



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Alter previously approved COA - install rear stairs

909 Oberlin Rd

Address

Oberlin Village

Historic District

Historic Property

COA-0075-2025

Certificate Number

5/27/2025

Date of Issue

11/27/2025

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name:

Mailing address:

City:


State:

Zip code:

Date:

Daytime phone #:

Email address:

Applicant signature: 

Minor work (staff review) – one copy

Major work (COA committee review) – ten
copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of
approval

Office Use Only

Transaction #: _____

File #: **COA-0075-2025**

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address:

Historic district:

Historic property/Landmark name (if applicable):

Owner name:

Owner mailing address:

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address

Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

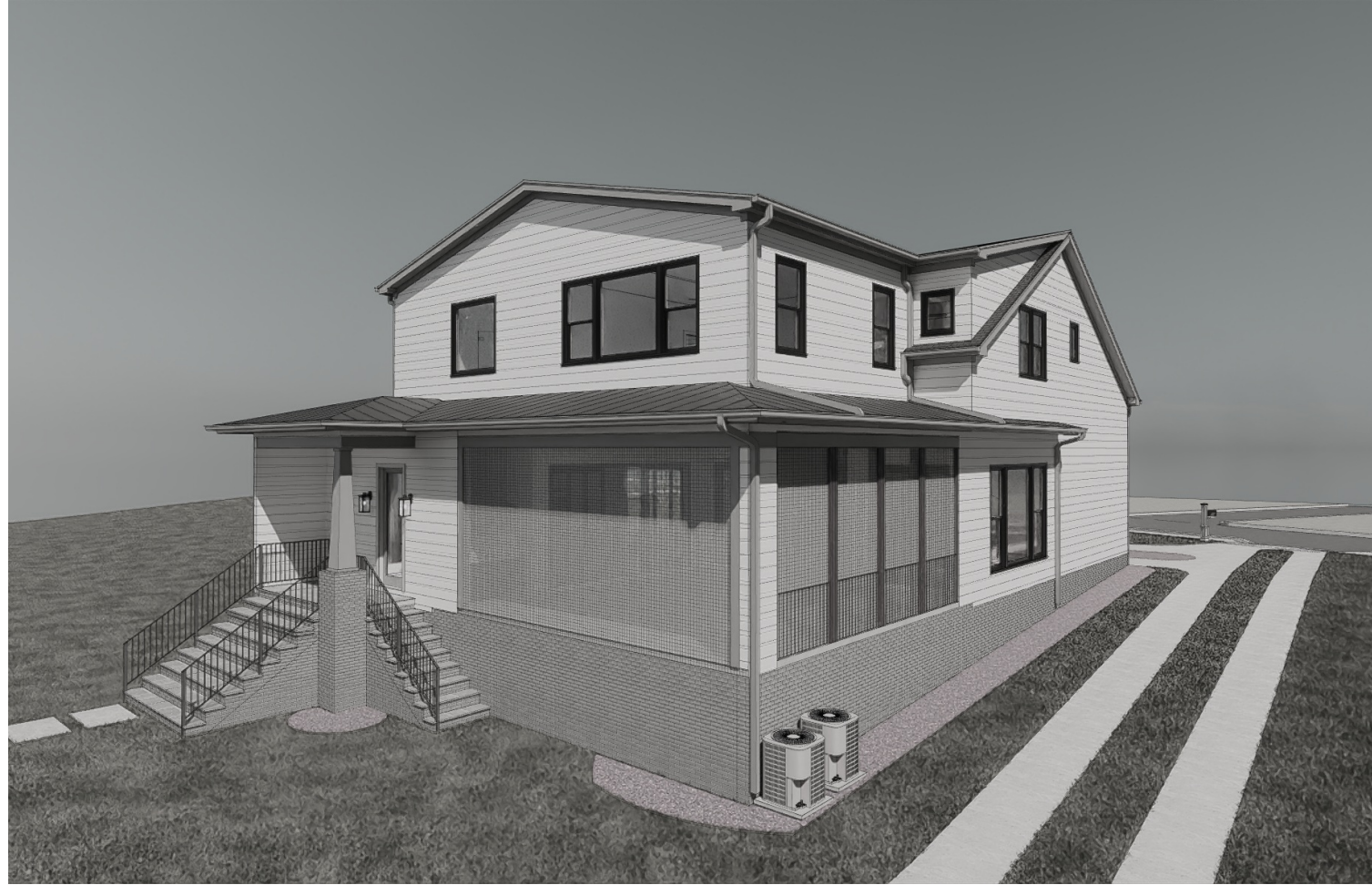
Will you be applying for rehabilitation tax credits for this project? Yes No Did you consult with staff prior to filing the application? Yes No	Office Use Only Type of work: <u>67, 89</u>
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Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
1.3.13	grading on lot	Due two grading on this lot adding stairs to the rear of house to grade, +

