



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Alterations to previously approved COA-0173-2020 including: alterations to the deck stair orientation; change stucco columns to brick (painted to match existing foundation); and adding a brick retaining wall and steps at covered patio

807 W South St

Address

Boylan Heights

Historic District

Historic Property

COA-0087-2024

Certificate Number

8/30/2024

Date of Issue

2/28/2025

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name:

Mailing address:

City:

State:

Zip code:

Date:

Daytime phone #:

Email address:

Applicant signature:

Minor work (staff review) – one copy
 Major work (COA committee review) – ten copies

- Additions > 25% of building sq. footage
- New buildings
- Demolition of building or structure
- All other

Post approval re-review of conditions of approval

Office Use Only

Transaction #: _____
 File #: COA-0087-2024
 Fee: _____
 Amount paid: _____
 Received date: _____
 Received by: _____

Property street address:

Historic district:

Historic property/Landmark name (if applicable):

Owner name:

Owner mailing address:

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Office Use Only Type of work: _____ _____
Did you consult with staff prior to filing the application? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

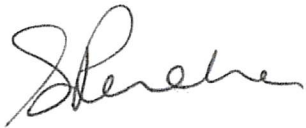
Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
		Construction stalled due to death of General Contractor. Updated drawings with revisions during construction to previously approved COA-0173-2022

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 02/28/25.

Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Collette K Date 08/30/24



7/16/2024

807 W. South Street in Historic Boylan Heights

July 15, 2024 rev 3 Aug. 14, 2024

Submitted by Brooke Tate, Maurer Architecture

COA Minor Works Application Summary of Work for original approved COA-0173-2022

The changes to approved COA-0173-2022 include the following:

1-Altering the West Elevation deck stairs to simplify rebuilding an existing deteriorated retaining wall. The retaining wall will be built under the end of the deck stairs and new wood stairs to the lower grade will be built. This change is a result of verification of grades on existing site as well as realizing the condition of existing retaining wall to be deteriorated beyond repair.

2-Revising the proposed stucco columns to be brick, painted to match existing foundation.

3- Adding brick retaining wall with rowlock cap around covered patio and adding brick steps up to grade at the rear of covered patio. This revision is necessary after verifying final grade. Height of retaining wall 4-6" above finish grade.

5-Revising retaining wall to be a stepped down retaining wall on East Elevation after verifying final grade. Height from finish grade to be between 4-12". Height from patio to retaining wall to be maximum 5' and minimum 2'.

6-Updating all building elevations showing actual dropped beam heights from Structural Engineer.

7-Increasing the covered patio to include all area under deck. This does not increase built area since there was already a deck in the same footprint.

Please see attached revised drawings (Revision 5 dated 8/14/2024) outlining changes.





1-North Facing Front Elevation from street.



2-North West Elevation



3-View North along West Façade showing grade.



4-View deteriorated retaining wall and existing landscape stair to be removed.



5-West view of Covered Patio before final grading



6-South view of Covered Patio before final grading to backyard showing need for 2' retaining wall



7-South view of Covered Patio before final grading showing location of proposed stairs to grade.



8-South Elevation

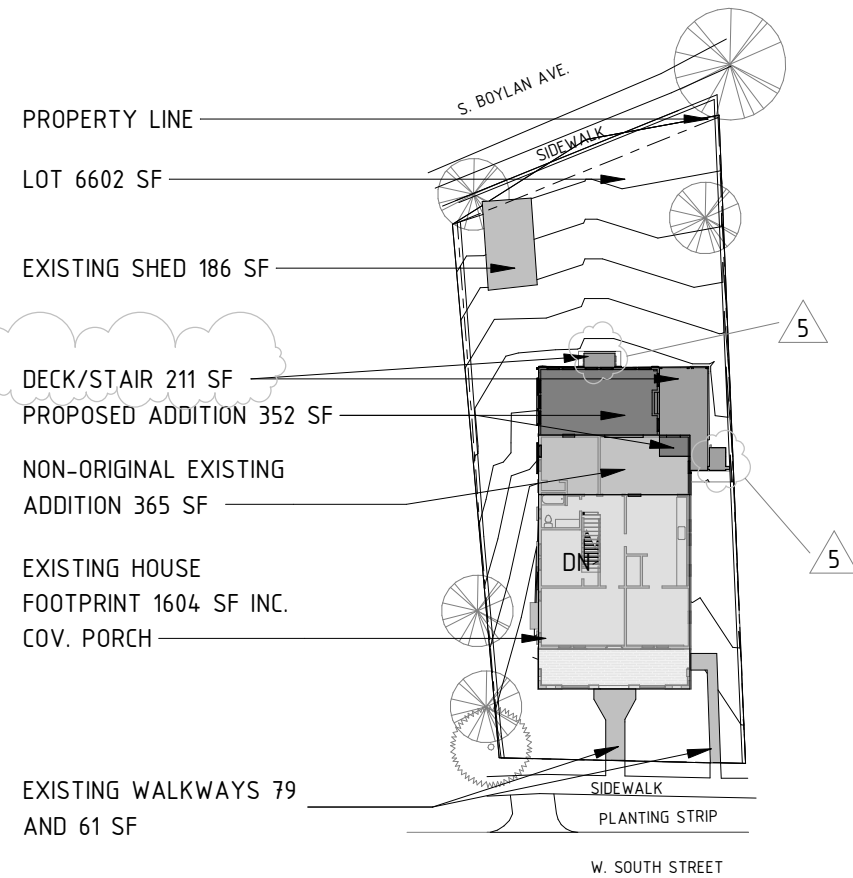


9-Southeast view of addition showing grade and need for 5'h retaining wall.



10-Northeast view of Elevation

807 W SOUTH STREET



LOT: 6,602.2 S.F.

EXISTING HOUSE, DECK, COV. PORCH : 1604+340=1944 SF

ORIGINAL HOUSE: 1274 SF
 ORIGINAL OR VERY EARLY SHED: 186 SF

ORIGINAL BUILT MASS: $1274+186=1460/6602= 22.1\%$
 ORIGINAL BUILT AREA: $1460+79+61=1600 / 6602 = 24.2\%$

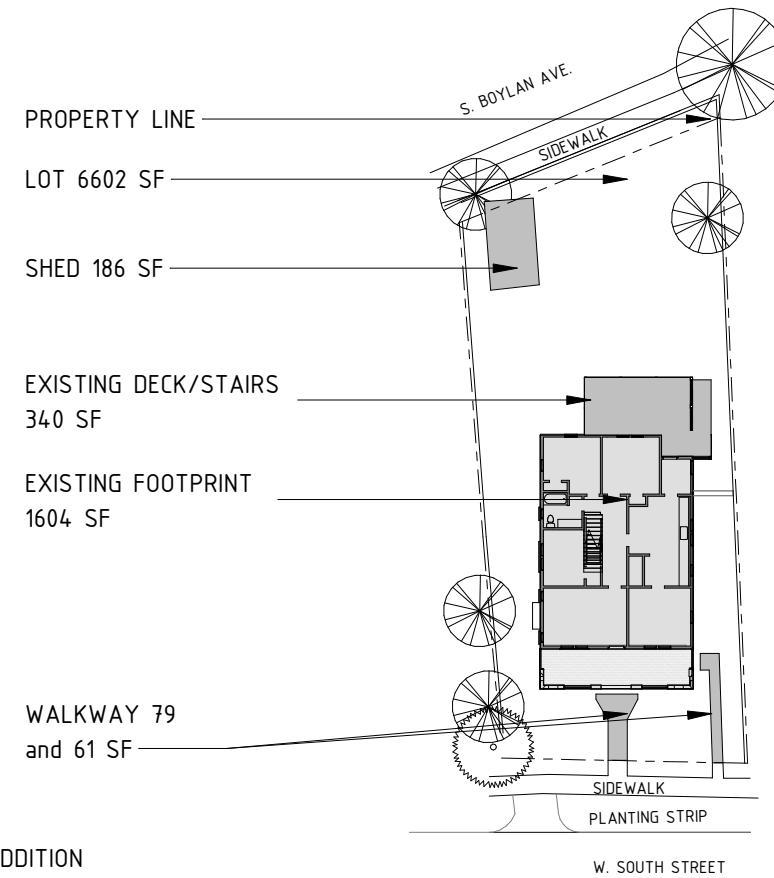
PROPOSED BUILT MASS:
 $1604+352+211+186= 2,353 =35.6\%$ (13% INCREASE)

PROPOSED BUILT AREA:
 $1604+352+211+186+79+61= 2493 = 37.8\%$

ALLOWABLE MAX BUILT MASS 41%: **2543 SF**
 ALLOWABLE MAX BUILT AREA 43%: **2667 SF**

FACT: BUILT AREA AND MASS COMPARISON TO APPROVED ADDITION
 125-17-CA AT 1012 W. CABARRUS STREET IN BOYLAN HEIGHTS:
 1012 W CABARRUS LOT SIZE : 7500F
 BUILT AREA IS 43% 3255 SF INCLUDING ADDITION APPROVED
 BUILT MASS IS 41% 3,063 SF.

