / H-2102

Standard Offset Pivot Package

Panic Devices



Commercial
Standard Entrance
Hardware



Description

- Rim Panic Device has latch bolt in rim of active housing engaging adjustable roller strike to provide locking action.
- Depressing touchpad “unlocks” the device and permits egress. The bolt re-engages the strike and locks when the door closes.
- On single doors, adjustable strike is mounted on frame lockjamb. Strike is part of removable mullion required for door pairs.
- Panic device can be deactivated or “dogged” with optional cylinder key or allen key in active housing. Keyed alike cylinders are optional. Rim cylinder diameter of 1-5/32” (29.4mm).

Compatible Entrances

20D/35D/50D, 40M/50M, 25T/35T/50T,
35XT/50XT & 25FD

Material Composition

- Aluminum Push Bar, Channel and End Caps
- Stainless Steel Strikes
- Steel Latch Bolts and Vertical Rods

Finishes

Coated Finish: 628 Clear or 335 Black

Other finishes available on special order

Application

- Depressing touchpad permits egress from building without key.
- Removable mullion is required on pairs of doors. Using optional mullion stabilizers is recommended.
- Touchpad design offers increased building security and reduces the risk of code infringements.

Hardware Vendor



Vendor Part or Series

First Choice 3790 Series

P-54453

Standard Rim Panic Exit Device

Removable Mullion

**YKK
ap**®

Commercial
Standard Entrance
Hardware



Description

- Depressing touchpad “unlocks” the device and permits egress. The bolt re-engages the strike and locks when the door closes.
- On single doors, adjustable strike is mounted on the frame lock jamb. Adjustable strike is part of removable mullion required for pairs.
- Panic device can be deactivated “dogged” with cylinder key or allen key. Keyed alike cylinders are optional. Rim Cylinder diameter of 1-5/32” (29.4mm).

Compatible Entrances

All YKK AP Entrances except Model 35H
Standard use with the P-54453 Rim Panic Device

Material Composition

Aluminum Mullion with Stainless Steel Hardware

Application

- Removable mullion is required on pairs of doors. Using optional mullion stabilizers is recommended.
- Touchpad design offers increased building security and reduces the risk of code infringements.