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>11/27/2025</u> . Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Collette K</u>	Date <u>05/27/25</u>

909 Oberlin Road – Stairs and railing

Given the current grading of the lot, we've determined that rear stairs and a railing will be necessary from the family entrance located at the back of the house. This is due to the slope of the land, which requires steps to ensure safe and easy access to and from the entrance. The inclusion of a railing will further enhance safety and comply with building codes for this type of access point.



DESIGNER:

LM

VENTING CALCULATIONS

CRAWL SPACE VENTILATION

THE MIN. NET FREE AREA OF CRAWL VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQ. FT. FOR EACH 150 SQ. FT. OF CRAWL SPACE AREA.

1.846 SQ. FT. CRAWL SPACE AREA / 150

12.3 SQ. FT. NET FREE AREA REQUIRED

*MAY BE REDUCED BY 50% W. VAPOR

BARRIER

ATTIC VENTILATION

2.621 SQ. FT. OF ATTIC / 300 = **8.7** SQ. FT.

OF INLET AND OUTLET. VENTILATION MAY

BE REDUCED 50% WHEN VENTILATORS

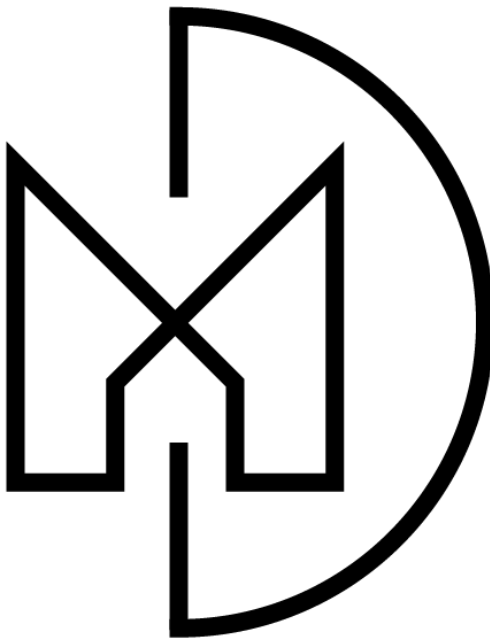
ARE USED AT LEAST 3'-0" ABOVE THE

CORNICE VENTS.

COPPER BUILDERS

909 OBERLIN RD

RALEIGH, NC



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"THE RENDERINGS PRESENTED ON THIS SHEET ARE TO REPRESENT THE INTENT OF THE DESIGN. ALL SITE CONDITIONS ARE APPROXIMATE AND SHALL BE CONFIRMED ON SITE, UNLESS NOTED OTHERWISE. ALL RENDERINGS SHOWN ARE NOT FOR THE PURPOSE OF CONSTRUCTION, AND SHALL NOT BE USED IN ANY SUCH WAY. ACTUAL RESULTS MAY VARY. "