807 W SOUTH STREET



2 BUILT AREA PLAN - PROPOSED
 SK-0.1 1" = 40'-0"

1 BUILT AREA PLAN- EXISTING
 SK-0.1 1" = 40'-0"

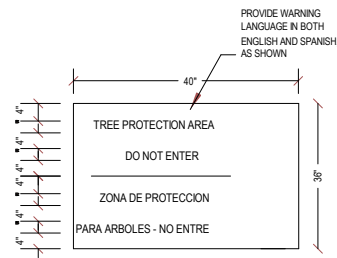
807 W. South Street
 BUILT AREA/MASS DIAGRAMS

REV 5- 08/14/2024

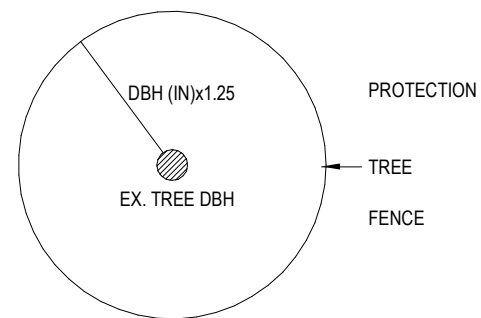
11/9/2020

SK-0.1

WARNING SIGN DETAIL

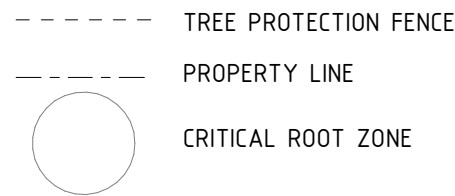


FENCE LAYOUT DETAIL



E. CIRCULAR LAYOUT

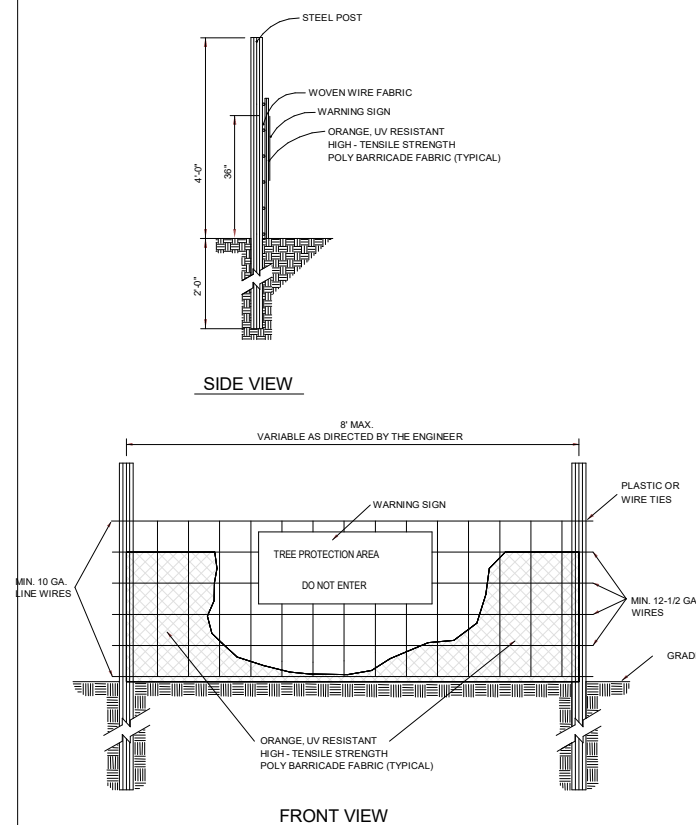
LEGEND



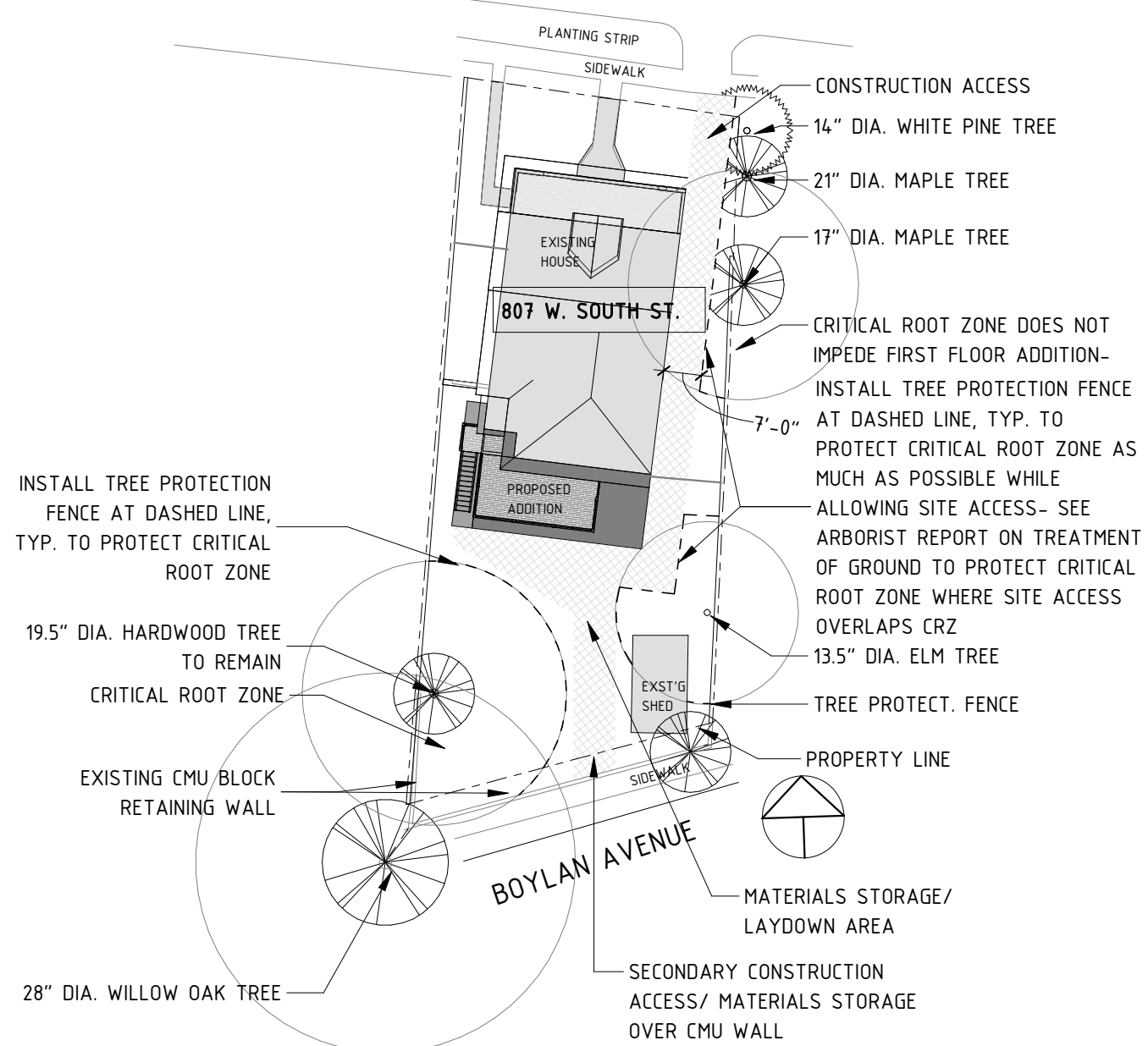
GENERAL NOTES

1. TREE PROTECTION FENCING MUST BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (CRZ) OF TREES. (CRZ DEFINED AS RADIUS X 1.25' (FT) PER INCH AT DBH FROM TRUNK OF TREE, SEE TREE PROTECTION LAYOUT DETAIL)
2. THE TREE PROTECTION FENCING MUST REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE APPROVED BY URBAN FORESTRY STAFF.
3. THERE WILL BE ZERO TOLERANCE FOR STORING OR PARKING VEHICLES, SUPPLIES, OR EQUIPMENT UNDER PROTECTED TREES.
4. APPROVED IMPACT PROTECTION DEVICES MUST BE REMOVED AFTER CONSTRUCTION WHEN APPLICABLE.
5. TREE PROTECTION SIGNS ARE TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL WITH LETTERS A MINIMUM OF 3" HIGH, CLEARLY LEGIBLE AND SPACED AS SHOWN.
6. TREE PROTECTION SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER FOR THE REMAINDER.
7. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTED AREA.
8. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
9. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.

TREE PROTECTION FENCE DETAILS



SOUTH STREET



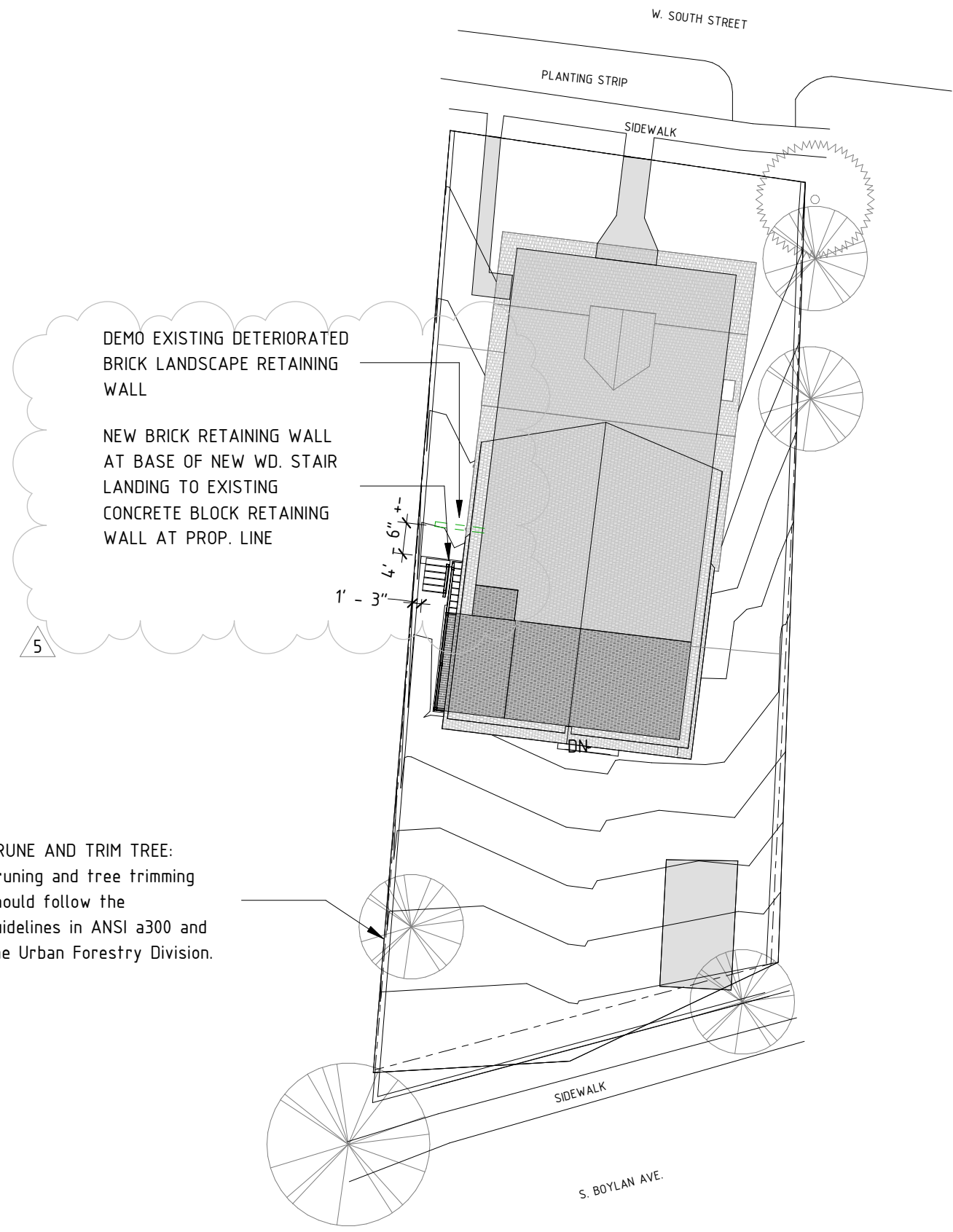
1	TREE PROTECTION PLAN
SK-0.2	1" = 30'-0"