Finishes

Coated Finish: 628 Clear or 335 Black
Housing with Anodized Aluminum Touchpad

Other finishes available on special order

Hardware Vendor

ALLEGION™ 

Vendor Part or Series

Allegion Falcon RM 170

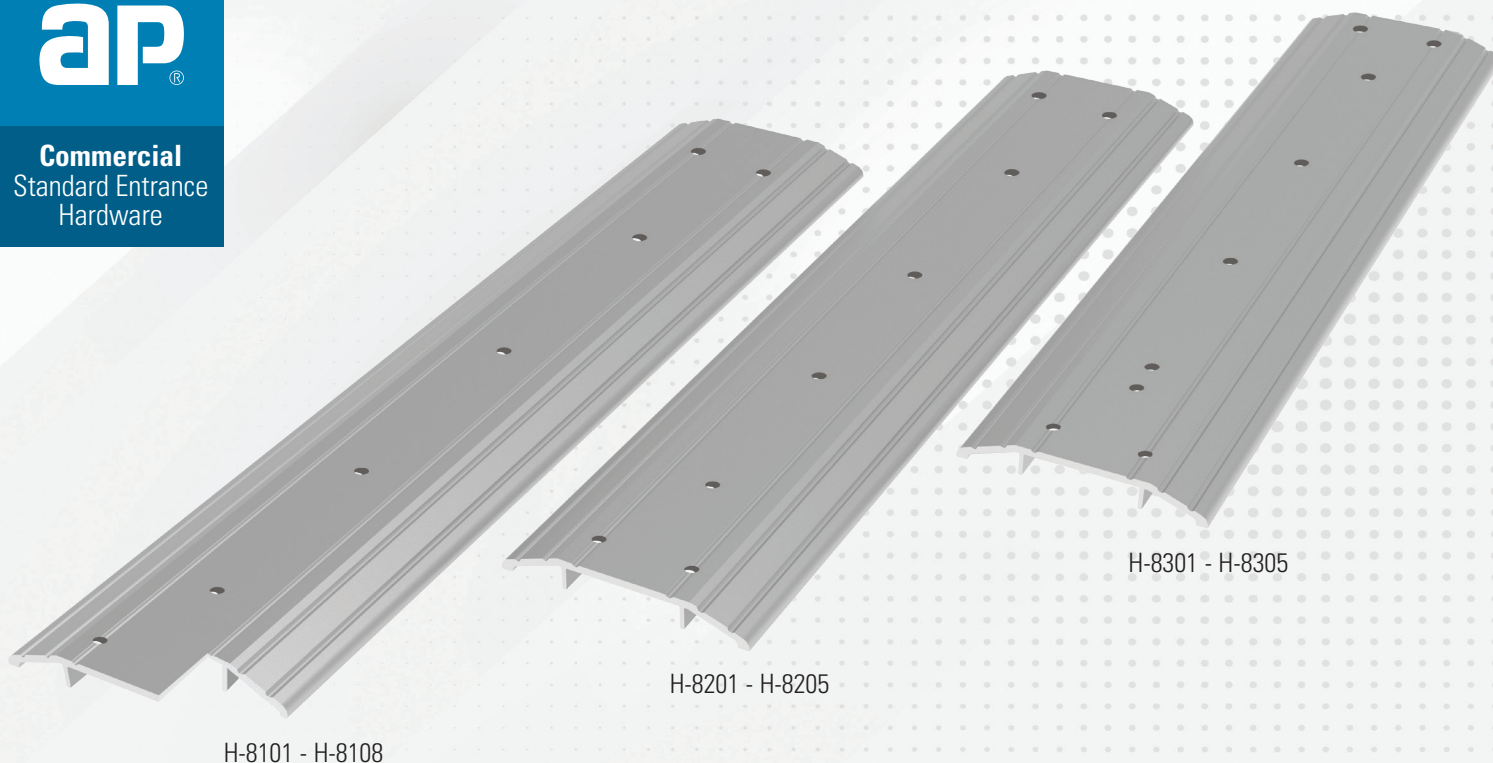
P-56410

Standard Removable Mullion

Thresholds



Commercial
Standard Entrance
Hardware



Description

- Factory fabricated extruded aluminum; factory prepped for specified hinging and locking hardware.
- For Standard Threshold: 4" (101.6mm) wide x 1/2" (12.7mm) high with width required.

Compatible Entrances

All YKK AP Entrances

Material Composition

Aluminum Extrusion

Finishes

Mill Finish

Hardware Vendor



Vendor Part or Series

H-8101 to H-8108: 4" Offset Pivot Thresholds for overhead closers in various lengths

H-8201 to H-8205: 4" Butt Hung Thresholds for overhead closers of various lengths

H-8301 to H-8305: 4" Center Hung Thresholds for overhead closers of various lengths

H-8100 / H-8200 / H-8300 Series

Standard 4" Thresholds

FEATURES



- The 1250 Series cast aluminum closer is designed for low-frequency and low abusive traffic areas. This cast aluminum closer is ideal for aluminum storefronts, interior offices and many other applications. Combining dependable operation, low maintenance and a patented stylish look - with or without the optional slim line cover. And with the most common hole pattern in the industry, the 1250 Series is the perfect choice for easy aftermarket replacement.**

- Cast Aluminum
- All weather fluid
- Non-handed
- Peel-n-stick templates for fast and accurate installation
- UL and cUL listed
- Adjustable spring size 1-5
- 15 Year Warranty
- Patent pending design

● AVAILABLE
○ NOT AVAILABLE

 Closer available with less than 5.0 lbs. opening force on 36" door.

* Maximum opening/hold-open point with standard template, when conditions allow.

1250 SERIES

HINGE (PULL) SIDE MOUNTING

MAXIMUM OPENING

To 100°

(A) = 6-11/16" (170mm)

(B) = 12-7/16" (316 mm)

or 101° to 120°

(A) = 5-11/16" (144mm)

(B) = 11-7/16" (291 mm)

