

# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

**Project Description:**

Install gutters; install skylights

308 S Boylan Ave

Address

Boylan Heights

Historic District

The Boylan Mansion (Montfort Hall)

Historic Property

COA-0066-2020

Certificate Number

6/2/2020

Date of Issue

12/2/2020

Expiration Date

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

*Collette R Kinne*

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*

Type or print the following:

Applicant name: Laurie Jackson

Mailing address: 115.5 E. Hargett St. Ste 300

City: Raleigh State: NC Zip code: 27601

Date: 04.28.20 Daytime phone #: 9198294969

Email address: laurie@maurerarchitecture.com

Applicant signature:

Minor work (staff review) – one copy

Major work (COA committee review) – ten copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of approval

Office Use Only

Transaction #: \_\_\_\_\_

File #: COA-0066-2020

Fee: \_\_\_\_\_

Amount paid: \_\_\_\_\_

Received date: \_\_\_\_\_

Received by: \_\_\_\_\_

Property street address: 308 S. Boylan Ave.

Historic district: Boylan Heights

Historic property/Landmark name (if applicable): Montfort Hall

Owner name: MH Boylan LLC

Owner mailing address: 308 S. Boylan Ave

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Table with 2 columns: Property Owner Name & Address. Multiple empty rows for listing property owners.





CoA Minor Works Application  
Montfort Hall, 308 S. Boylan Ave Raleigh NC 27603  
Revisions to COA-0033-2019

04.27.20

The following revisions are being made to COA-0033-2019:

**Feature: Roof.**

-New half-round copper gutters are proposed for the new addition roof (TPO membrane), the existing south addition roof (copper standing seam), the stair tower roof (TPO membrane) and the porch roof (copper standing seam) at new entry at rear of building. See roof plan for locations of downspouts.

-The rear entry porch roof design has been modified to accommodate commercial hood exhaust fan and make-up air unit. The porch roof has a 2'-9" parapet wall at the perimeter with a 3'-2" railing above. The mechanical equipment will be screened from view. See SK1- SK6, provided with this amendment.

-Small tube skylights are being proposed for the second floor addition roof. The daylighting system (Solatube 160 DS, specification attached) would not be visible from the exterior of the building. See the roof plan for solatube locations.

**Feature: Porches.**

-A composite column, capital and base are being proposed for the existing front porches and the new entry porch on the rear of the building based on the longevity of the material as compared to wood. The specification is a 10" x 12' Round Tapered Chadsworth PolyStone column with a 'Temple of the Winds' capital and attic base for the front or east porches. Specifications are attached as an appendix to this amendment. The columns on the rear entry porch are proposed to be Chadsworth Polystone 10" diameter Tuscan columns.

**Feature: Doors.**

-The new exterior door at the stair tower addition first floor and basement entry will be double leaf, wood, three-quarter lites with arched tops. Door 116 on the first floor has been changed from a single leaf to a double leaf door at storage closet. All doors are proposed to be wood, Marvin or equal. See elevations SK 8 & 9 for porch entry door and for basement entry door.

**14. Feature: HVAC**

There will be a 5'-0" commercial hood installed in the kitchen area. The exhaust fan for the commercial hood will be housed on a mechanical platform above the new rear entry porch and screened from view. Ductwork from the hood will go through the wall at the soffit area and up to the platform above the porch ceiling. The mechanical platform will have a wood balustrade guard rail with a minimum height of 42". A make-up air unit for the hood will also be located above the ceiling of the new rear entry porch.