807 W. South Street
SITE PLANS

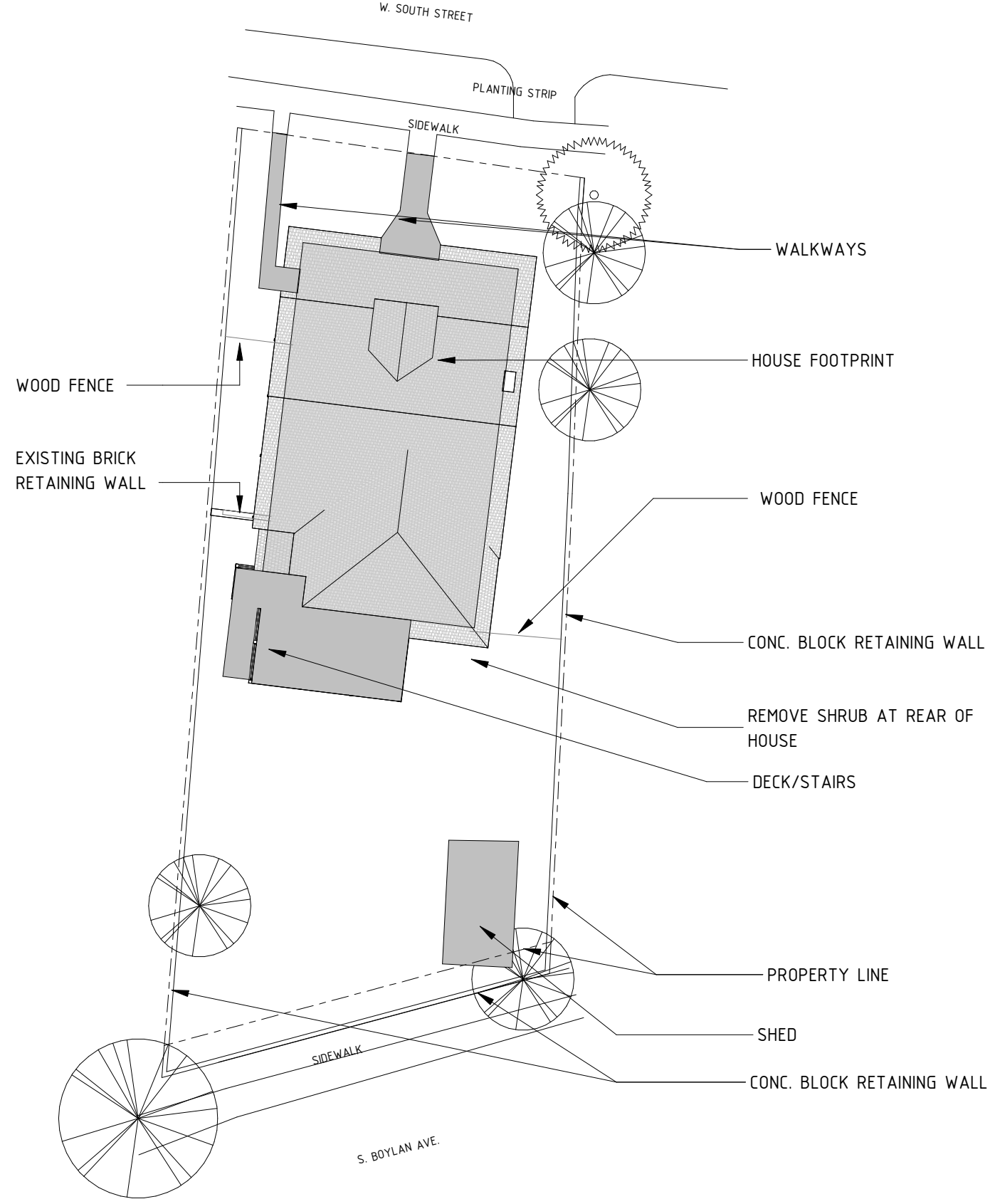
REV 5- 08/14/2024

11/9/20

SK-0.3



2 PROPOSED SITE PLAN
 SK-0.3 1" = 20'-0"



1 EXST'G SITE PLAN-
 SK-0.3 1" = 20'-0"

REV 3- 12/19/22

REV 5- 08/14/2024

11/9/2020

SK-0.4



4
 EXISTING SE VIEW FROM
 BACKYARD
 SK-0.4



2
 PROPOSED SE VIEW FROM
 BACKYARD
 SK-0.4



3
 EXISTING NW VIEW FROM
 STREET
 SK-0.4



1
 PROPOSED NW VIEW FROM
 STREET
 SK-0.4

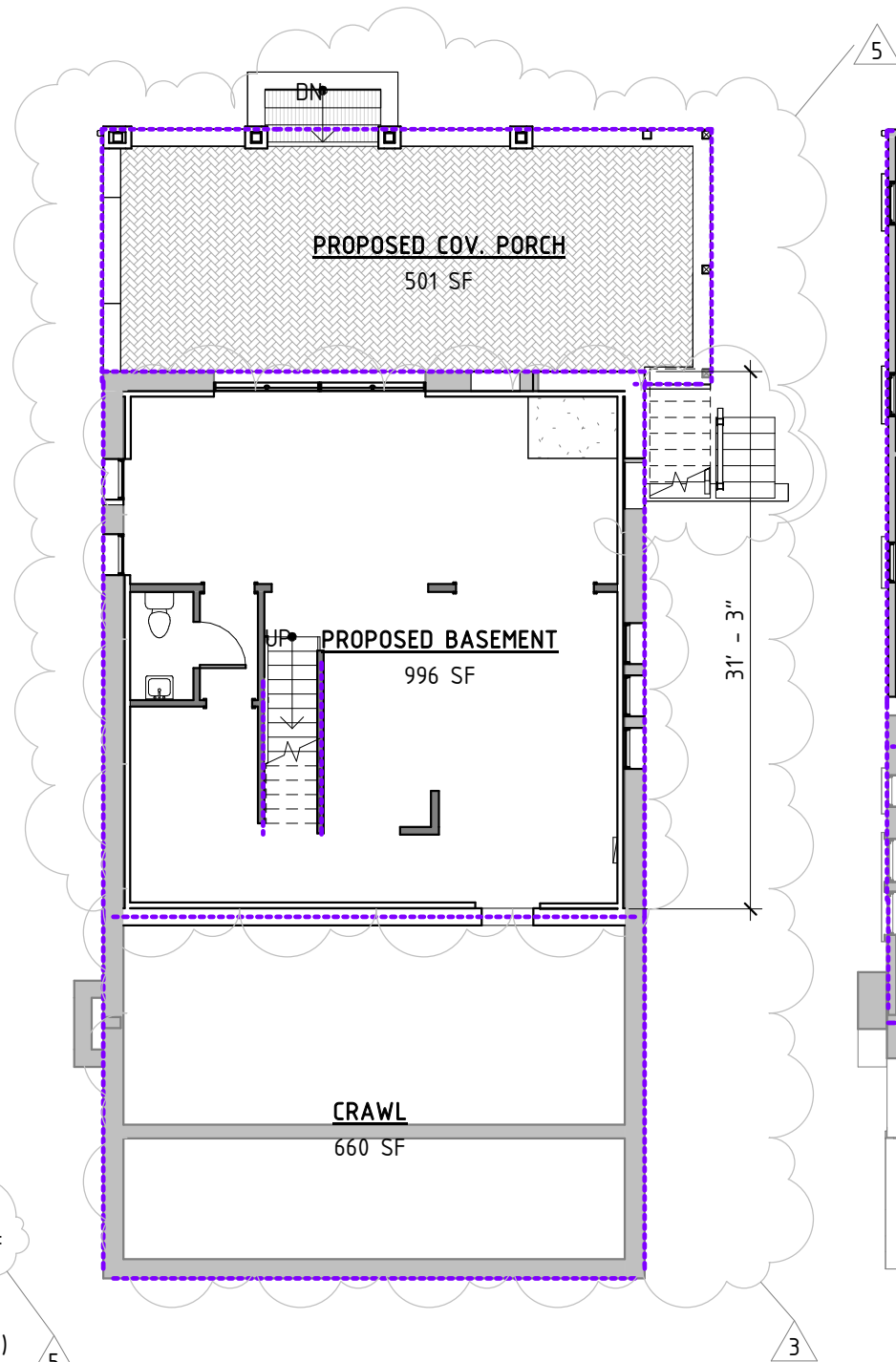
807 W. South Street
AREA PLANS

REV 3- 12/19/22

REV 5- 08/14/2024

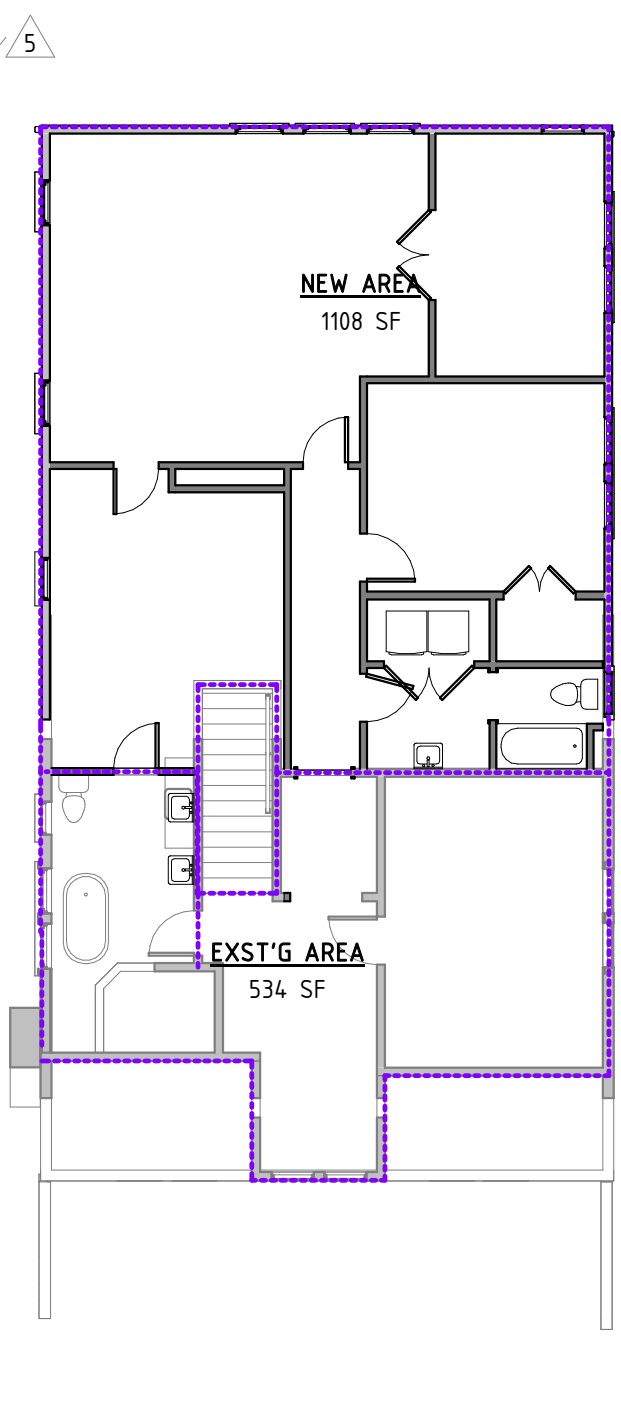
12/3/2021

SK-0.5



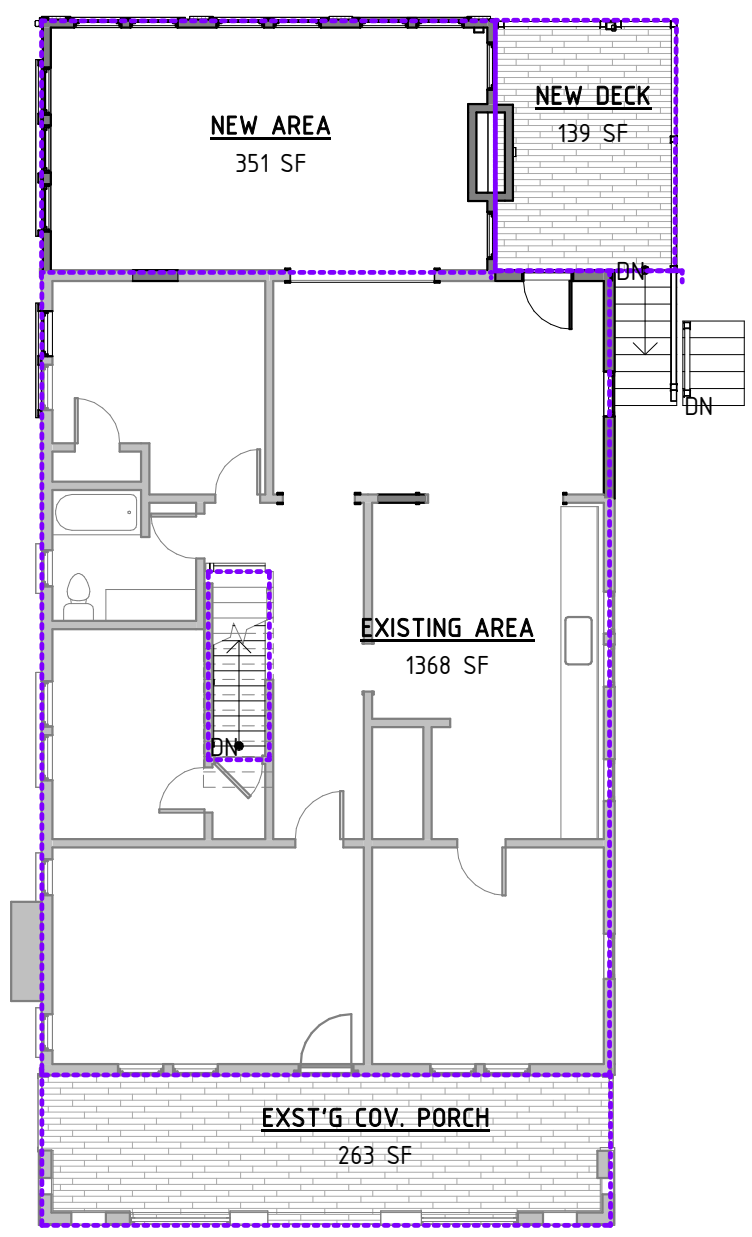
PROPOSED BASEMENT 996 SF
 (EXISTING BASEMENT 382 SF
 EXISTING HALL/STAIR 105 SF)