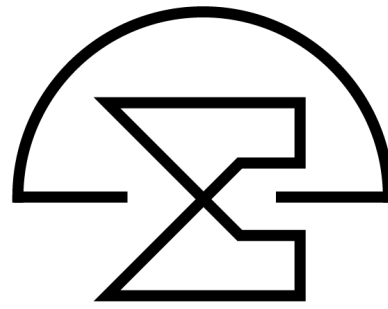
McMillan Design

847 Wake Forest Business Park, Suite 102

Wake Forest, NC 27587

919.263.1509

www.mcmillan-design.com



Copper Builders
909 Oberlin Rd
Raleigh, NC

Sheet Title:
Cover Plan

REVISIONS	
NUMBER	DATE
1	5/06/25
2	5/22/25

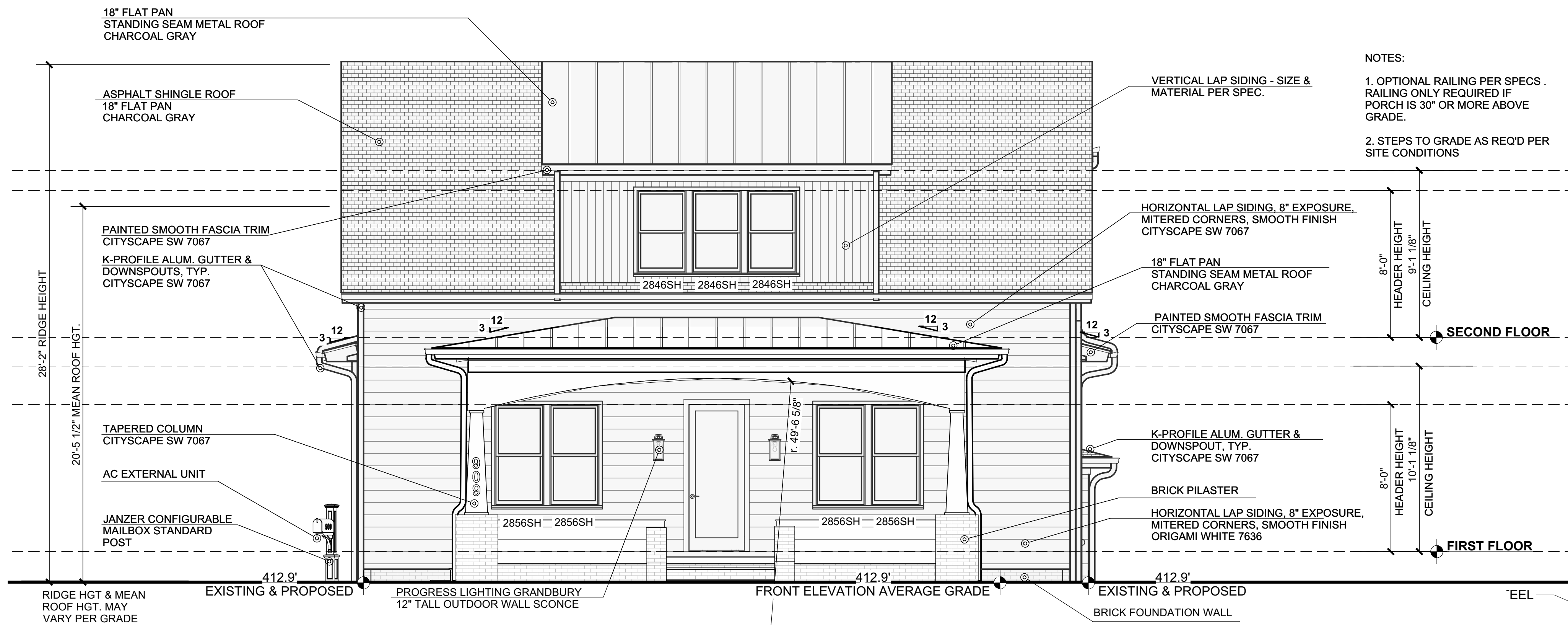
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Plan Number
M245-23
Sheet No. **CP-1**

Drawn By: **TE**

Date: **4/4/2025**

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FRONT ELEVATION

Scale: 1/4" = 1'-0"

ELEVATION NOTES

BUILDING CODES

THIS PLAN HAS BEEN DESIGNED UNDER THE NC BUILDING CODES, 2018 RESIDENTIAL EDITION.

