



# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

## Project Description:

Install deck and ramp; change exterior paint color; install mailbox; replace non-historic windows and doors; install gutter and downspouts, and install exterior lighting

1115 W Lenoir St  
1115 1/2 W Lenoir St

Address

Boylan Heights

Historic District

Historic Property

COA-0087-2025

Certificate Number

8/20/2025

Date of Issue

2/20/2026

Expiration Date

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

*Collette K*

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*



Type or print the following:

Applicant name:

Mailing address:

City:

State:

Zip code:

Date:

Daytime phone #:

Email address:

Applicant signature: Rachel Parks

Digitally signed by Rachel Parks  
DN: cn=Rachel Parks, email=rachel.parks@raleighnc.org, c=NC  
Reason: I attest to the accuracy and integrity of this document  
Date: 2025.08.26 14:58:45 -0400

Minor work (staff review) – one copy

Major work (COA committee review) – ten  
copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of  
approval

Office Use Only

Transaction #: \_\_\_\_\_

File #: **COA-0087-2025**

Fee: \_\_\_\_\_

Amount paid: \_\_\_\_\_

Received date: \_\_\_\_\_

Received by: \_\_\_\_\_

Property street address:

Historic district:

Historic property/Landmark name (if applicable):

Owner name:

Owner mailing address:

**For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.**

Property Owner Name & Address

Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input checked="" type="radio"/> No	Office Use Only Type of work: <u>26, 29, 40, 48, 49,</u> <u>51, 59, 94</u>
Did you consult with staff prior to filing the application? Yes <input checked="" type="radio"/> No	

Design Guidelines: please cite the applicable sections of the design guidelines ( <a href="http://www.rhdc.org">www.rhdc.org</a> ).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
		See attached pages below.

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>02/20/2026</u> Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Collette K</u>	Date <u>08/20/2025</u>



Section	Topic	Description
3.1/2.11	Deck/Ramp	New wood deck and ramp with TimberTech Prime+ composite decking in Coconut husk on side and rear of existing building for ADA access and outdoor seating. Stained, treated wood for the foundation material and railings that will be color-matched to the deck boards. Less than 42" above grade at highest point.
2.3	Mailbox – Arch. Metals	New mailbox will be placed to the right of the front door above the planter. Mailbox spec is the Post & Porch Inbox mailbox in brown.
2.4	Paint	All window trim, awning, and soffit will be repainted. Brick and stone will remain unpainted. The underside of the soffit will be painted SW 6050 Abalone Shell, and all other painted elements will be painted SW 7001 Marshmallow.
2.8	Awning Soffit Material	The soffit materials on the sides and underside of the front awning are deteriorated. We plan to replace the wrap materials with Hardie Soffit panels that will be painted as specified above.
2.7	Window and Glass Replacement	New fluted glass (Architectural Glass ¼" Reeded – Low Iron 6mm, insulated) in front transom windows, frame to remain. Replacement of all non-original double-hung windows with serving windows (Quik-Serv Bi-fold Transaction Window in dark bronze) or new aluminum-clad casement windows (Marvin Ultimate Casement Push Out Narrow Frame Window with exterior putty profile in Stone White). Window at the coal scale will be replaced with a new Marvin Ultimate Picture Window in Stone White (Ext. Putty profile). Glass in the large front window will be replaced with clear tempered glass. Divided lite windows on the front corners of either side of the building will remain, and the wood will be repainted.
2.7	Exterior Door Replacements	Replacement of both exterior doors with Simpson Door 501 with light, warm stained finish and ovolo sticking profile.
1.4	Fencing	Wood portion of fence in front of existing coal scale to the left side of the building will be removed and replaced like for like.