3	EX. BASEMENT
SK-0.5	3/32" = 1'-0"

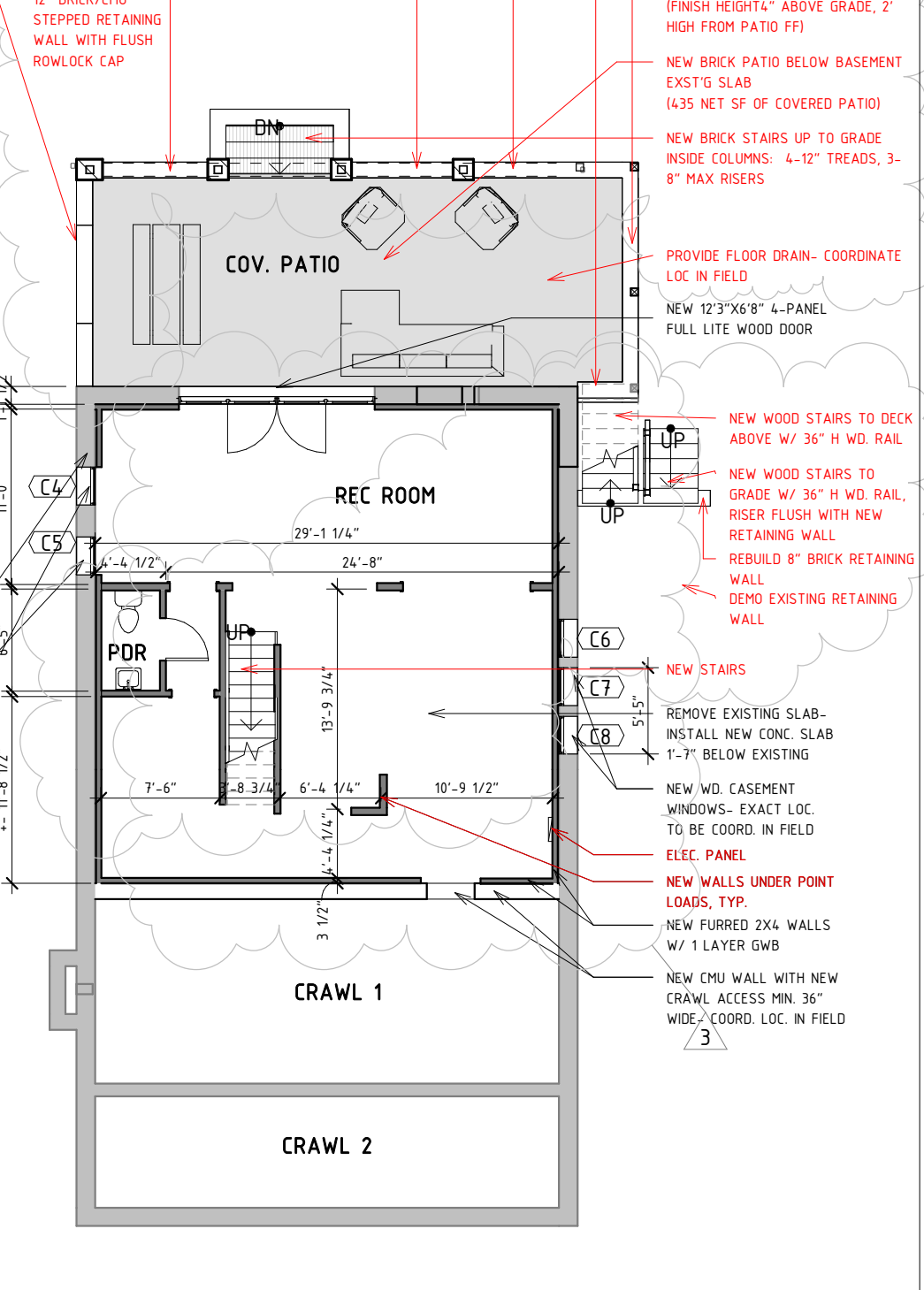
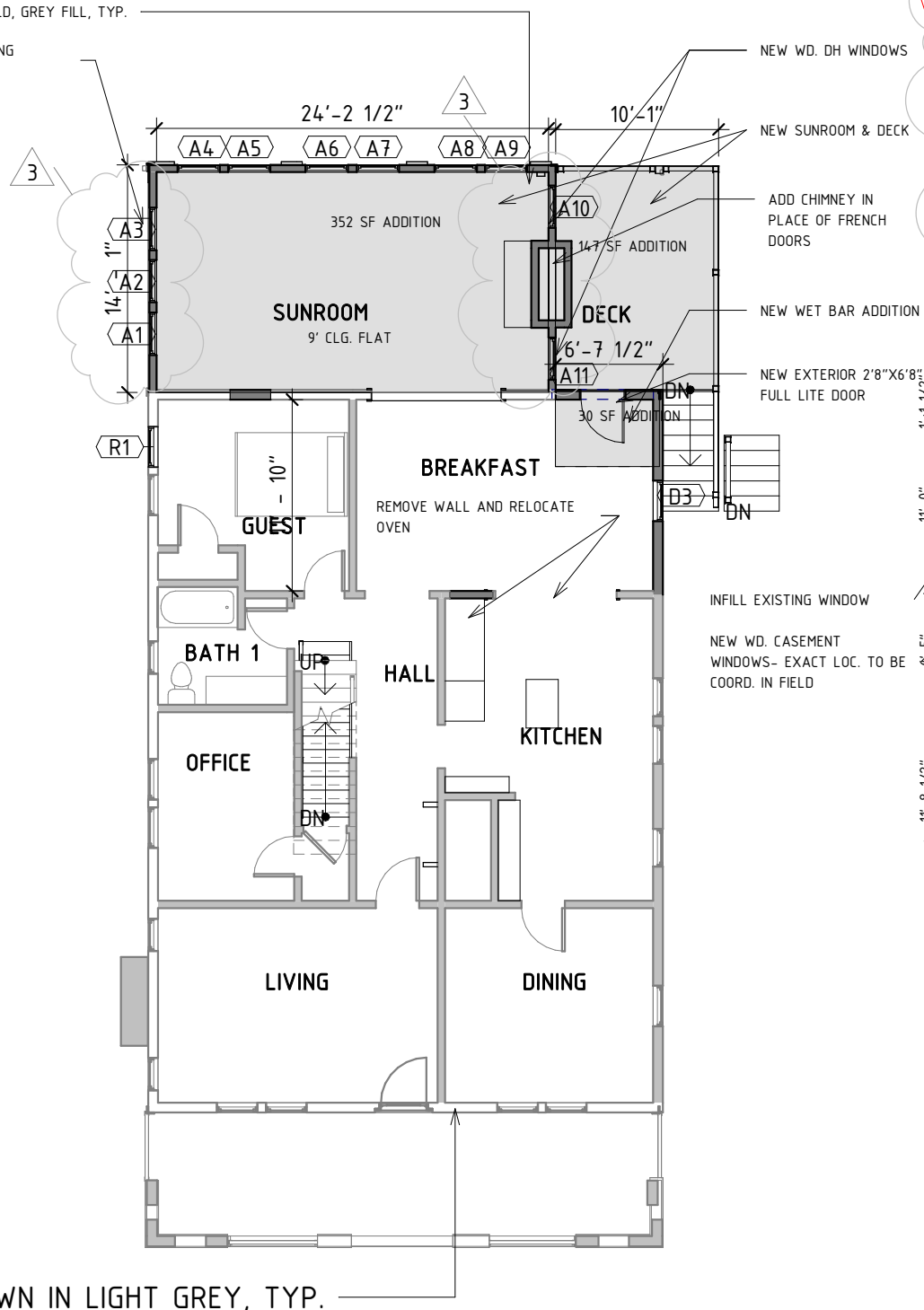
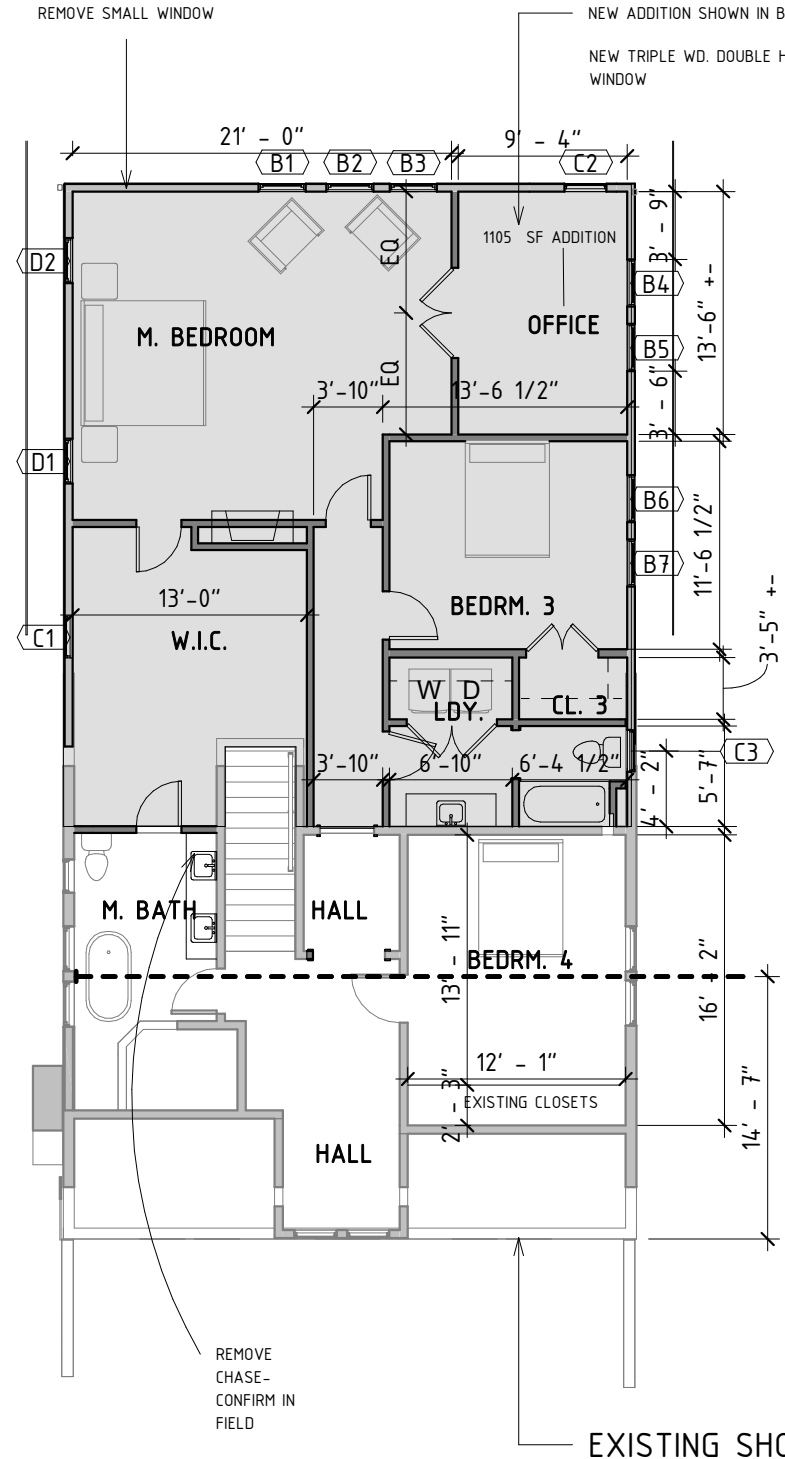


2	SECOND FLOOR
SK-0.5	3/32" = 1'-0"

EXISTING HEATED: 1,937 SF
 PROPOSED HEATED: 3,437 SF



1	FIRST FLOOR
SK-0.5	3/32" = 1'-0"



807 W. South Street
PROPOSED FLOOR PLANS

REV 3- 12/19/22
REV 5- 08/14/2024

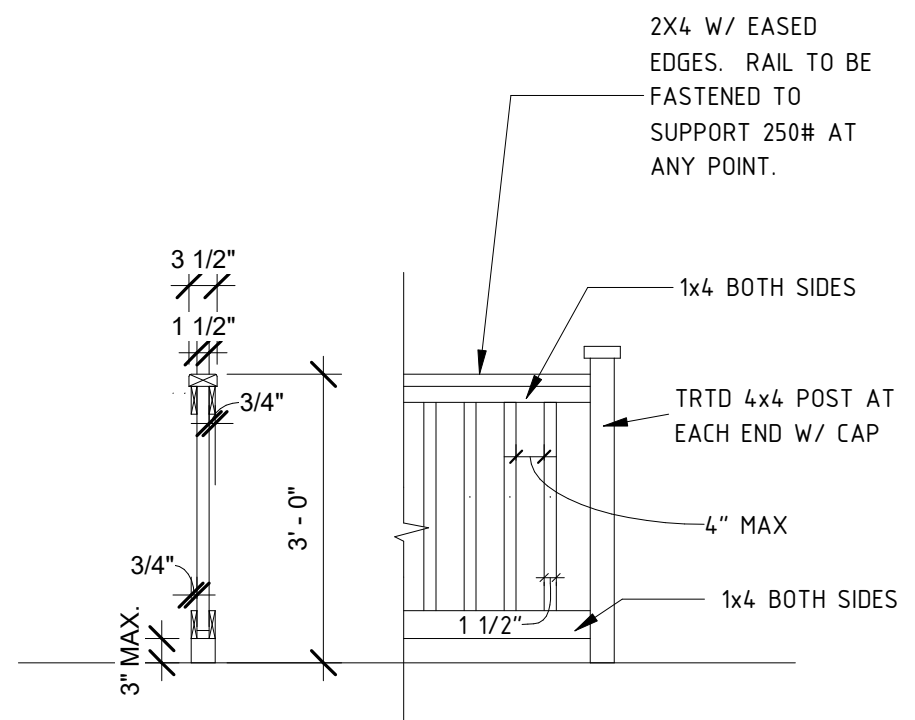
3 PROPOSED 2ND FLOOR PLAN
SK-1.0 3/32" = 1'-0"

