



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Extend deck to previous configuration

409 E Jones St

Address

Oakwood

Historic District

Historic Property

COA-0086-2026

Certificate Number

6/25/2026

Date of Issue

6/25/2027

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name: Parker Davis

Mailing address: 409 E. Jones Street

City: Raleigh

State: NC

Zip code: 27601

Date: 06/07/26

Daytime phone #: [REDACTED]

Email address: [REDACTED]

Applicant signature: Parker Davis

- Minor work (staff review) – one copy
- Major work (COA committee review) – ten copies
 - Additions > 25% of building sq. footage
 - New buildings
 - Demolition of building or structure
 - All other
- Post approval re-review of conditions of approval

Office Use Only

Transaction #: _____

File #: **COA-0086-2026**

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address: 409 E. Jones Street Raleigh NC 27601

Historic district: Historic Oakwood

Historic property/Landmark name (if applicable):

Owner name: Parker Davis

Owner mailing address: 409 E. Jones Street Raleigh NC 27601

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

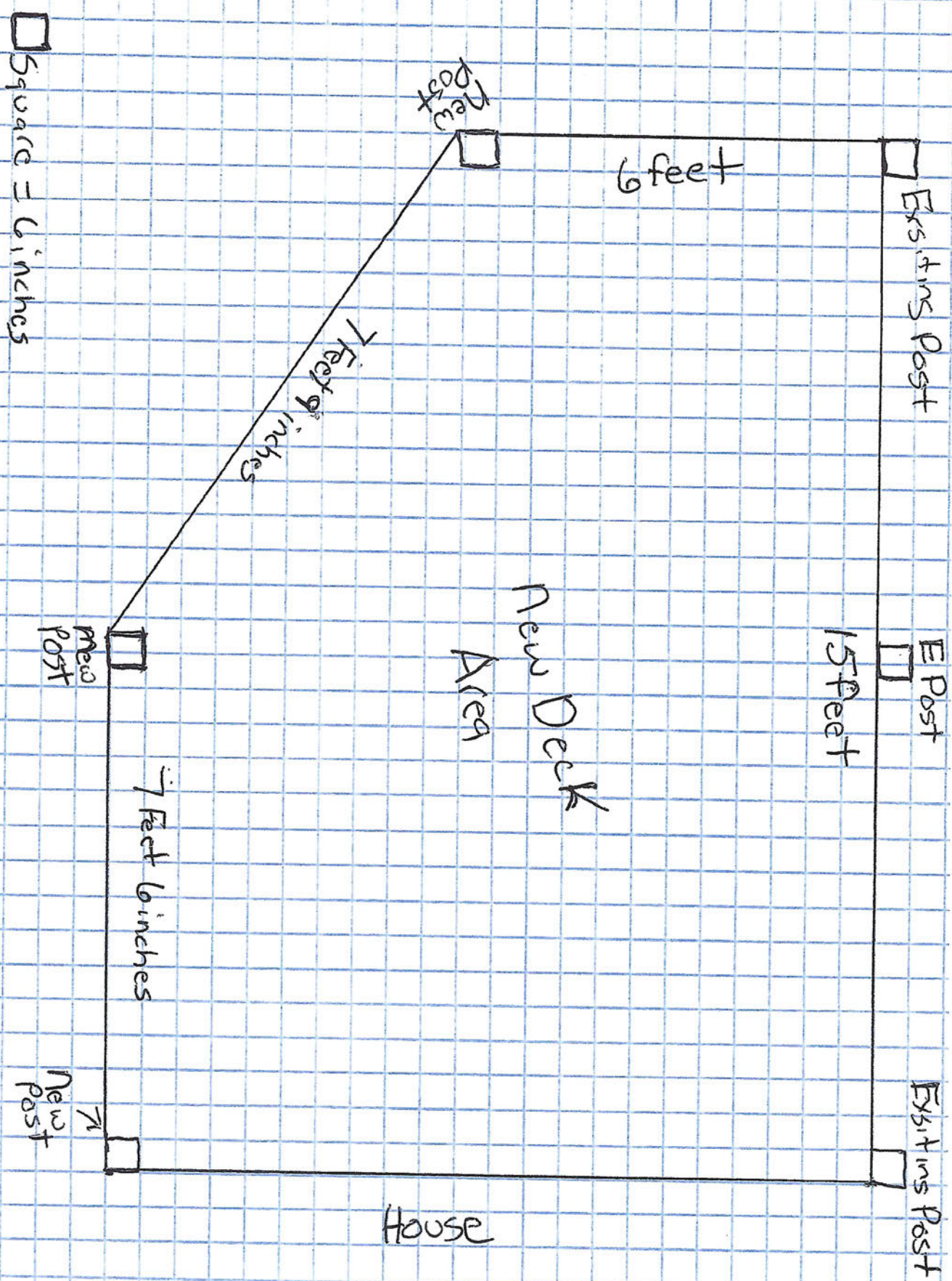
Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project?	Office Use Only
Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Type of work: _____
Did you consult with staff prior to filing the application?	_____
Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	_____

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
3.1	Decks	extend current deck on rear of house with simple balustrades and lattice infill between supports

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>06/25/2027</u>	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Collette K</u>	Date <u>06/25/2026</u>









Previous deck configuration

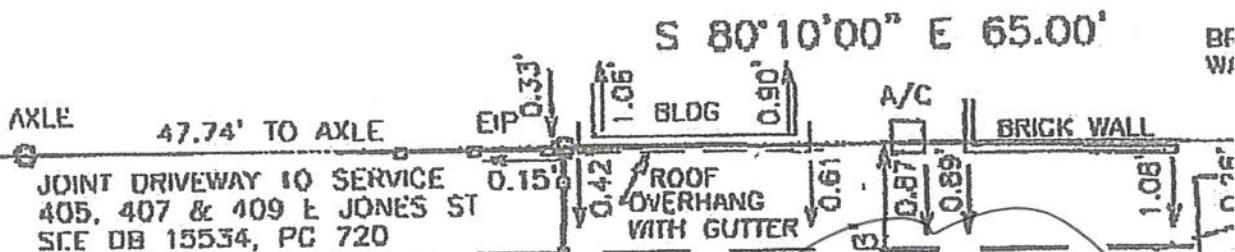


SUBJECT PROPERTY IS IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP NUMBER 3720170300J ZONE X...

VICINITY MAP
N.T.S.



N/F
JIM MELO
MEGHAN MELO
DB 9488, PG 2162
PIN 1704900032



Previous deck configuration



N/F
DAVID W. NIGHTINGALE
ELLEN NIGHTINGALE
DB 10902, PG 1012
PIN 1703899985

ONE STORY FRAME
WITH BASEMENT

PORCH

PIN 1703990945

21.99