ICE GUARDS:

ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1.

MATERIAL LEGEND

	ASPHALT SHINGLES
	VERTICAL SIDING
	HORIZONTAL LAP SIDING
	BOARD & BATTEN SIDING @ 16" O.C.
	SHAKE SIDING
	BRICK VENEER
	SYNTHETIC STONE VENEER
	PARGED BLOCK FOUNDATION

SCREENED PORCH RAILING

Scale: 3/4" = 1'-0"



LEFT ELEVATION

Scale: 1/4" = 1'-0"

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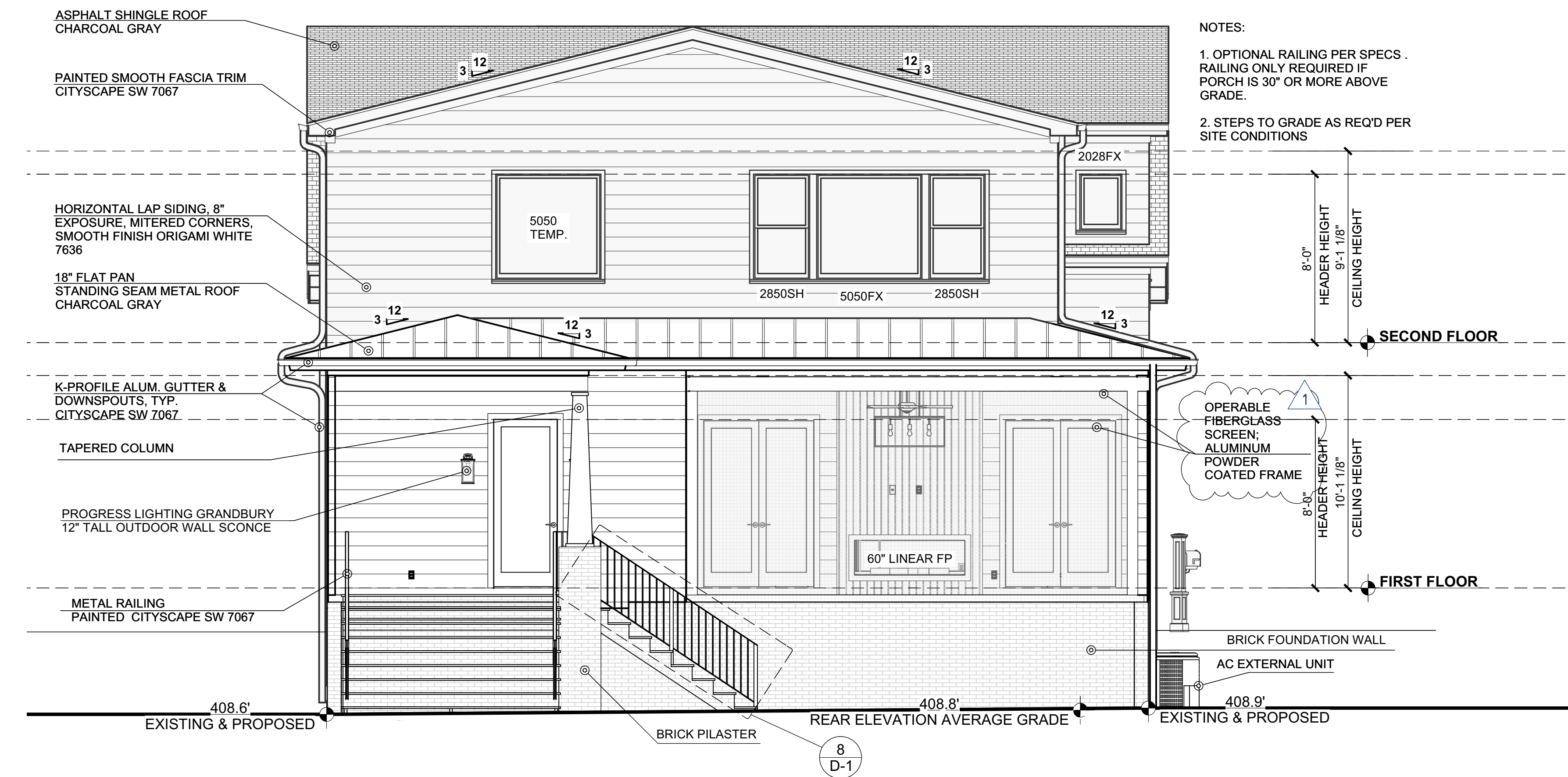
Copper Builders
909 Oberlin Rd
Raleigh, NC

