



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

[After-the-fact] Changes to a previously approved COA-0014-2019, including: Replace all existing basement windows; alter rear window opening; alter roof forms and coverings of front and side porches and rear addition; construct rear covered entry

*Beyond this expiration date, NC Session Law 2021-03 grants an extension to all valid development permits until 150-days after NC Executive Order 116 is rescinded.

407 N Blount St

Address

Blount Street

Historic District

Andrews-Duncan House

Historic Property

COA-0066-2021

Certificate Number

5/14/2021

Date of Issue

11/14/2021*

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Em Norton

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name: Maurer Architecture

Mailing address: 115 1/2 E. Hargett St.

City: Raleigh

State: NC

Zip code: 27601

Date: 4-19-21

Daytime phone #: 828-808-9997

Email address: brooke@maurerarchitecture.com

Applicant signature:

Minor work (staff review) – one copy

Major work (COA committee review) – ten
copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of
approval

Office Use Only

Transaction #: _____

File #: COA-0066-2021

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address: 407 N. Blount St.

Historic district: N. Blount St. Historic District

Historic property/Landmark name (if applicable): Andrews Duncan House

Owner name: State of North Carolina

Owner mailing address:

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address

Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Office Use Only Type of work: <u>60, 84, 89</u>
Did you consult with staff prior to filing the application? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
See attached description of work	See attached description of work	See attached description of work

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>11/14/2021</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Emi Mastr</u>	Date <u>05/14/2021</u>



Andrews Duncan House

407 N. Blount St.

Summary of Work- Certificate of Appropriateness Major Works application, *Revised for Minor Works 5 April 2021*

The Major Works application for COA-0014-2019 dated March 2019 has been revised and shown as Revision 2 on the drawings. Revision 2 includes: EPDM membrane roof instead of previous approved metal roof at all low slope roofs, re-used slate roof at lower level basement entry, relocating an existing window to its original location on the North Elevation 2nd level, and replacing all basement wood windows with new windows to match. All revisions are italicized and bold below:

Built in 1879, the Andrews Duncan House is a Raleigh Historic Landmark (1972), located in the North Blount St. HD and was individually listed on the National Register of Historic Places in 1971. The building sits on a 0.03 acre parcel and has had modifications made to two porches on the south and west elevations. It is currently owned by the State of North Carolina. The building has been unoccupied for several years after being used as offices for the State; the prospective buyers plan to restore the property according to the Secretary of the Interior's Standards and retain the original use of a single-family residence. There are also covenants on the property held by the State of North Carolina that ensure the protection of historic, character-defining elements on the exterior and interior of the building upon its sale. As part of the sale of buildings along the 400 block of N. Blount St., a 12' easement was created to provide access to the block interior.

An existing, non-original addition is to be removed along with its brick foundation walls on the south elevation. The cut stone foundation of the original side porch is intact inside the newer brick foundation, and will be retained. Rebuilding a small addition on the existing cut stone foundation in this location is proposed. The design for the addition is based on a documentary image of the original porch and matches the existing porch details on the east elevation, see attached. A covered porch is proposed off of the south addition at the southwest corner of the building. Modifications have also been made to the west elevation of the building. The National Register nomination references a porch on the rear or west elevation similar to the porch on the front or east elevation. A door has been converted to a window (although the original architraves remain) and wooden stairs have been added to provide access to a first floor door. A separate set of wooden stairs provides access to a second floor door. The stairs and landings are to be removed. An exterior entrance to the basement is located under this deck and will also be removed. A new exterior concrete stair will be built in its place to accommodate access to a lowered basement floor ***with a gabled roof re-using slate from original main roof (Rev. 2)***



1.5 Walkways, Driveways and Offstreet Parking

1.5.5 An existing gravel parking area is located along the easement access to the block interior and is to be enlarged. Four parking spots measuring 9'-0" by 18'-0" are proposed. An 18" perimeter for the parking area and a 4'-0" concrete walk are proposed.

2.1 Wood

2.1.1 Existing lap siding is to be retained, repaired and replaced as required to match the existing.

2.1.3 Existing wood trim and other decorative features are to be retained, repaired and replaced as required to match the existing.

2.2 Masonry

2.2.1 Remove non-original brick foundation on the south elevation and restore existing cut stone foundation behind it.

2.2.5 The existing cut stone foundation is to be repaired as necessary.

2.5. Roofs

2.5.5 The original slate roof has been removed and replaced with asphalt shingles while under ownership of the State. The built-in gutter system will be repaired along with any structural damage sustained by roof members. Existing downspouts will be replaced in kind. A new 1 ¾" standing seam metal roof is proposed, see attached specifications. The new roofing on proposed additions will be **black EPDM roofing**. ***The existing low slope roofs have been built up numerous times and the gutter systems were not designed and constructed properly. As recommended by the structural engineer, the roof will be rebuilt with zero slope roof rafters/ceiling joists and EPDM membrane with a built in gutter system; all fascias and eave details including brackets and cornices will be re-used or rebuilt to match existing. (Rev. 2).***

.8 If new gutters and downspouts are needed, install them so that no architectural features are lost or damaged. Select new gutters and downspouts that match trim color, unless they are copper. For modest postwar roofs, galvanized metal may be an appropriate choice. Retain the shape of traditional half-round gutters and downspouts if replacing them. ***All downspouts and gutters are beyond repair and will be replaced. New half-round metal downspouts will be installed at locations indicated on elevations. (Rev. 2)***

.9 It is not appropriate to replace concealed, built-in gutter systems with exposed gutters.

2.7 Windows and Doors

2.7.1-2.7.2 Two non-original doors installed in modified window openings will be removed on the south and west elevations. Where possible, existing windows will be restored to these locations.

2.7.4 All existing original windows and door are to be repaired. Any new window will match the existing in design, dimension, material and quality of material. ***All basement level windows are deteriorated beyond repair and need to be replaced with new wood windows to match. (Rev. 2)***



2.8 Entrances, Porches and Balconies

2.8.6 A new covered porch will be built at the southwest corner of the building matching the details of the documentary photograph and the existing historic porch on the east elevation.

2.10 Sustainability and Energy Retrofit

2.10.3 The existing mechanical units will be removed from the north side of the building. New exterior mechanical units will be placed in the same general location.

3.2 Additions

3.2.4-3.2.5 A tree protection plan is included that shows the critical root zone for individual trees to be retained and the location of tree protection fencing. There is a mature oak tree in close proximity to the building; due to the location of the existing parking area, the soil has likely been compacted within the critical root zone of this tree. In the material choice of gravel for the enlarged parking area and with the intention of hand digging to excavate for the new covered porch pier foundations, the future owners plan to retain this tree and protect it during construction activities.

3.2.8 The new addition on the south elevation is located where the original side porch was located, and the intent is to rebuild on the existing cut stone foundation of the original porch. The new exterior stair is located where the existing stair is located but has to be enlarged to accommodate more stairs to a new basement finish floor and meet building code and egress requirements. A new door will be installed at this basement entrance.