2 PROPOSED MAIN FLOOR PLAN
SK-1.0 3/32" = 1'-0"

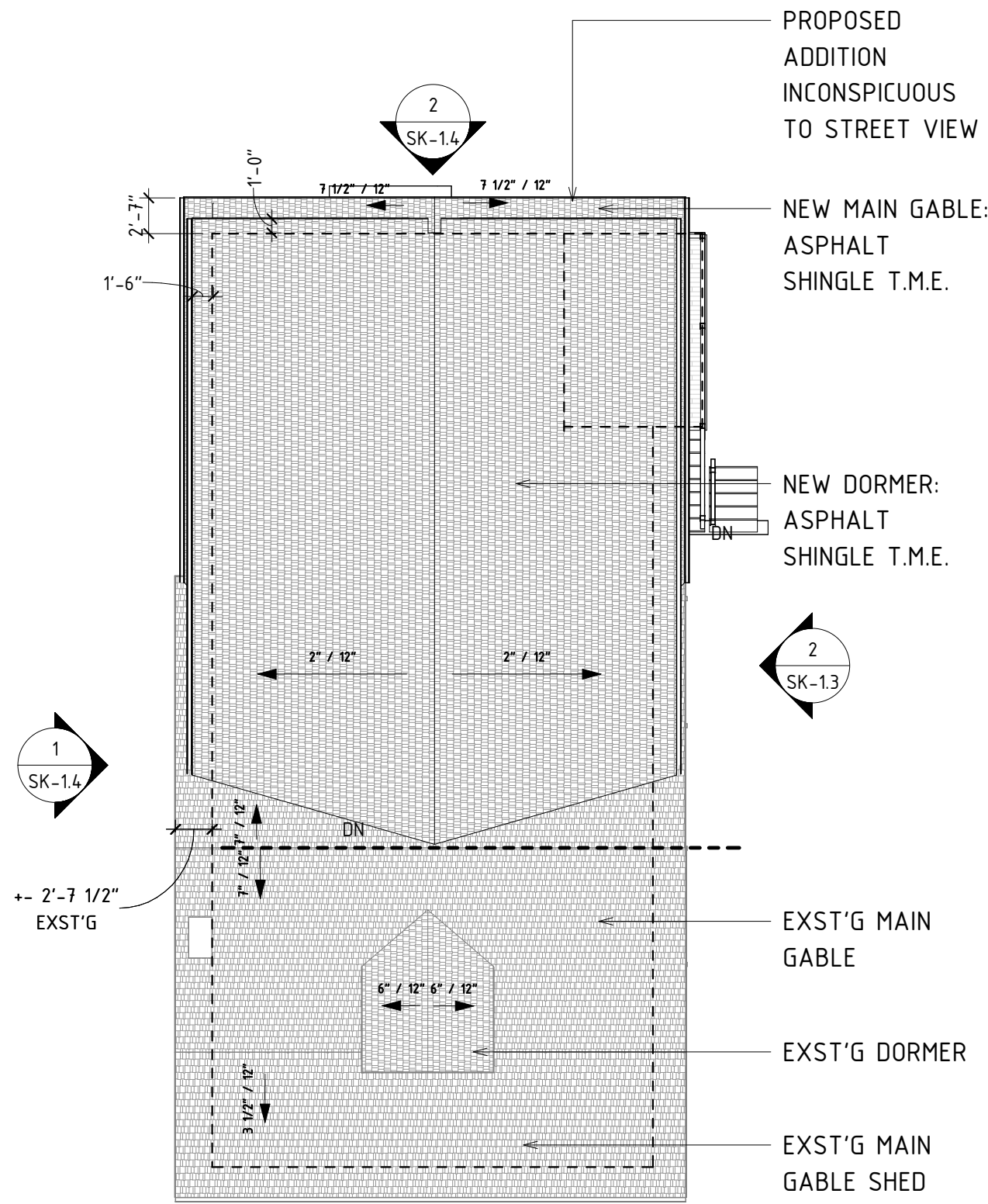
1 PROPOSED BASEMENT PLAN
SK-1.0 3/32" = 1'-0"

02.26.2022

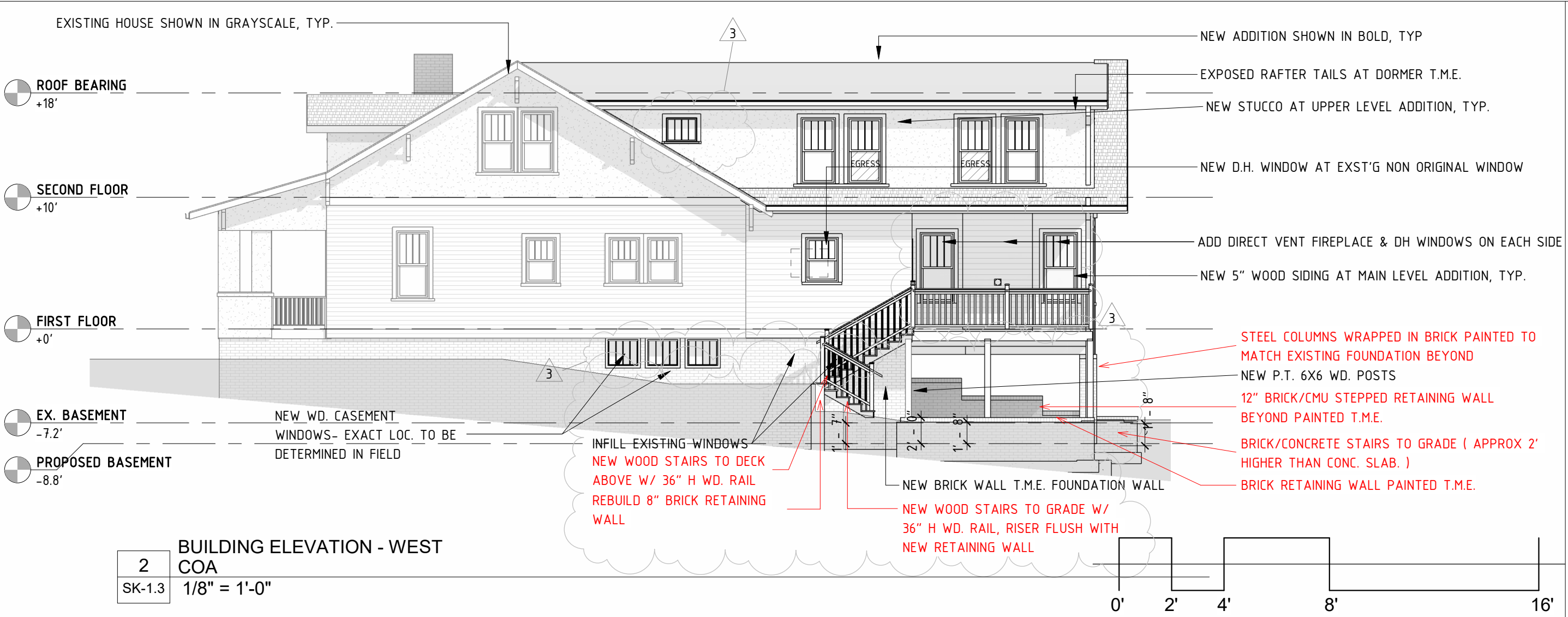
SK-1.0



3 RAILING DETAIL
 SK-1.2 1/2" = 1'-0"



1 PROPOSED ROOF PLAN
 SK-1.2 3/32" = 1'-0"



2 BUILDING ELEVATION - WEST
COA
SK-1.3 1/8" = 1'-0"



1 BUILDING ELEVATION - NORTH
COA
SK-1.3 1/8" = 1'-0"

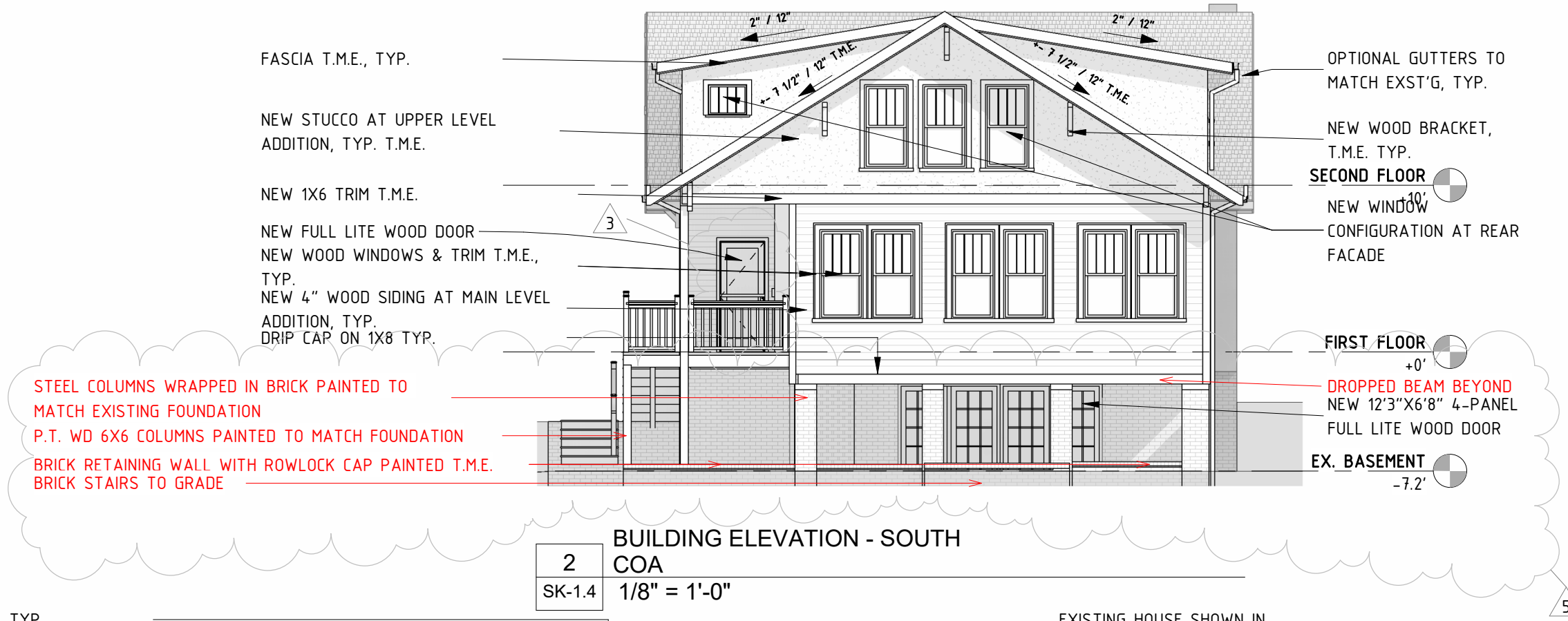
807 W. South Street
PROPOSED ELEVATIONS -