Removed from application & converted to major work COA



01- Existing east or main elevation



02- North elevation with second story addition



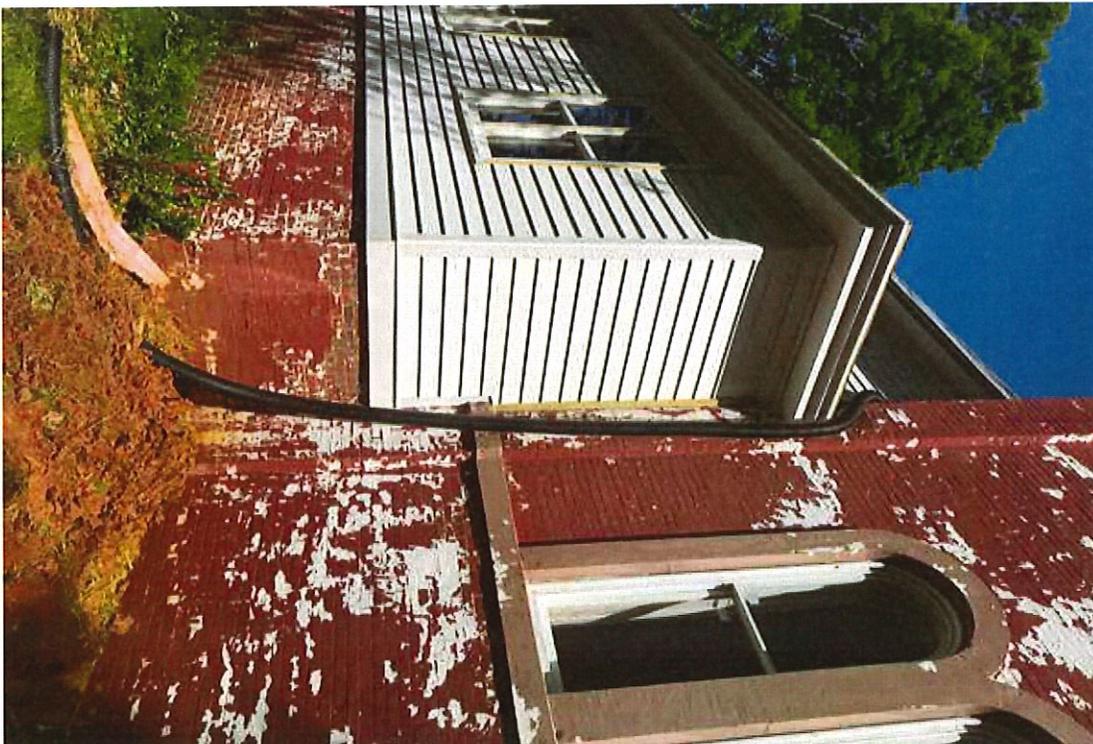
03- West elevation at stair tower addition