Morton, Erin

From: Brooke Tate <brooke@maurerarchitecture.com>
Sent: Tuesday, May 11, 2021 10:59 AM
To: Morton, Erin
Cc: Kinane, Collette
Subject: Re: COA-0066-2021 (407 N Blount St) - Minor Work COA
Attachments: COA Photo submittal 3 May 2021 EPDM Roof Details.pdf; COA Photo submittal 3 May 2021 Basement Windows small.pdf

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you verify that the attachment and content are safe. If you believe this email is suspicious, please click the 'Phish Alert' link in the banner to report this message. **EXTERNAL EMAIL ADDRESS:** brooke@maurerarchitecture.com

Good morning Erin and Collette,

Attached are more photos and evidence of the window deterioration at the basement windows. It may be helpful to meet on site if that is an option for you to do. There are so many moving parts and pieces to this project, including the fact that it is still under Ownership by the state and all the work they are currently doing does not have to be approved by RHDC. I am hopeful these items will be quickly approved so they can continue work. They are custom making each window to match.

The existing roofs had so many layers built up it was difficult to tell if they were originally flat or low slope. The best case to try and get the built-in gutter system to work is to do the EPDM membrane on all roofs and rebuild the gutter system to look as it was but actually function.

Please find attached roof membrane detail and more detailed photos of each basement window and let me know if you have any questions and can meet on site with me and the Contractor to review if necessary.

Thank you,
Brooke Tate



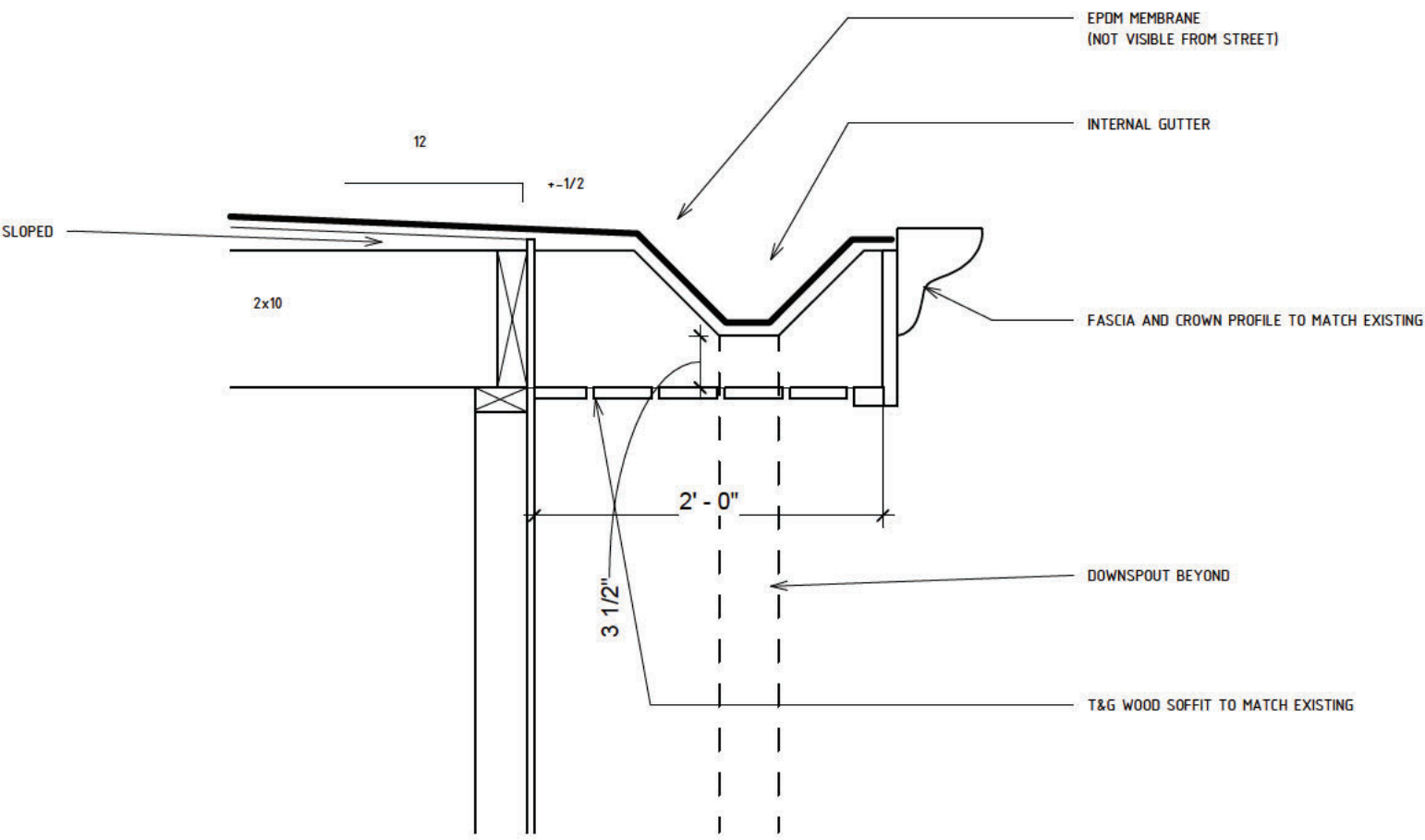
Brooke Tate

Architectural Designer
Maurer Architecture
115 ½ E. Hargett St. Suite 300 Raleigh, NC 27601
(office) 919.829.4969 | (direct) 919.238.1786
maurerarchitecture.com

On Fri, Apr 30, 2021 at 12:51 PM Brooke Tate <brooke@maurerarchitecture.com> wrote:

Erin,

Thank you, the fee is paid. I visited the site this morning and will work on new materials to email you