Sheet Title:
Exterior Elevations

REVISIONS	
NUMBER	DATE
1	5/06/25
2	5/22/25

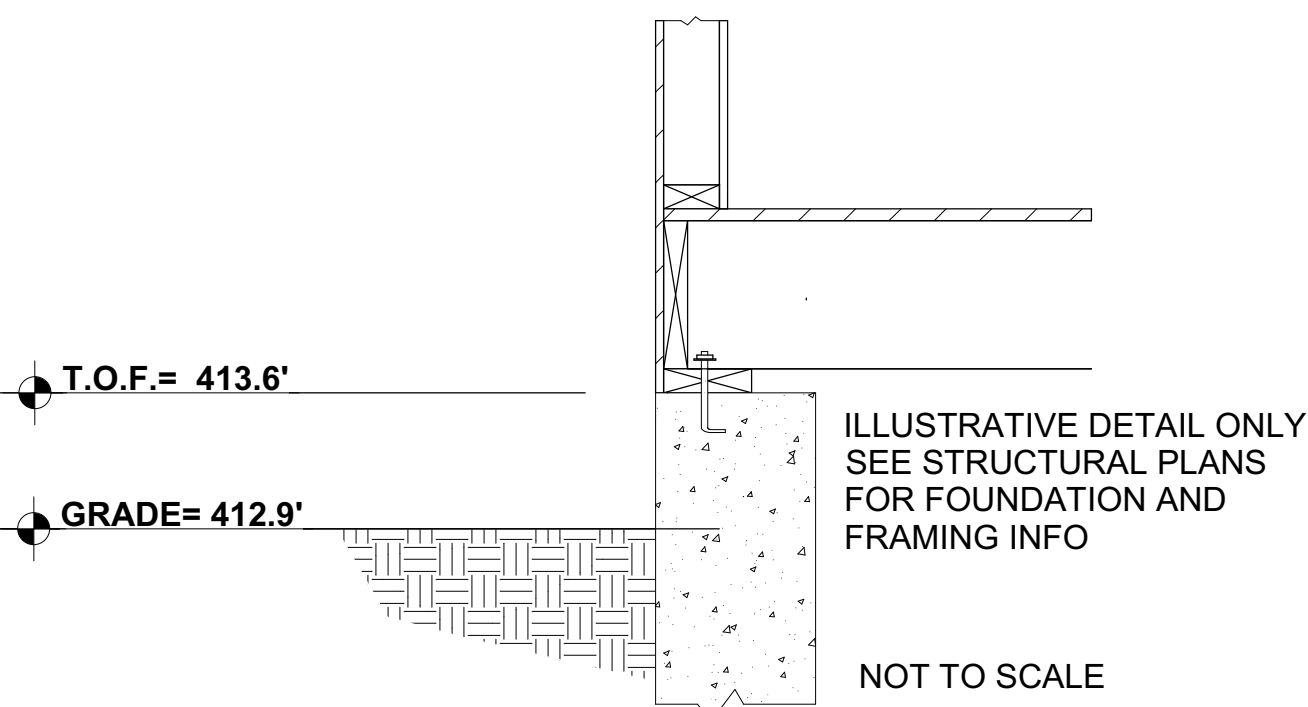
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M245-23
Sheet No. **A-1**
Drawn By: **TE**
Date: **4/4/2025**
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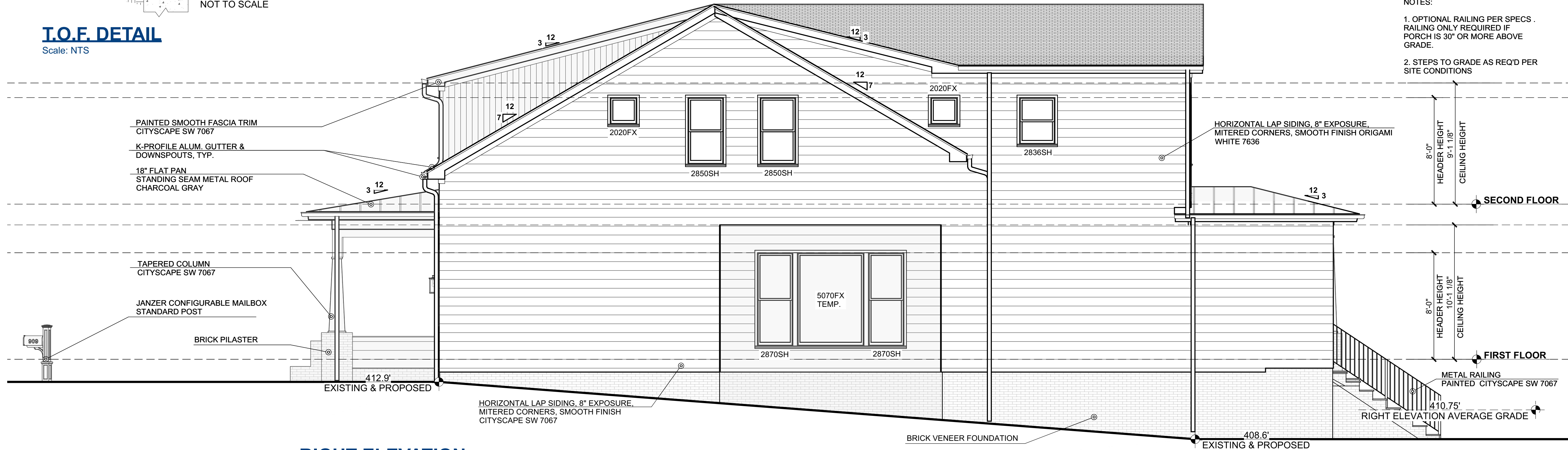
REAR ELEVATION