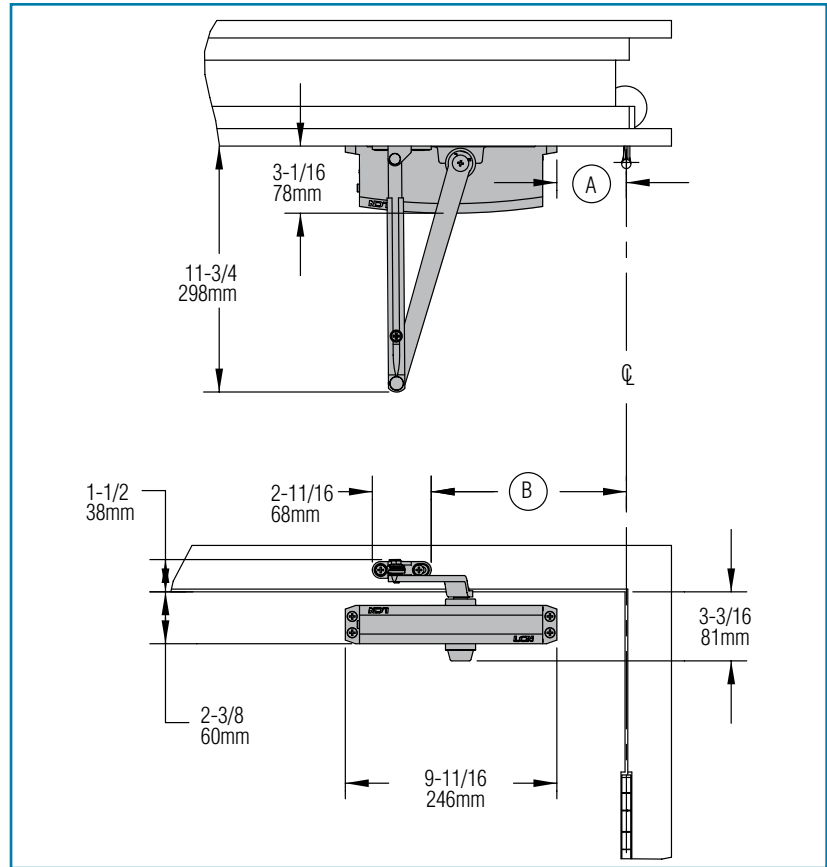
or *121° to 180°

(A) = 3-3/16" (81mm)

(B) = 8-15/16" (227 mm)

Hold-open points up to maximum opening with hold-open arm.

*Frame and trim permitting.



The 'A' dimension refers to the edge of the closer body to the center line of pivot or hinge.

The 'B' dimension refers to the edge of the closer shoe bracket to the center line of pivot or hinge.

Options

- Hold-open arm.
- Slim Line cover (SLIM).

Special Templates

Customized installation templates or products may be available to solve unusual applications. Contact LCN Product Support for assistance.

- **Butt Hinges** should not exceed 5" (127 mm) in width.
- **Auxiliary Stop** is recommended at hold-open point or where a door cannot swing 180°.
- **Reveal** should not exceed 3/4" (19 mm) for regular arm or 1/2" (13 mm) for hold-open arm.
- **Top Rail** less than 2-3/8" (60mm) requires PLATE, 1250-18.
- **Clearance** of 3-1/16" (78mm) behind door required for installation.

1250 SERIES

MOUNTING DETAILS

TOP JAMB (PUSH SIDE) MOUNTING

MAXIMUM OPENING

To 100°

(A) = 7-3/16" (183mm)

(B) = 12-15/16" (329 mm)

or 101° to 120°

(A) = 5-11/16" (144mm)

(B) = 11-7/16" (291 mm)