1

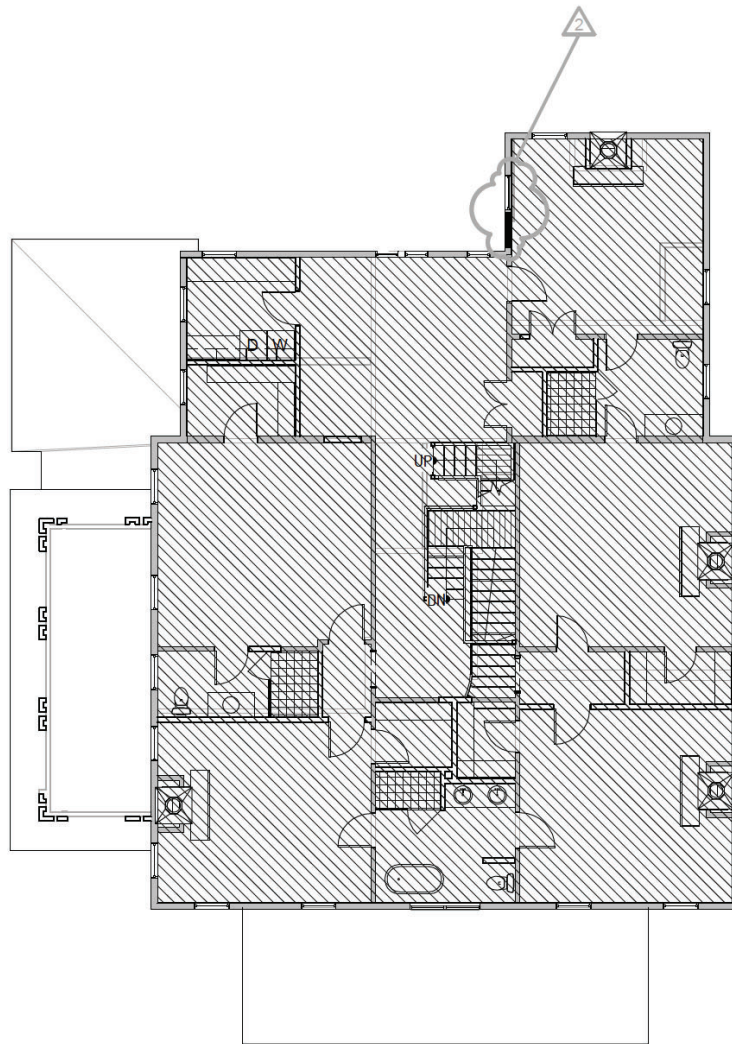
SCALE: 1" = 1'-0"



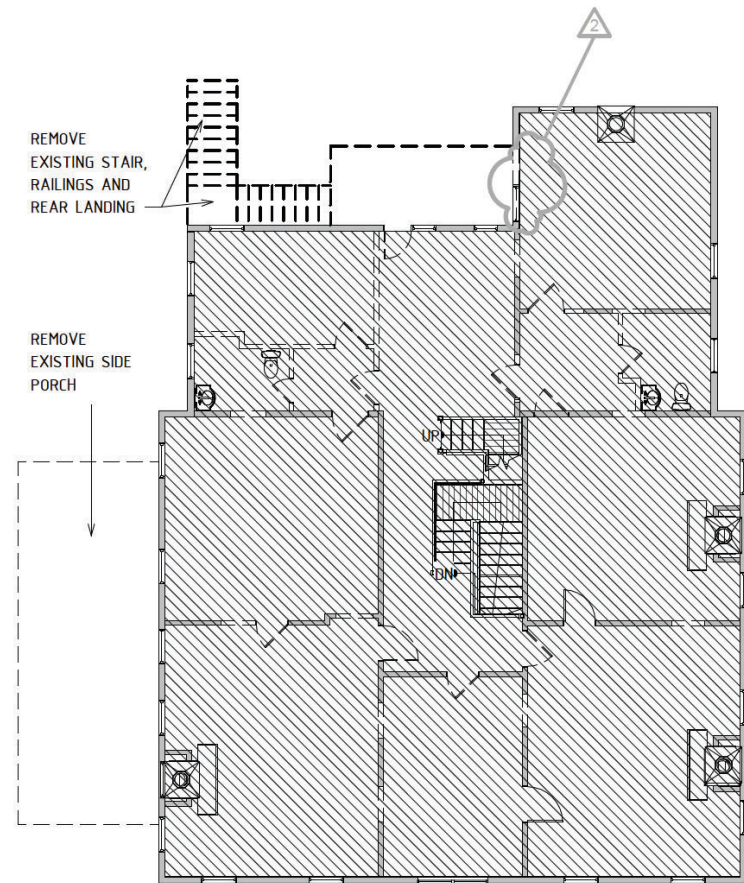
EXISTING SOFFIT DETAIL TO MATCH



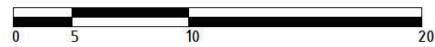
NEW CEILING JOIST/SOFFIT FRAMING UNDER CONSTRUCTION AT REAR UPPER ADDITION, TYP. AT ALL EPDM ROOFS