REV 3- 12/19/22

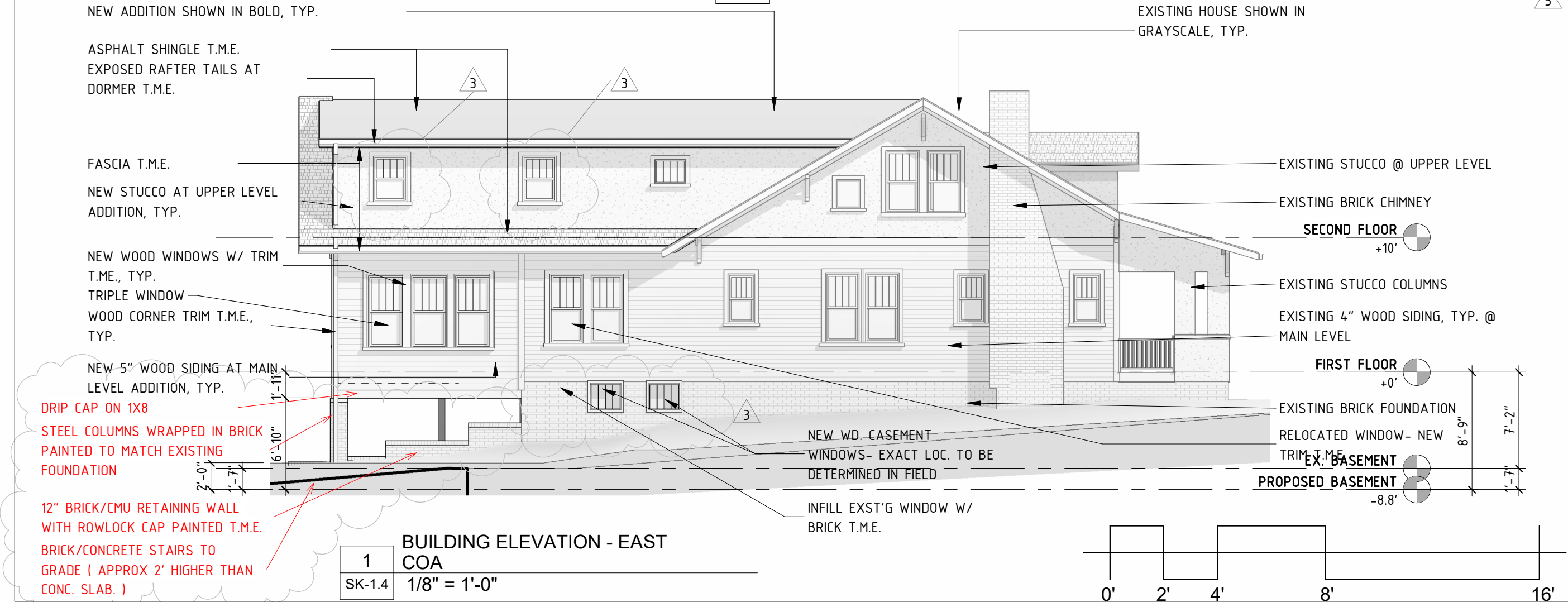
REV 5- 08/14/2024

11/9/20

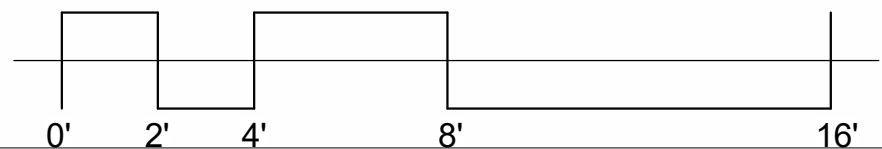
SK-1.3



BUILDING ELEVATION - SOUTH
COA
2 SK-1.4 1/8" = 1'-0"



BUILDING ELEVATION - EAST
COA
1 SK-1.4 1/8" = 1'-0"