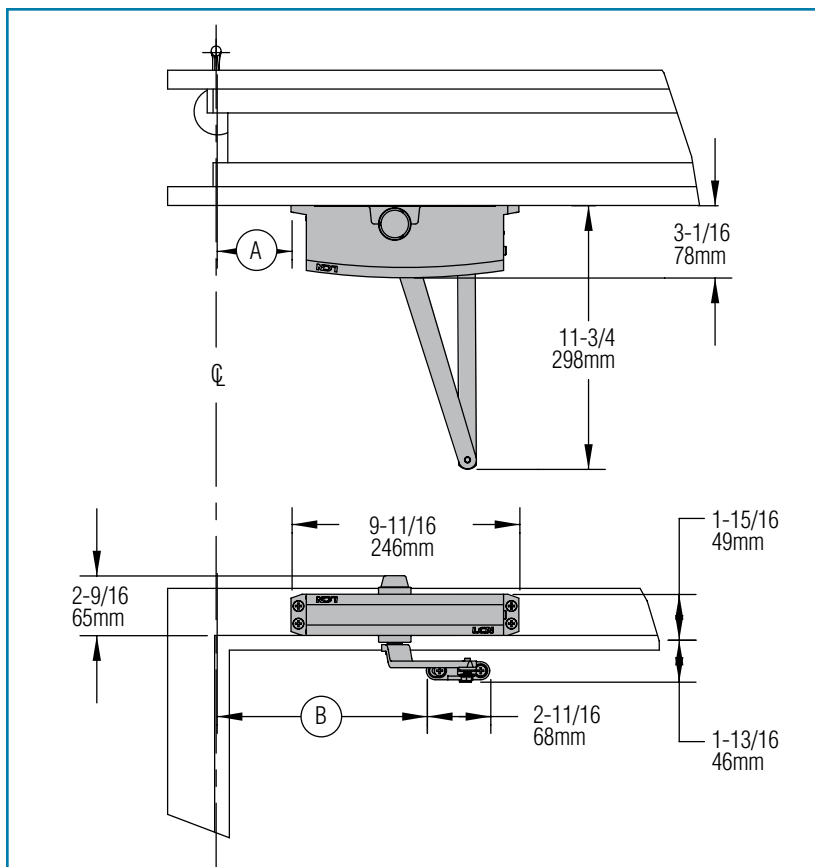
or *121° to 180°

(A) = 3-3/16" (81mm)

(B) = 8-15/16" (227 mm)

Hold-open points up to maximum opening with hold-open arm.

*Frame and trim permitting.



The 'A' dimension refers to the edge of the closer body to the center line of pivot or hinge.

The 'B' dimension refers to the edge of the closer shoe bracket to the center line of pivot or hinge.

- **Butt Hinges** should not exceed 5" (127 mm) in width.
- **Auxiliary Stop** is recommended at hold-open point or where a door cannot swing 180°.
- **Reveal**

Arm Type	Reveal	Max. Opening
Regular	0" to 5"	180°
Long	4" to 8"	165°
Hold-Open	0" to 2-3/4"	180°
Long Hold-Open	2" to 6-1/2"	180°

- **Top Rail** requires 1-3/4" (44 mm) minimum. 2-1/2" (64 mm) minimum with closer on PLATE, 1250-18.
- **Head Frame** less than 1-3/4" (44 mm) requires PLATE, 1250-18. For flush ceiling condition with 2" (51 mm) headframe, use PLATE, 1250-18. (Plate requires 1-3/8" (35 mm) minimum.)

Options

- Long arm, hold-open arm.
- Long hold-open arm.
- Slim Line cover (SLIM).

Special Templates

Customized installation templates or products may be available to solve unusual applications. Contact LCN Product Support for assistance.

1250 SERIES

PARALLEL ARM (PUSH SIDE) MOUNTING

Optional mounting requires PA SHOE, 1250-62PA for REGULAR or HOLD-OPEN arms. 1250 Parallel arm closer includes 1250-201 FIFTH HOLE SPACER to support PA SHOE.

MAXIMUM OPENING

Regular or hold-open arm can be templated to 100°

(A) = 7-5/16" (186mm)

(B) = 8-5/8" (219 mm)

or 101° to 130°

(A) = 5-13/16" (148mm)

(B) = 7-1/8" (181 mm)