407 N. BLOUNT STREET PROPOSED SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

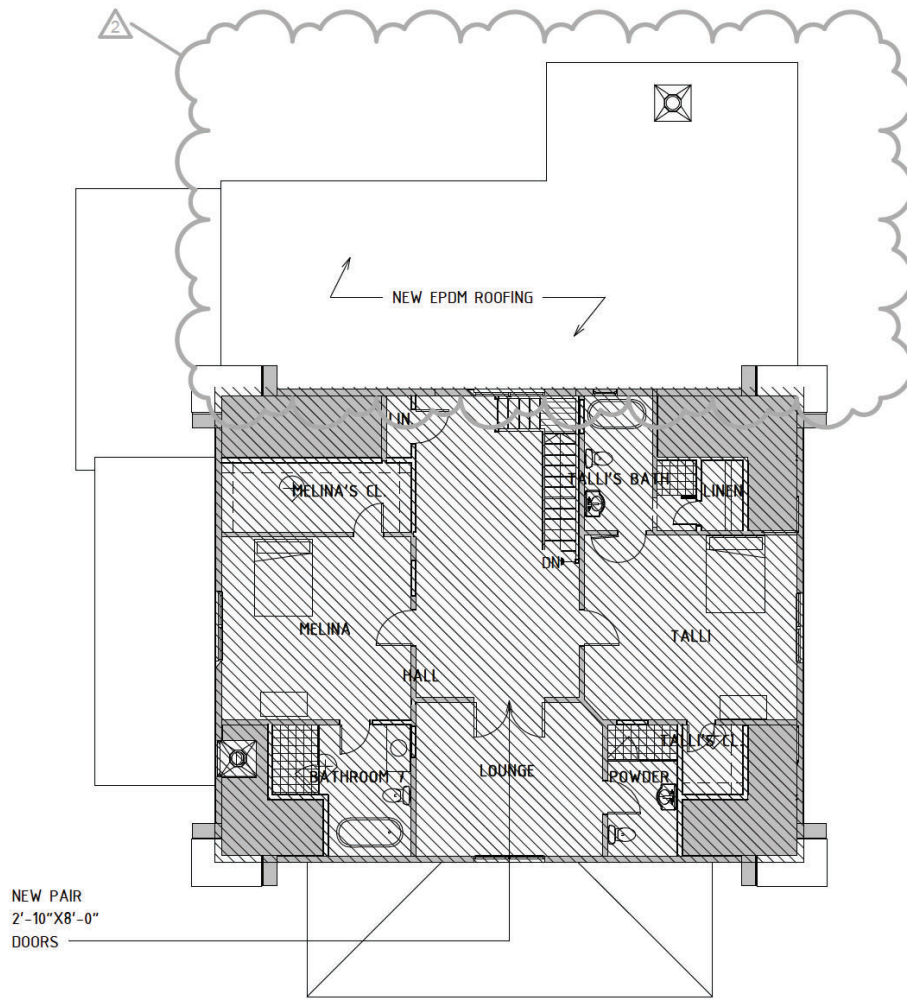


407 N. BLOUNT STREET EXISTING SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

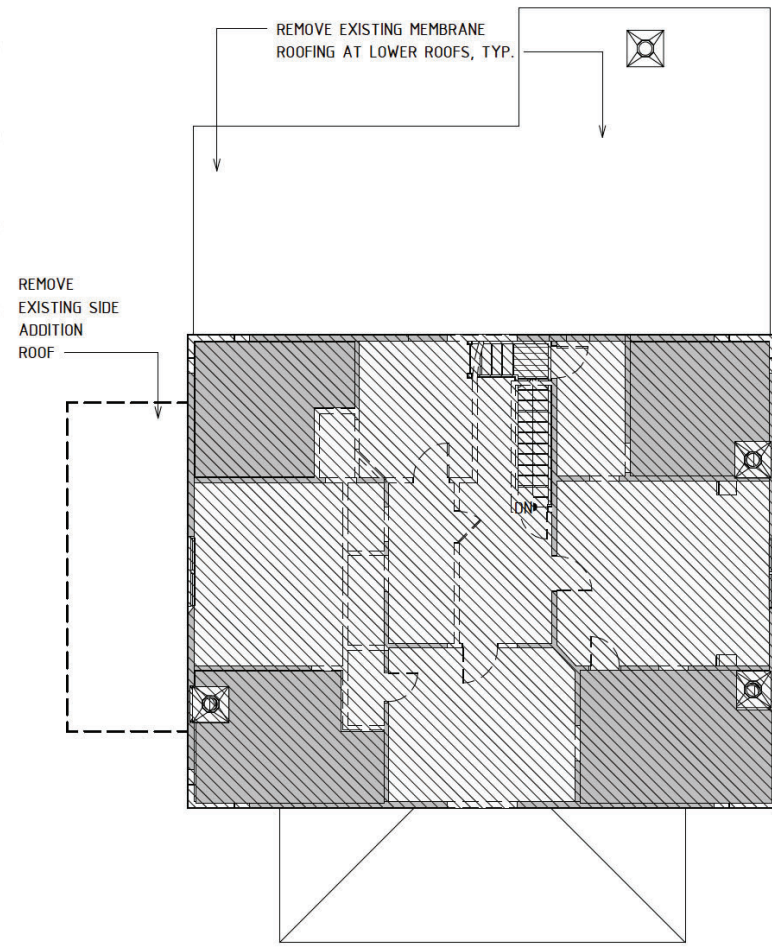


DEMOLITION PLAN KEY	
	INDICATED WALLS, DOORS, FINISHES, ETC. TO BE REMOVED