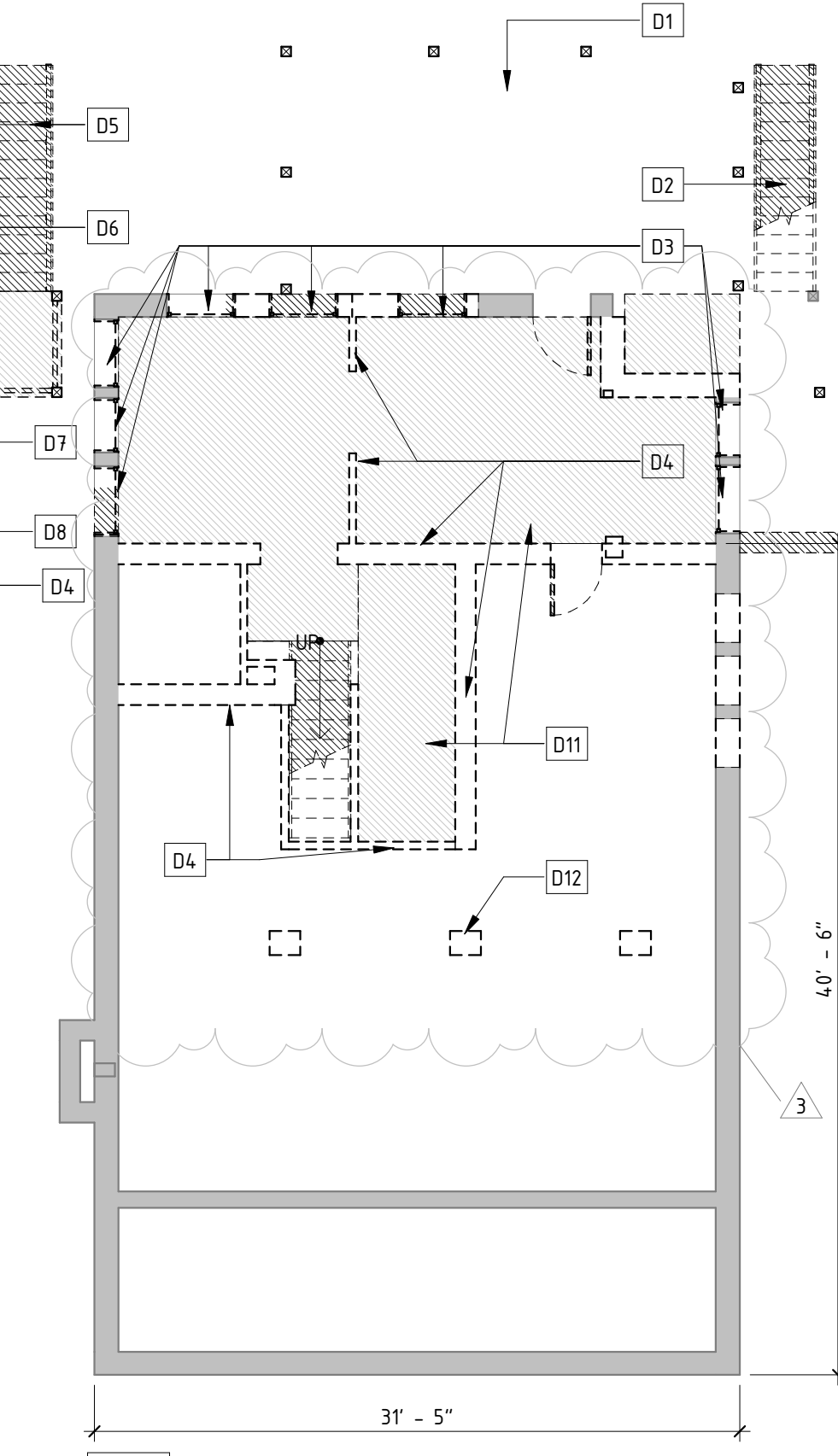
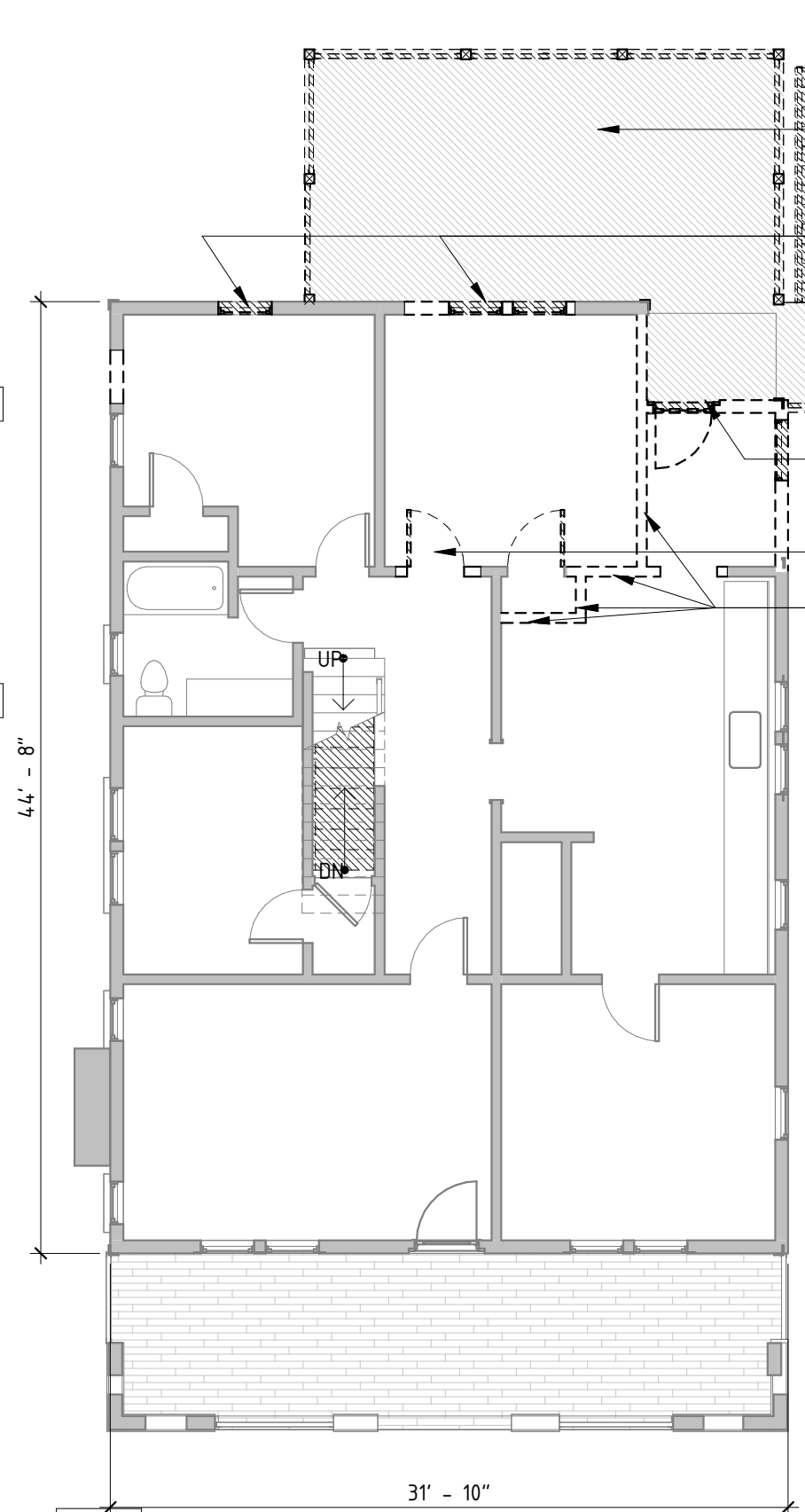
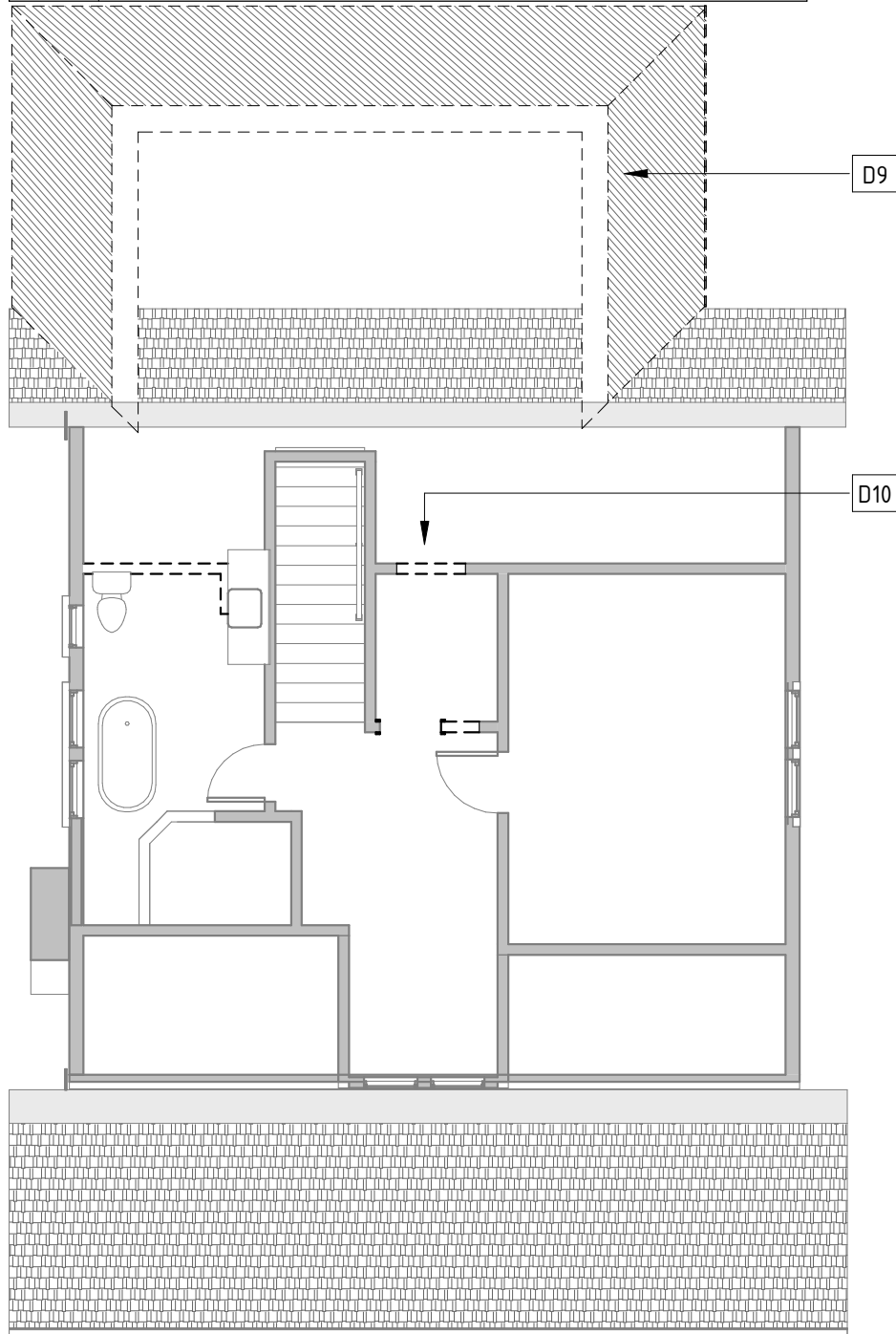
WINDOW SCHEDULE					
Mark	OPENING		SILL HEIGHT	MANF	NOTES
	W	HT			
A1	2' - 7 3/8"	5' - 4 1/2"	1' - 10"	LINCOLN	WOOD WINDOW DH
A2	2' - 7 3/8"	5' - 4 1/2"	1' - 10"	LINCOLN	WOOD WINDOW DH
A3	2' - 7 3/8"	5' - 4 1/2"	1' - 10"	LINCOLN	
A4	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A5	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A6	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A7	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A8	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A9	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A10	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A11	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
B1	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH
B2	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH
B3	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH EGRESS
B4	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH
B5	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH EGRESS
B6	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH EGRESS
B7	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH
C1	2' - 4"	1' - 10"	4' - 0"	LINCOLN	WOOD CASEMENT
C2	2' - 4"	1' - 10"	4' - 3"	LINCOLN	WOOD CASEMENT
C3	2' - 4"	1' - 10"	4' - 3"	LINCOLN	WOOD CASEMENT
C4	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
C5	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