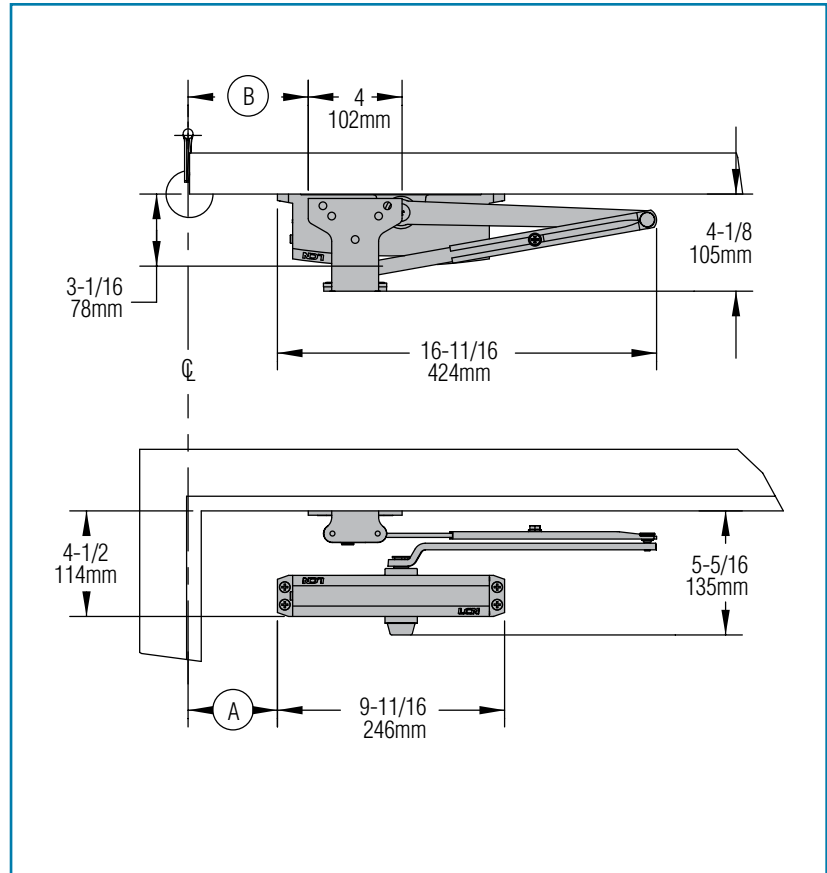
or *131° to 180°

(A) = 3-13/16" (97mm)

(B) = 5-1/8" (130 mm)

Hold-open points up to maximum opening with hold-open arm.

*Frame and trim permitting.



The 'A' dimension refers to the edge of the closer body to the center line of pivot or hinge.

The 'B' dimension refers to the edge of the closer shoe bracket to the center line of pivot or hinge.

1250 REGULAR OR HOLD-OPEN MOUNT

- **Butt Hinges** should not exceed 5" (127 mm) in width.
- **Auxiliary Stop** is recommended at hold-open point, where a door cannot swing 180°, or where CUSH-N-STOP arm is not used.
- **Clearance** for 1250-62PA shoe is 4-1/8" (105mm) from door face.
- **Top Rail** less than 4-1/2" (114mm) measured from the stop requires PLATE, 1250-18PA.
- **Stop Width** minimum 1" (25 mm).
- **Blade Stop** clearance, requires 1/2" (13 mm) BLADE STOP SPACER, 1250-61.
- **Auxiliary Shoe**, 1250-62A allows installation of regular arm with overhead holder/stop.

Options

- Slim Line cover (SLIM).
- Hold-open PA, HEDA, EDA, CUSH, HCUSH, SCUSH, SHCUSH arm.

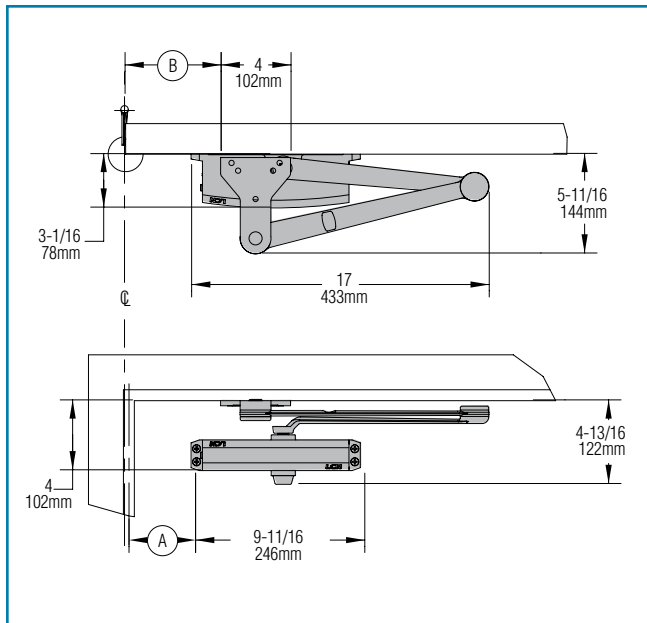
Special Templates

Customized installation templates or products may be available to solve unusual applications. Contact LCN Product Support for assistance.