	ALL INTERIOR CHANGES TO BE APPROVED BY NC SHPO

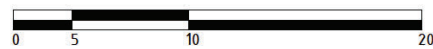




407 N. BLOUNT STREET PROPOSED THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

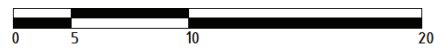
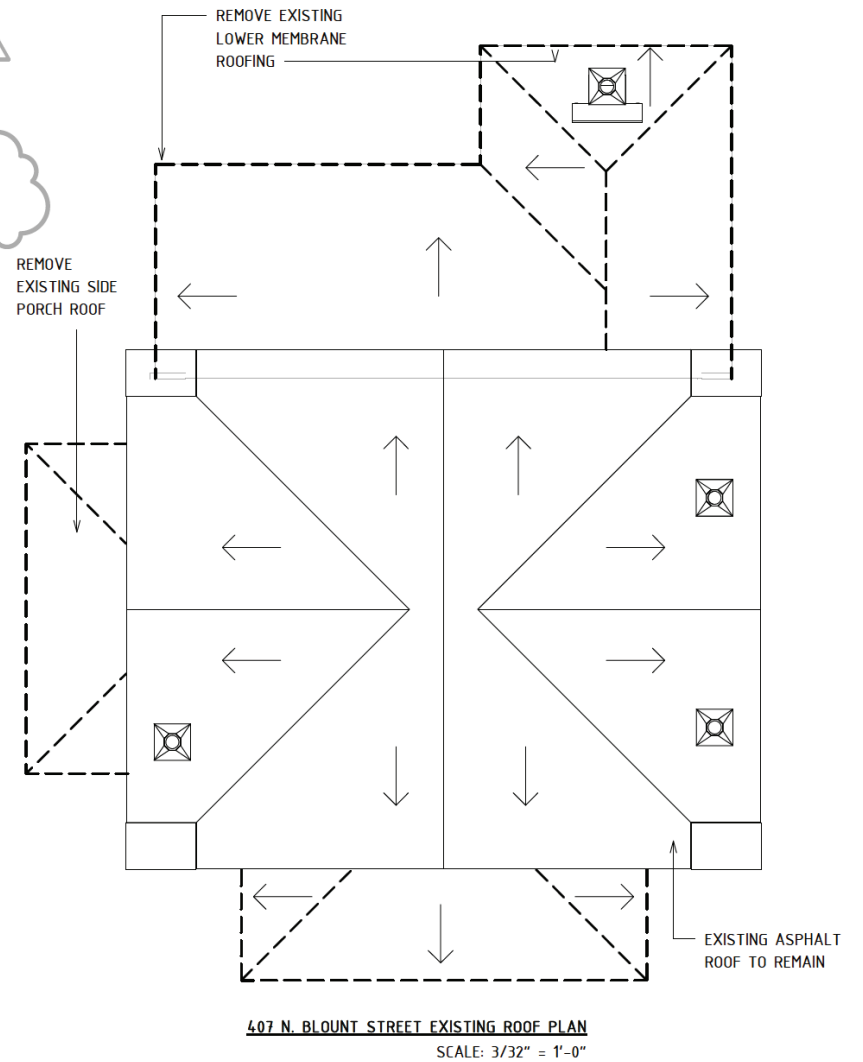
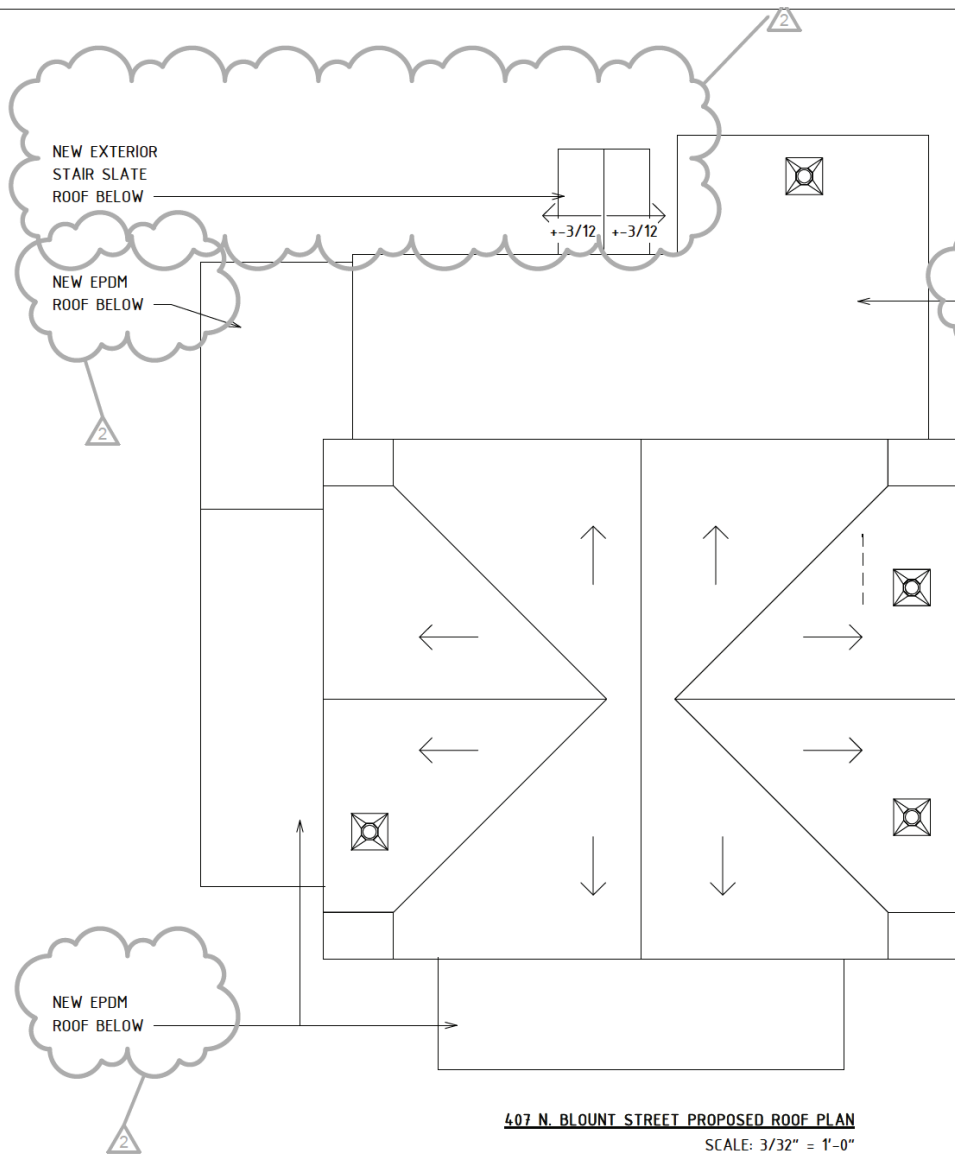