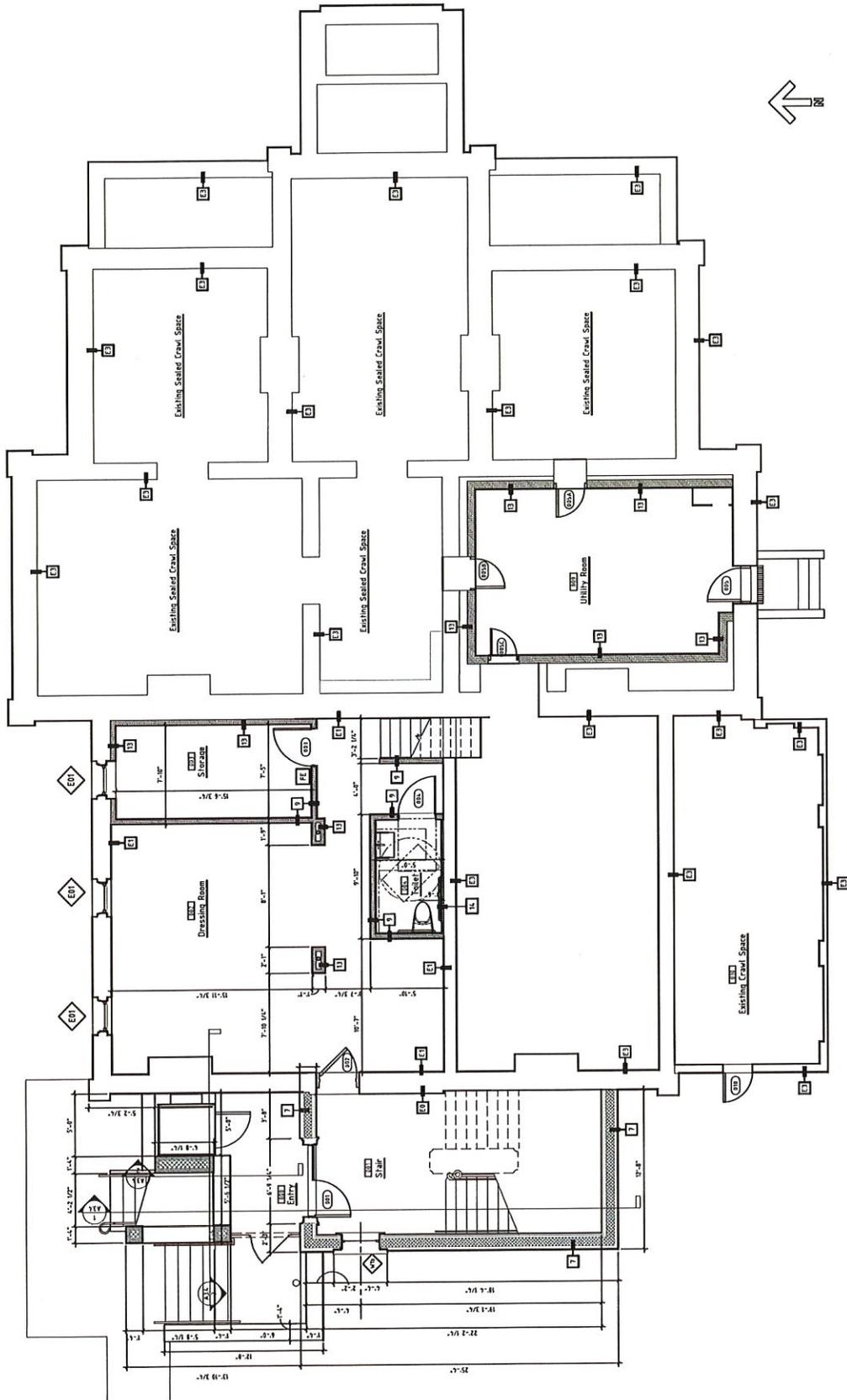
04- South elevation of new stair tower after wood siding is installed