1250 SERIES

MOUNTING DETAILS

1250 EDA MOUNT



1250 EDA OR CUSH-N-STOP MOUNTING

1250 closers ordered with EDA, CUSH or SPRING CUSH arms include 1250-201 FIFTH HOLE SPACER to support the shoe.

MAXIMUM OPENING

EDA template allows 180°. Hold-open point up to maximum opening.

100°,

Ⓐ = 7-5/16" (186mm)

Ⓑ = 9" (229mm)

or 130°,

Ⓐ = 5-13/16" (148mm)

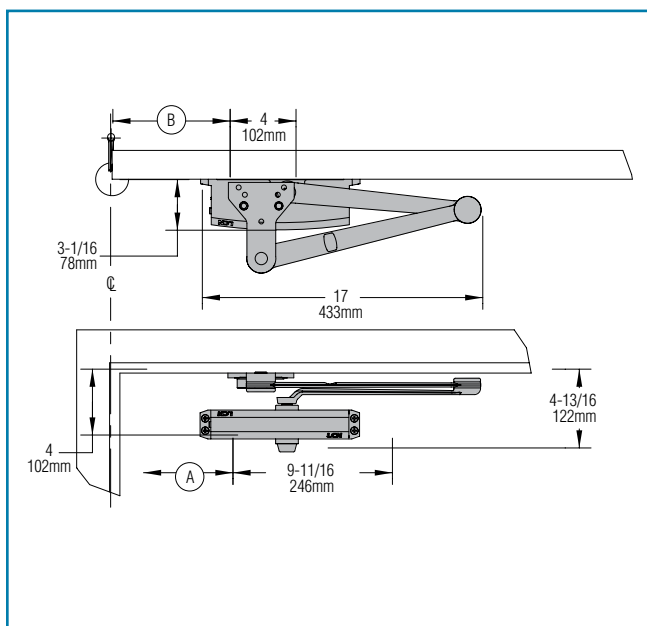
Ⓑ = 7-1/2" (191mm)

or 180°,

Ⓐ = 3-13/16" (97 mm)

Ⓑ = 5-1/2" (140 mm)

1250 CUSH /SCUSH MOUNT



CUSH arms can be templated for maximum opening/hold-open point at 85°,

Ⓐ = 8-13/16" (224 mm)

Ⓑ = 10-1/2" (267 mm)

90°,

Ⓐ = 8-1/16" (205 mm)

Ⓑ = 9-3/4" (248 mm)

95°,

Ⓐ = 7-5/16" (186 mm)

Ⓑ = 9" (229 mm)

100°,

Ⓐ = 6-11/16" (170 mm)

Ⓑ = 8-3/8" (213 mm)

or 105°,

Ⓐ = 6-1/16" (154 mm)

Ⓑ = 7-3/4" (197 mm)

or 110°,

Ⓐ = 5-7/16" (138 mm)

Ⓑ = 7-1/8" (181 mm)

The 'A' dimension refers to the edge of the closer body to the center line of pivot or hinge.

The 'B' dimension refers to the edge of the closer shoe bracket to the center line of pivot or hinge.

- **Clearance** for 1250-62EDA or CUSH shoe is 5-11/16" (144mm) from door face.
- **Head Frame** flush or rabbeted requires CUSH FLUSH PANEL ADAPTER, 1250-419.
- **EDA or CUSH ARM** requires soffit SHOE SUPPORT, 1250-30 for fifth screw anchorage where reveal is less than 2-3/4" (70mm).
- **Spring CUSH** hold open points are approximately 5° less than dead stop point.

1250 SERIES

CYLINDERS

CYLINDER, 1250-3071

Standard, non-handed cast aluminum cylinder assembly.

ARMS

REGULAR ARM, 1250-3077

Non-handed arm mounts hinge side or top jamb. Parallel Arm includes PA SHOE, 1250-62PA required for parallel arm mounting.

PA SHOE, 1250-62PA

Required for parallel arm mounting.

LONG ARM, 1250-3077L

Optional, non-handed arm includes LONG ROD AND SHOE, 1250-79LR for top jamb mount with deep reveals.