407 N. BLOUNT STREET EXISTING THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"



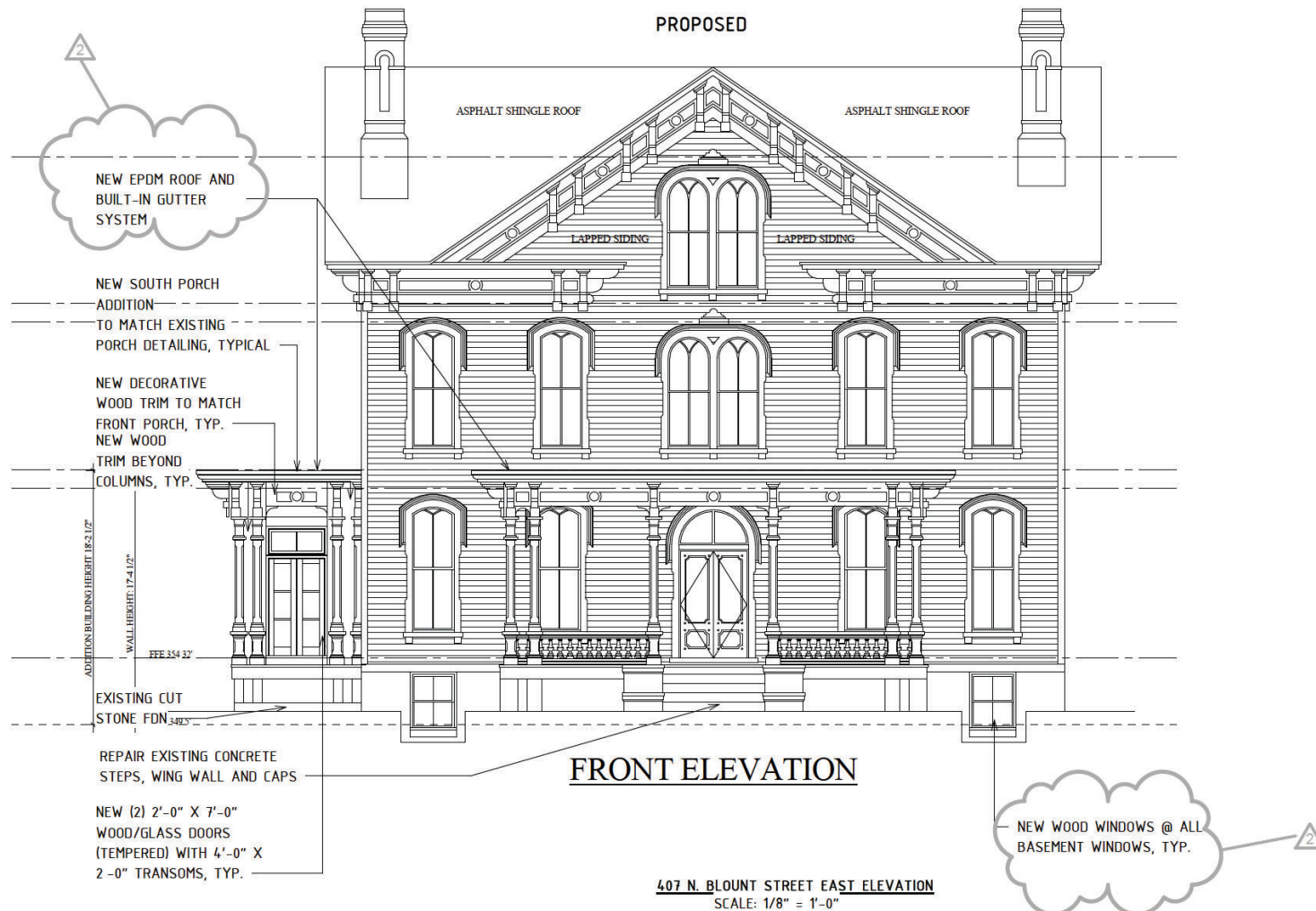
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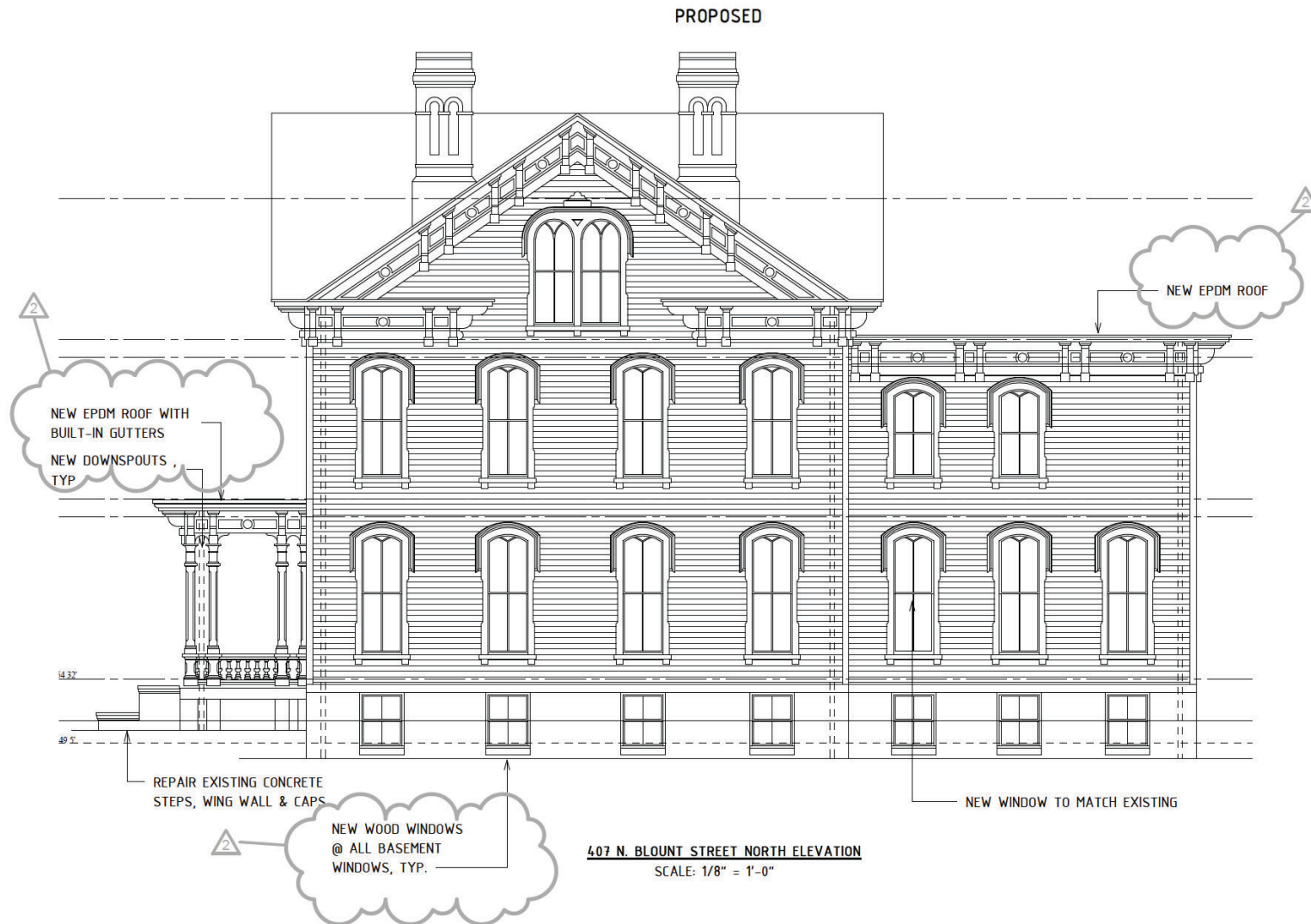