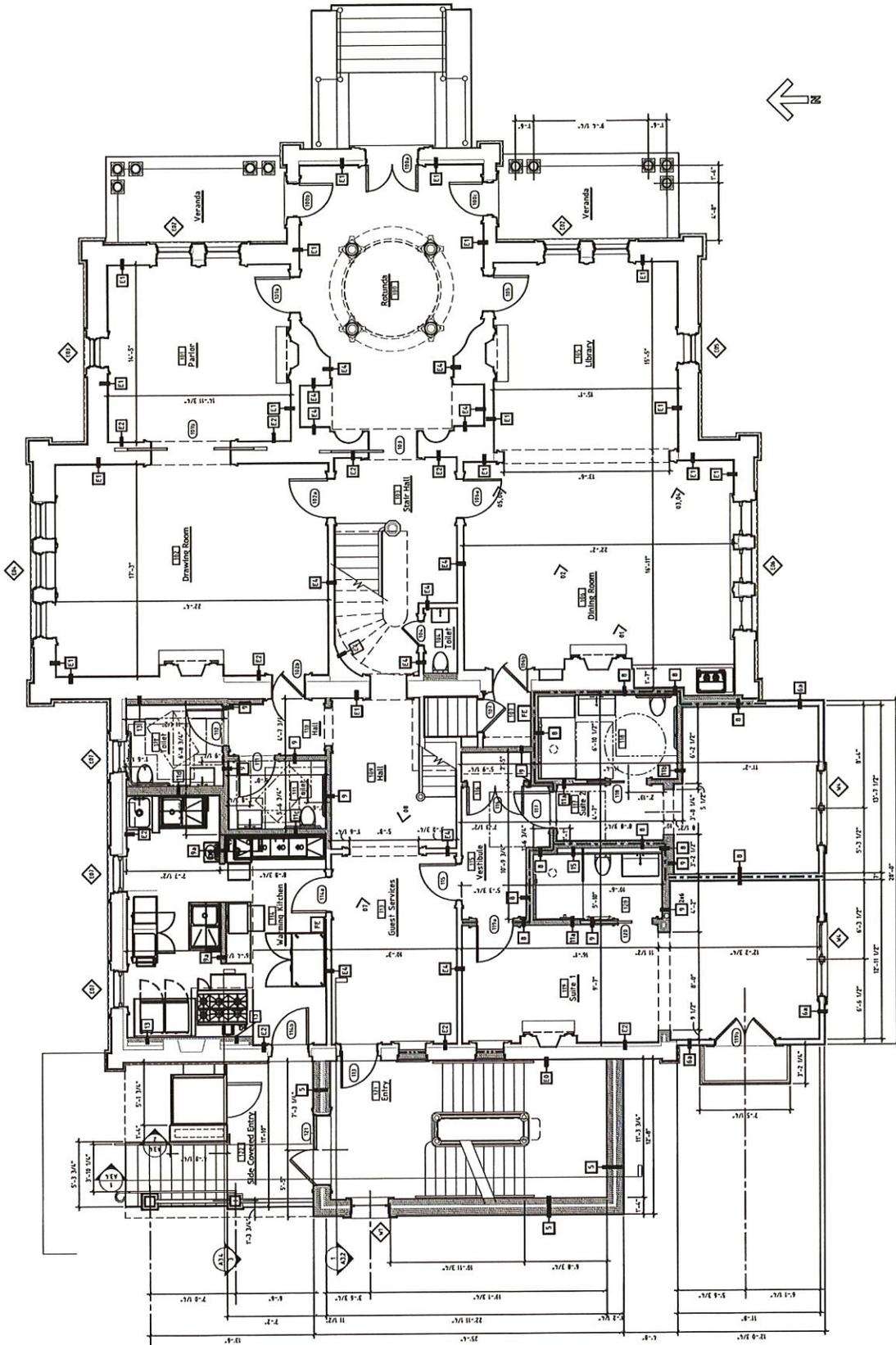
05- South elevation before siding has been installed