HOLD-OPEN ARM, 1250-3049

Optional, non-handed arm mounts hinge side, top jamb or parallel arm (62PA required). Hold-open adjustable at shoe.

LONG HOLD-OPEN ARM, 1250-3049L

Optional non-handed arm includes LONG HEAD AND TUBE, 1250-3048L for top jamb mount with deep reveals.

EXTRA DUTY ARM, 1250-3077EDA, 1250-3077EDA/G,

Optional, non-handed parallel arm features solid forged steel main and forearm for potentially abusive installations. Optional 1250-3077EDA/G for blade stop clearance.

HEDA ARM, 1250-3049EDA

Optional handed arm, provides hold-open function adjustable at shoe.

CUSH-N-STOP® ARM, 1250-3077CNS

Optional, non-handed parallel arm features solid forged steel main arm and forearm with stop in soffit shoe.

HCUSH ARM, 1250-3049CNS

Optional non-handed arm, provides hold-open function with templated stop/hold-open points. Handle controls hold-open function.

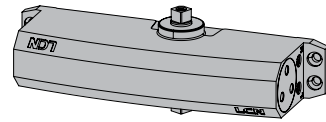
Spring Cush Arm, 1250-3077SCNS

Optional, non-handed parallel arm for abusive applications features solid forged steel main arm and forearm with spring loaded stop in the soffit shoe. Spring CUSH Arm hold open points are approximately 5° less than dead stop point.

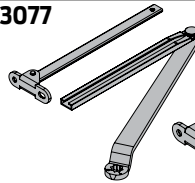
Spring HCush Arm, 1250-3049SCNS

Optional, non-handed parallel arm for abusive applications features solid forged steel main arm and forearm with spring loaded stop in the soffit shoe. Handle controls hold-open function.

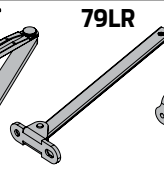
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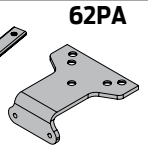
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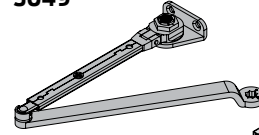
79LR



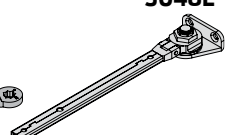
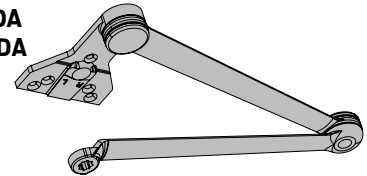
62PA



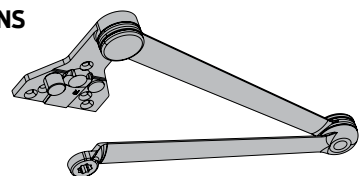
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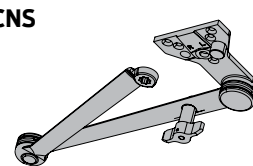
3048L

3077EDA
3049EDA

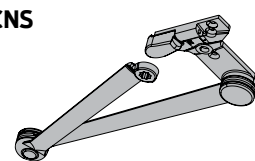
3077CNS



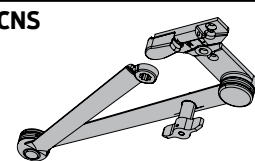
3049CNS



3077SCNS



3049SCNS



1250 SERIES

ACCESSORIES

COVER

COVER, 1250-72

Optional, non-handed, slim line plastic cover.

INSTALLATION ACCESSORIES

PLATE, 1250-18

Required for hinge side mount where top rail is less than 2-3/8" (60mm).

Required for top jamb mounting where head frame is less than 1-3/4" (44 mm) or flush ceiling condition exists.

Plate requires minimum 1-1/2" (38 mm) minimum top rail or 1-1/4" (32 mm) head frame.

PLATE, 1250-18PA

Required for parallel arm mounting where top rail is less than 4-1/2" (114mm), measured from the stop.

Plate requires 1-3/4" (44 mm) minimum top rail.

CUSH SHOE SUPPORT, 1250-30

Provide anchorage for fifth screw used with CUSH arms where reveal is less than 2-3/4" (70mm).

BLADE STOP SPACER, 1250-61

Lowers parallel arm shoe to clear 1/2" (13 mm) blade stop.