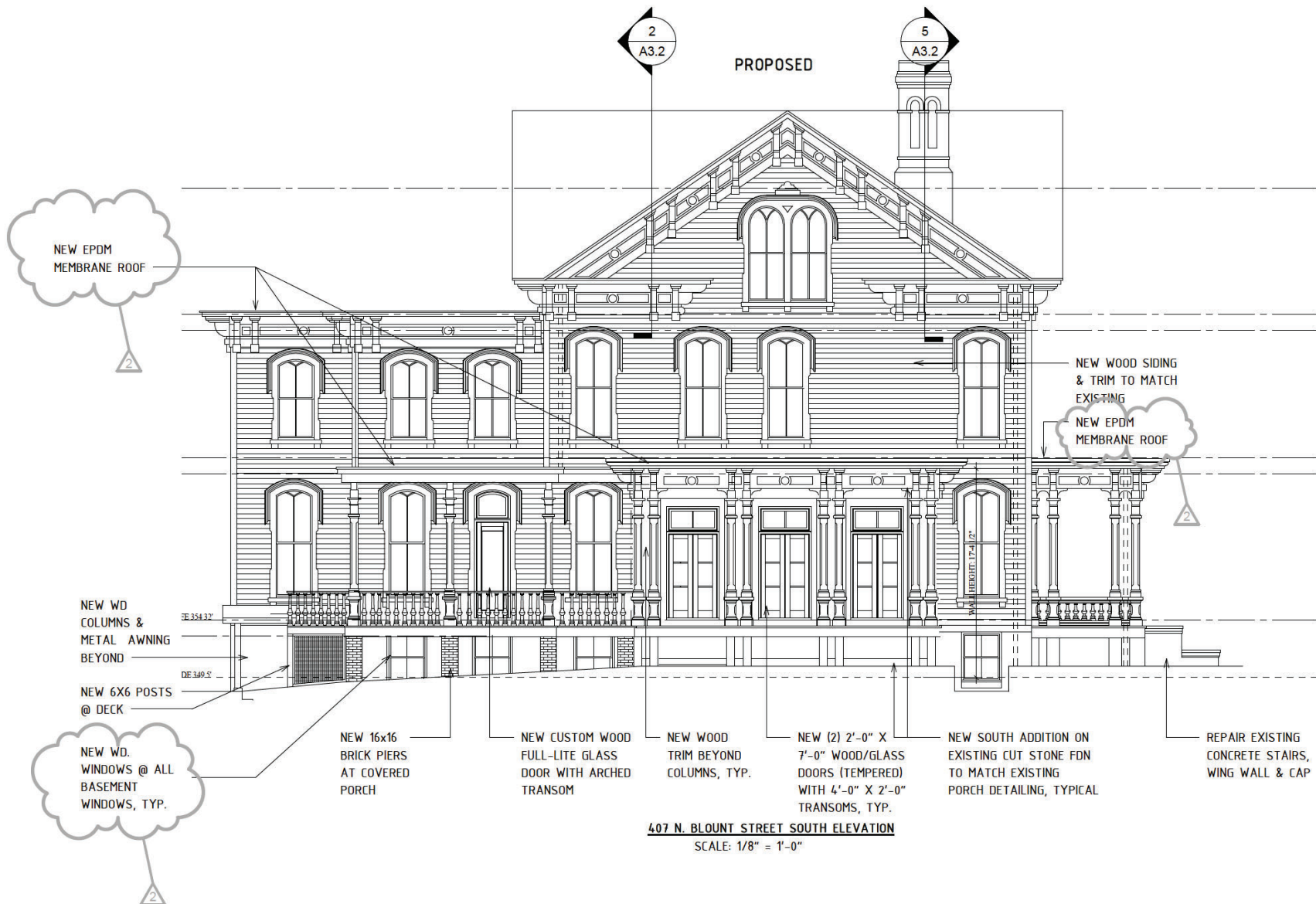


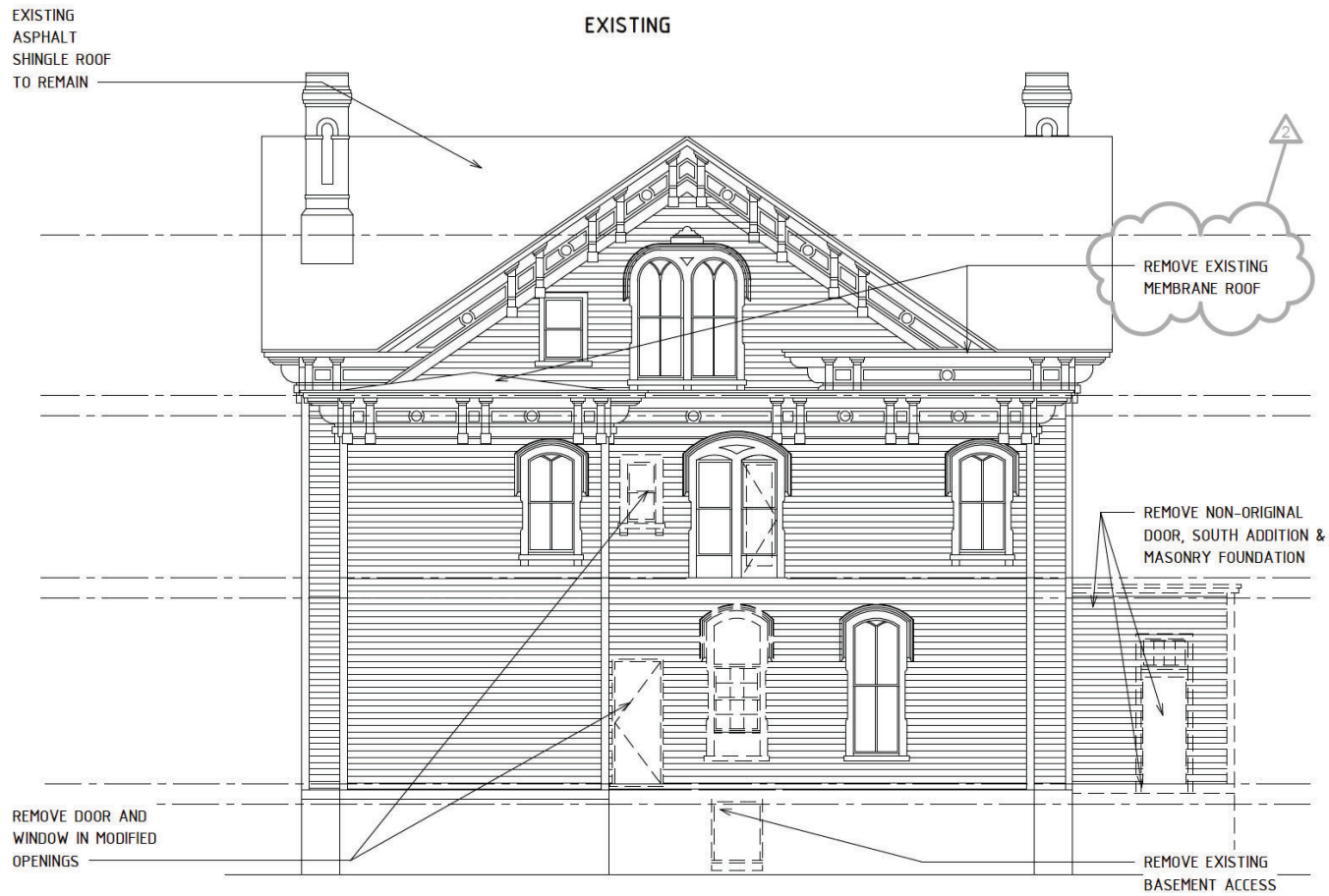
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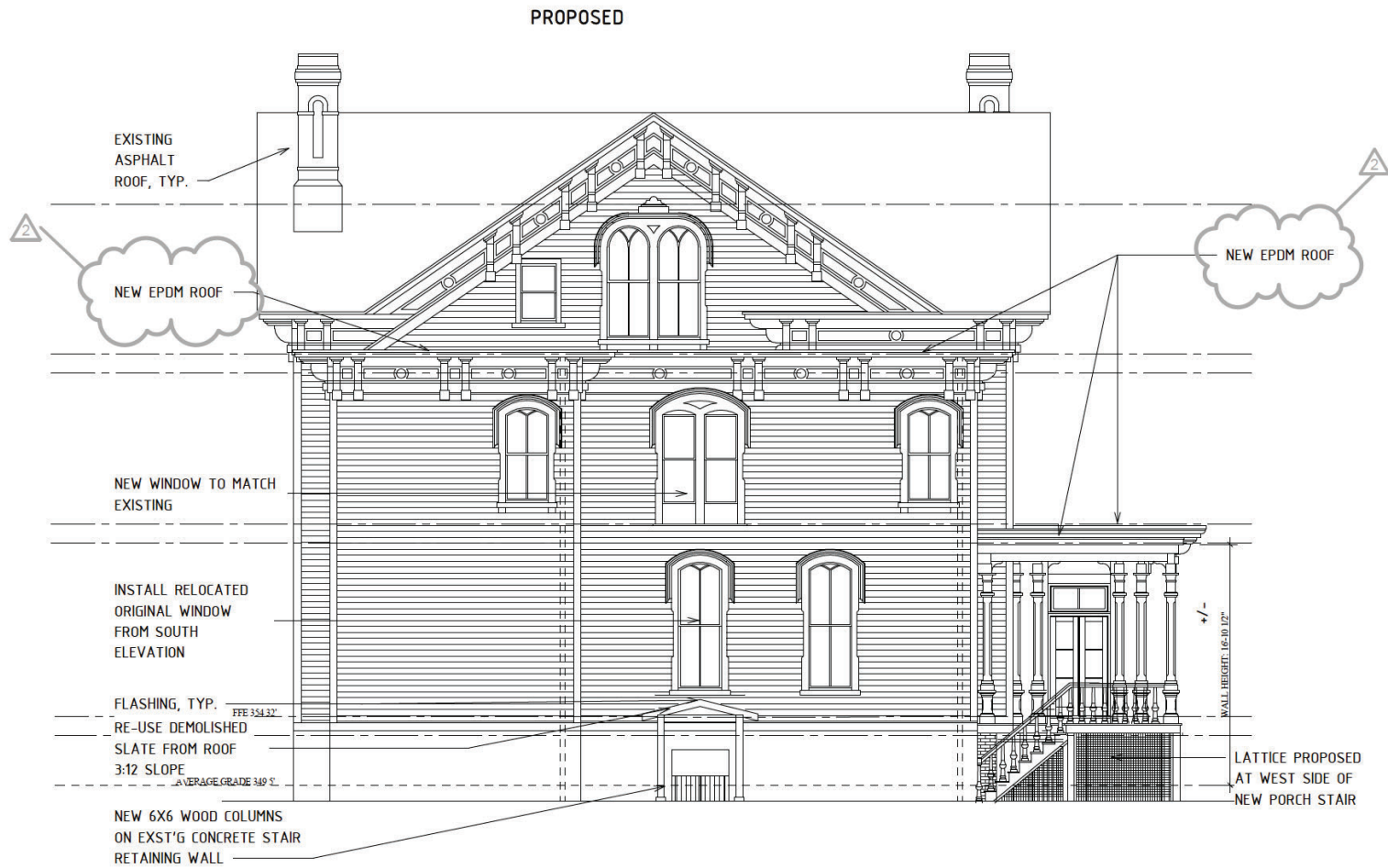