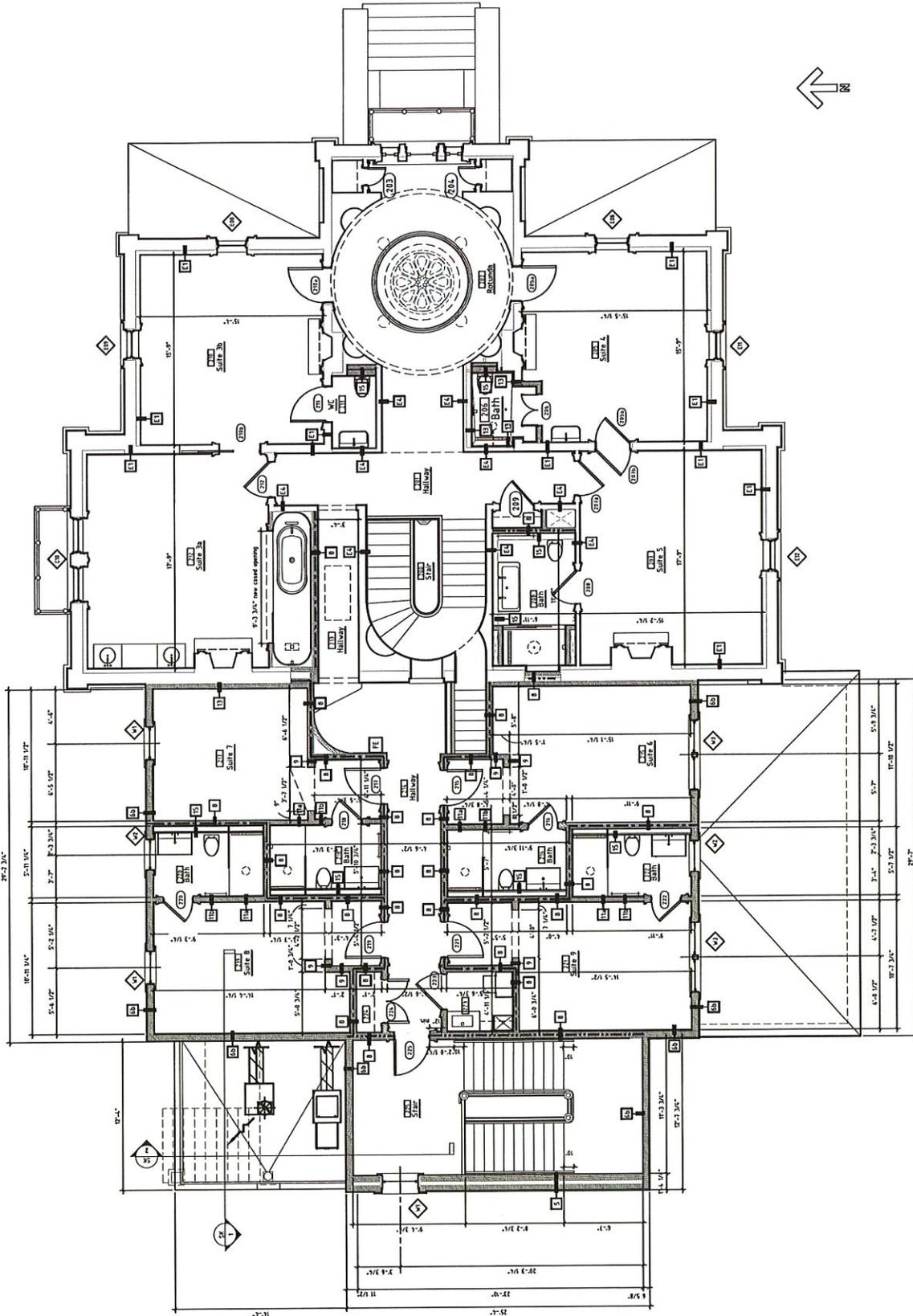
06- South elevation after wood siding is installed