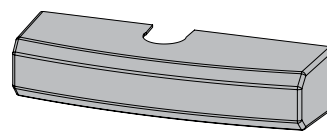
AUXILIARY SHOE, 1250-62A

Requires a top rail of 7-1/8" (181mm). Optional shoe replaces -62PA for parallel arm mounting of regular arm with overhead holder/stop.

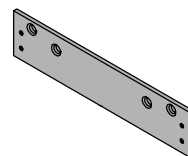
FLUSH PANEL ADAPTER, 1250-419

Provides horizontal mounting surface for PA, EDA or CUSH shoe on single rabbeted or flush frame.

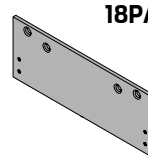
72



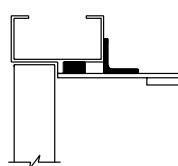
18



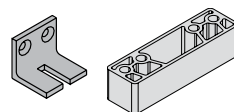
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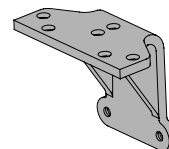
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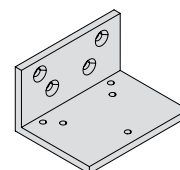
61



62A



419



1250 SERIES

TABLE OF SIZES

Select closer based on width of door.

The spring power of a 1250 cylinder is field adjustable from size 1 through size 5 and is shipped adjusted to size 3.

EXTERIOR (and VESTIBULE) DOOR WIDTH

	24"	30"	36"	42"
	610mm	762mm	914mm	1067mm
*1250	size 3	size 4	size 5	
Minimum Door Width				

INTERIOR DOOR WIDTH

	24"	34"	38"	48"	54"
	610mm	864mm	965mm	1219mm	1372mm
*1250	size 2	size 3	size 4	size 5	
Minimum Door Width					


* Adjustable Size 1 thru 5

→ Indicates recommended range of door width for closer size.

REDUCED OPENING FORCE 1250 CLOSERS

CAUTION! Any manual door closer, including those certified by BHMA to conform to ANSI Standard A156.4, that is selected, installed and adjusted based on ADA or other reduced opening force requirements may not provide sufficient power to reliably close and latch a door.

Refer to POWER OPERATORS section for information on systems that meet reduced opening force requirements without affecting closing power.

	DOOR WIDTH	36"	42"	48"
	8.5* lbs.	1250	1250	1250
	5.0* lbs.	1250	1250	1250

* Maximum opening force.

HOW-TO-ORDER 1250 SERIES CLOSERS

1. SELECT FINISH

- ☐ Standard Powder Coat _____
Aluminum, Dark Bronze, Statuary,
Light Bronze, Black, Brass.

Closer will be shipped with:

- STANDARD CYLINDER
 - STANDARD COVER
 - TRI PACK ARM
 - UNIVERSAL SCREW PACK
- unless options listed below are selected.*

CLOSER OPTIONS

COVER

- ☐ Slim line cover (SLIM)

FINISH

- ☐ Custom RAL____
- ☐ SRI primer

ARM

SCUSH / HCUSH

- ☐ Regular w/62PA (Rw/PA)
- ☐ Long (LONG)
- ☐ Regular w/62A (R/62A)
- ☐ Hold-Open w/62PA (Hw/PA)
- ☐ Long Hold-Open (HLONG)
- ☐ HEDA (specify right or left hand),
- ☐ Cush-N-Stop (CUSH)
- ☐ HCush (HCUSH)
- ☐ Spring CUSH (SCUSH)
- ☐ Spring HCUSH (SHCUSH)
- ☐ EDA

SPECIAL TEMPLATE

- ☐ ST- _____

OPTIONAL SCREW PACKS

- ☐ TORX Machine Screw (TORX)
 - ☐ TB* & TORX Machine Screw (TBTORX)
- * Specify door thickness if other than 1-3/4".

MEETS BUY AMERICAN ACT

- ☐ BAA

INSTALLATION ACCESSORIES

- ☐ Plate, 1250-18
- ☐ Plate, 1250-18PA
- ☐ CUSH Shoe Support, 1250-30
- ☐ Blade Stop Spacer, 1250-61
- ☐ Auxiliary Shoe, 1250-62A
- ☐ PA Flush Panel Adapter, 1250-419