407 N. BLOUNT STREET WEST ELEVATION
SCALE: 1/8" = 1'-0"

DEMOLITION PLAN KEY

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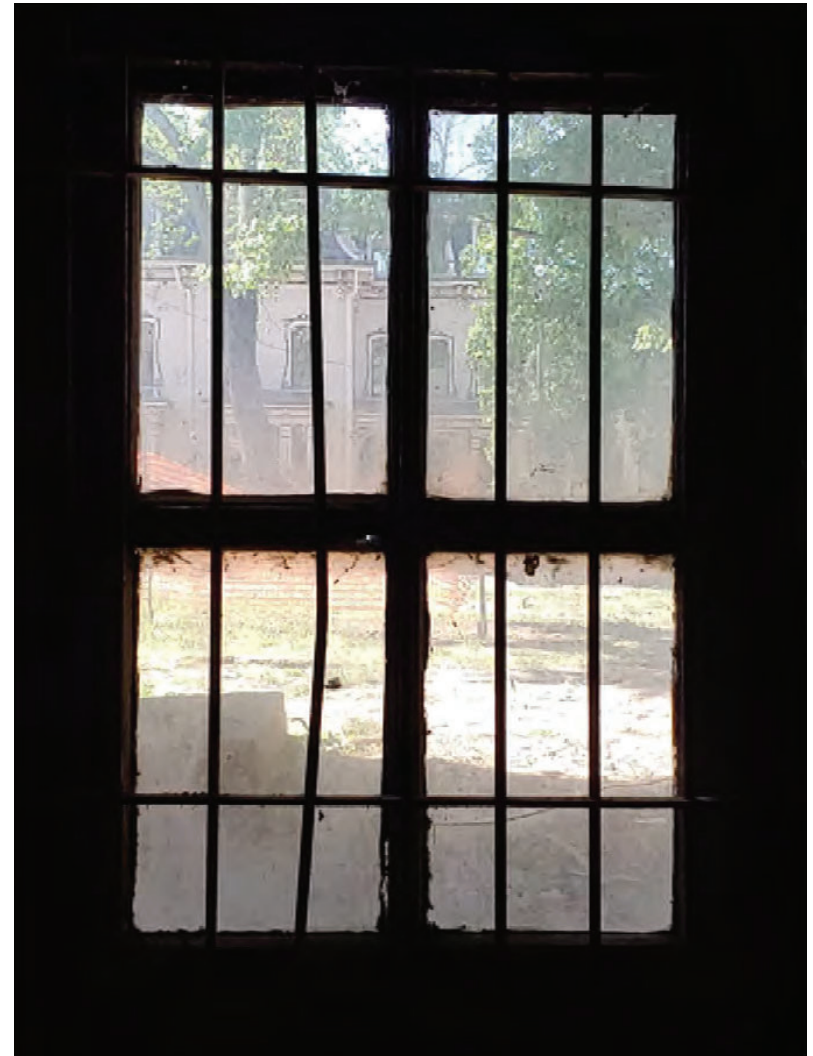
ANDREWS DUNCAN
HOUSE- BASEMENT
PHOTOS

3 May 2021



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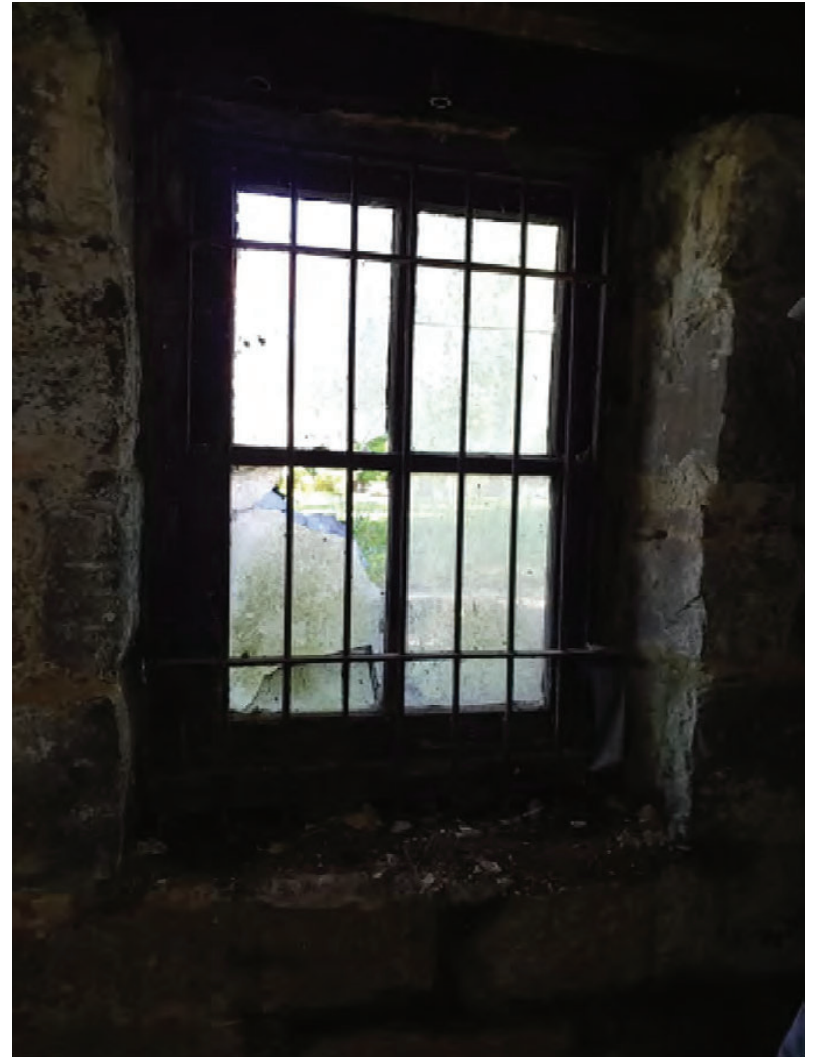
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