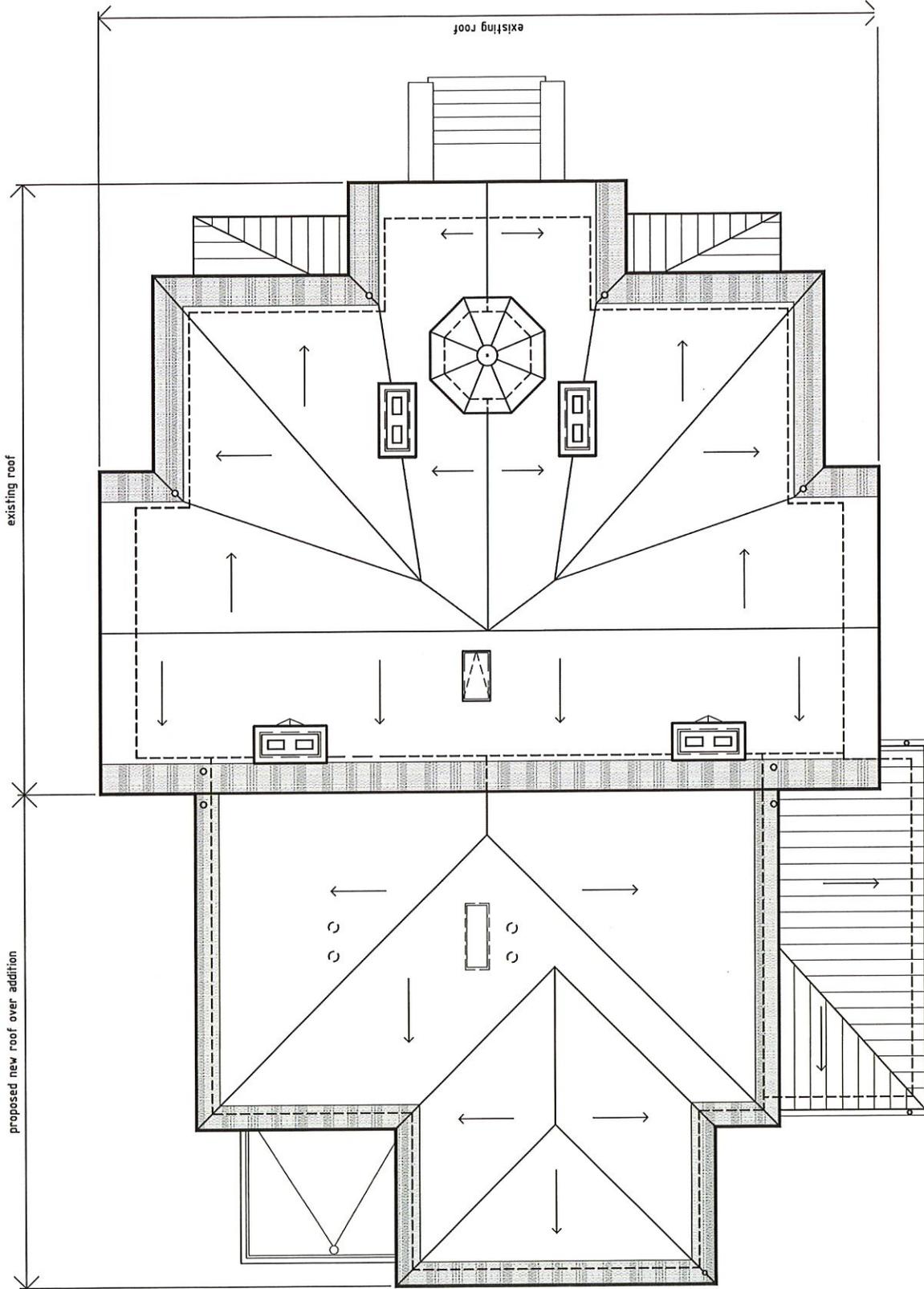
Basement Floor Plan  
 10/18/12



1. First Floor Plan  
 04.05.05



1 SECOND FLOOR PLAN  
 1/8" = 1'-0"



1 Roof Plan  
1/4" = 1'-0"  
11.02.22

## Kinane, Collette

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**From:** Jackson <laurie@maurerarchitecture.com>  
**Sent:** Wednesday, May 27, 2020 9:52 AM  
**To:** Kinane, Collette  
**Cc:** Tully, Tania; Morton, Erin  
**Subject:** Re: minor work COA - COA-0066-2020 (308 S Boylan Ave / Montfort)

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Hi Collette and gang,

Thanks for the email. Can we go ahead and get in line for bringing the application back to the Committee? Do I need to submit a major work application, or what is the next step? Any idea where we are in terms of being heard? I understand that you are unable to approve at staff level as a revision to the original but unfortunately we are pretty far into construction at this point. I don't think there will be an issue getting approval from the Committee, but the timing is not ideal.

Does it help at all that SHPO has approved these changes, including the use of the 'polystone' columns? Also, in regards to the columns-- the columns that were on the front porches of the building were pvc pipe with crude concrete bases and capitals. So, we are not replacing a historic column with a composite column- there were no extant historic columns. SHPO pointed this out and noted that fact gives us more latitude in the replacement material. The new addition is also proposed to have composite columns on the rear entry porch, but here everything is new.

Any thoughts or direction would be most appreciated. Thanks and see you soon!

**Laurie Jackson**  
Project Manager  
**MAURER ARCHITECTURE**  
115.5 East Hargett Street - Suite 300  
Raleigh, NC 27601

919.829.4969 tel ext 2303  
[laurie@maurerarchitecture.com](mailto:laurie@maurerarchitecture.com)

On Fri, May 22, 2020 at 4:18 PM Kinane, Collette <[Collette.Kinane@raleighnc.gov](mailto:Collette.Kinane@raleighnc.gov)> wrote:

Hi, Laurie –

Thanks for your patience. We've reviewed your minor work submission and discussed the proposed changes to the porch. We can certainly approve the gutters and skylights. However, as currently submitted, we cannot approve the alterations to the porch as staff. The change is significant and, during our review, we questioned whether the design of

the porch was too elaborate for its location on the house (ie: is it still subservient to the historic portion of the house). Because of our questions, we believe that the change is substantial enough to warrant review by the Committee.