Scale: 1/4" = 1'-0"



T.O.F. DETAIL

Scale: NTS



RIGHT ELEVATION

Scale: 1/4" = 1'-0"

ELEVATION NOTES

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VERTICAL IN 12 UNITS HORIZONTAL (2:12) OR GREATER. FOR ROOF SLOPES
FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) UP TO FOUR
UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), DOUBLE UNDERLAYMENT
APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1.

MATERIAL LEGEND

	ASPHALT SHINGLES
	VERTICAL SIDING
	HORIZONTAL LAP SIDING
	BOARD & BATTEN SIDING @ 16" O.C.
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	BRICK VENEER
	SYNTHETIC STONE VENEER
	PARGED BLOCK FOUNDATION

Copper Builders
909 Oberlin Rd
Raleigh, NC

Sheet Title:
Exterior
Elevations

REVISIONS

NUMBER	DATE
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2	5/22/25

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Plan Number
M245-23
A-2

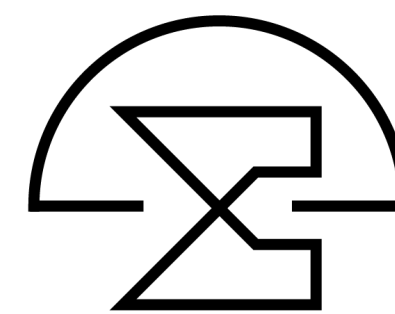
Sheet No.

Drawn By: TE

Date: 4/4/2025

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