C6	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
C7	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
C8	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
D1	2' - 5 7/8"	3' - 5"	2' - 8"	LINCOLN	WOOD WINDOW DH
D2	2' - 5 7/8"	3' - 5"	2' - 8"	LINCOLN	WOOD WINDOW DH
D3	2' - 5 7/8"	3' - 5"	3' - 7"	LINCOLN	WOOD WINDOW DH
R1	2' - 6"	5' - 2"	2' - 2"	N/A	RELOCATED WINDOW

ALL WINDOWS TO BE WOOD WITH WOOD 4.5" WIDE TRIM AND 2" PVC PROJECTED SILL

807 W. South Street
WINDOW SCHEDULE

DEMOLITION KEYNOTES

NO.	DESCRIPTION
	REMOVED DOOR TO ENLARGE OPENING
D1	REMOVE APPROX. 2' OF GRADE
D2	REMOVE DECK STAIR AND RAILING
D3	REMOVE NON ORIGINAL FIXED WINDOWS
D4	REMOVE WALL
D5	REMOVE EXISTING DECK, COLUMNS, STAIR
D6	REMOVE WINDOWS
D7	REMOVE WALL & DOOR
D8	REMOVE DOOR TO ENLARGE OPENING
D9	REMOVE MAIN LEVEL ROOF
D10	REMOVE NON ORIGINAL ADDITION INCL. WALLS, WINDOWS, DOORS, ROOF, ETC.
D11	REMOVE SLAB
D12	REMOVE MASONRY PIERS- (REPLACE WITH NEW FOUNDATION WALL)



2 SECOND FLOOR DEMOLITION PLAN

SK-D1 1/8" = 1'-0"

1 MAIN LEVEL DEMOLITION PLAN

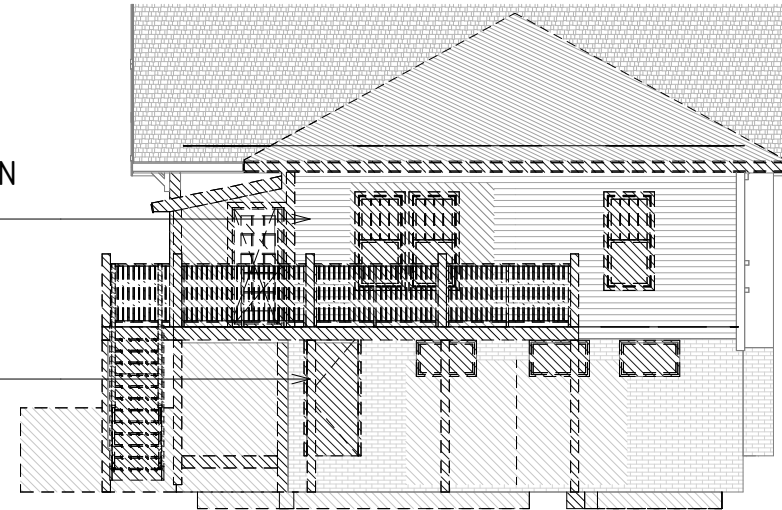
SK-D1 1/8" = 1'-0"

3 BASEMENT DEMOLITION PLAN

SK-D1 1/8" = 1'-0"



REMOVE NON-ORIGINAL ADDITION & ROOF
 DASHED LINES INDICATE TO BE DEMOLISHED



3 S. ELEVATION - DEMOLITION
 SK-D2 3/32" = 1'-0"



REMOVE NON-ORIGINAL ADDITION & ROOF
 DASHED LINES INDICATE TO BE DEMOLISHED

1 E. ELEVATION - DEMOLITION
 SK-D2 3/32" = 1'-0"



REMOVE DECK AND STAIRS

2 N. ELEVATION - DEMOLITION
 SK-D2 3/32" = 1'-0"