We had a few other thoughts:

- The doors should be more simple in design. In the initial application, the approved doors had rectangular windows. The proposed doors seem too elaborate for their location on the structure.
- There was confusion regarding the elevation drawings. In comparing the proposed changes to the final approved drawings from COA-0033-2019, the addition (especially the stair tower/porch entrance) appears to be noticeably wider than the structure previously approved. Are you also changing the footprint?

Let us know if you have questions.

We hope you have a good weekend! (Sorry to start it with bad news...)

Thanks,

Collette

**Collette R. Kinane**

Preservation Planner II

■ Raleigh Urban Design Center

One Exchange Plaza, Suite 300 | Raleigh, NC 27601

919-996-2649 | [raleighnc.gov](http://raleighnc.gov)

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**From:** Jackson <[laurie@maurerarchitecture.com](mailto:laurie@maurerarchitecture.com)>

**Sent:** Friday, May 1, 2020 12:44 PM

**To:** Kinane, Collette <[Collette.Kinane@raleighnc.gov](mailto:Collette.Kinane@raleighnc.gov)>

**Cc:** Tully, Tania <[Tania.Tully@raleighnc.gov](mailto:Tania.Tully@raleighnc.gov)>; Morton, Erin <[Erin.Morton@raleighnc.gov](mailto:Erin.Morton@raleighnc.gov)>

**Subject:** Re: minor work COA - COA-0066-2020 (308 S Boylan Ave / Montfort)

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Ok, the doors will actually be custom fabricated by someone local. The contractor is working on getting me some specs to share with you.

thanks Ladies!

**Laurie Jackson**  
Project Manager  
**MAURER ARCHITECTURE**  
115.5 East Hargett Street - Suite 300  
Raleigh, NC 27601

919.829.4969 tel ext 2303  
[laurie@maurerarchitecture.com](mailto:laurie@maurerarchitecture.com)

On Fri, May 1, 2020 at 11:52 AM Jackson <[laurie@maurerarchitecture.com](mailto:laurie@maurerarchitecture.com)> wrote:

Hi there!

Attached are the updated elevations of the north and west facades. The gutters are shown on the roof plan, attached.

the basement door really can't be seen from any elevation as it is under the rear porch entry, and I bubbled it on the attached basement plan. Both the basement door and the porch entry door are proposed to be double leaf half lite doors.

I will work on specs for the doors, they will be Marvin.

thank you!

**Laurie Jackson**  
Project Manager  
**MAURER ARCHITECTURE**  
115.5 East Hargett Street - Suite 300  
Raleigh, NC 27601

919.829.4969 tel ext 2303  
[laurie@maurerarchitecture.com](mailto:laurie@maurerarchitecture.com)

On Thu, Apr 30, 2020 at 5:10 PM Kinane, Collette <[Collette.Kinane@raleighnc.gov](mailto:Collette.Kinane@raleighnc.gov)> wrote:

Hi, Laurie!

I hope you're coping with the work from home insanity. I've started reviewing the minor work you submitted.

I didn't see any concern with the gutters or skylights, though could you show the gutter locations on the roof plan?

We're going to talk about the alterations to the rear porch tomorrow. Could you send a drawing that shows the full façade with the proposed porch alterations? It would be helpful to see it as part of the whole.

It may be my lack of at-home screen power, but I cannot figure out which basement door you're proposing to change. Can you help point me to the right place? Also, will the doors be custom or ordered? Do you have a spec? final thought – are they solid or will they have glazing?

I'll end with the bad news, the change to the columns is definitely not something we can approve as staff.

Thanks for handling my barrage of questions! More to come after I consult with the rest of the team.

Collette

**Collette R. Kinane**

Preservation Planner II

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