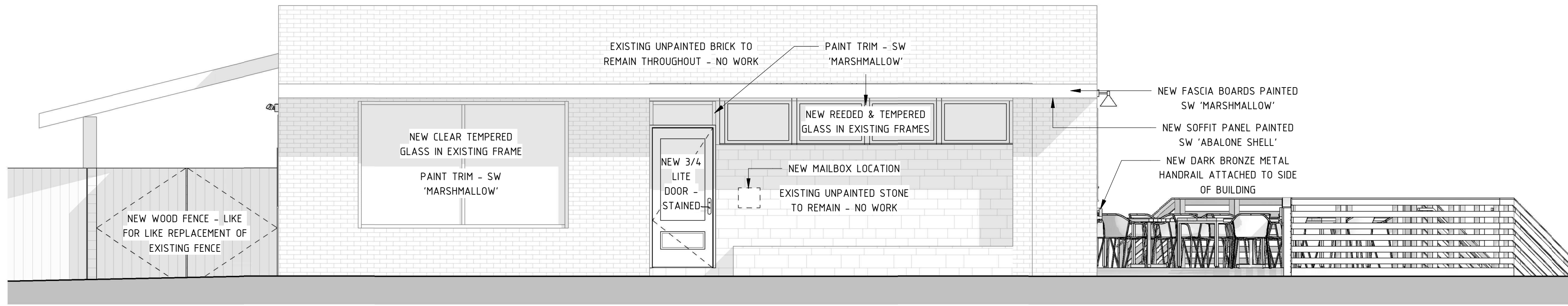


2.5	Gutter and Downspouts	New box gutter and downspouts will be installed on the rear side of the building in a dark bronze finish.
1.7	Exterior Lighting Fixtures	Cans in the front awning will be replaced with new LED fixtures in the same locations. Sconces will be added above the serving windows and on either side of the back door. The Rejuvenation Sadie sconce in Matte Mauve, Matte Sedona, or Oil-Rubbed Bronze will be used above the serving windows. Modern Forms Outdoor Vessel Up/Down Wall Sconce in Bronze will be used by the back door. Exterior emergency fixtures will be Exit Light Co EL-DEC Indoor-Outdoor Emergency Wall Light in Bronze.

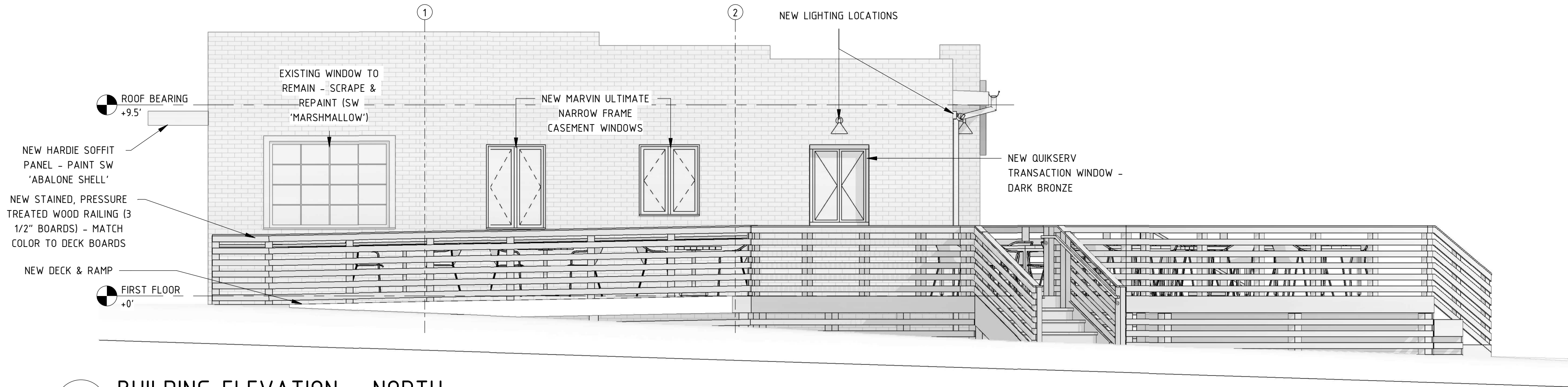
GENERAL EXTERIOR NOTES

- 1. REMOVE ALL VEGETATION, WIRING, PIPING, CLIPS, GUTTER, AND DOWNSPOUTS WITHOUT DAMAGING BRICK OR MORTAR JOINTS.
- 2. REMOVE ALL PLYWOOD COVERINGS OVER EXISTING WINDOW OPENINGS AS SHOWN ON THE DRAWINGS. EXISTING WINDOW TO REMAIN UNLESS NOTED OTHERWISE.
- 3. ALL EXTERIOR WOODWORK INCLUDING DOORS, WINDOWS, AND TRIM SHALL BE SCRAPPED OF ALL LOOSE PAINT, SANDED AND PAINTED.
- 4. INSTALL NEW REAR BOX GUTTER AND DOWNSPOUTS.
- 5. REMOVE ALL WINDOW HVAC DUCT AND OTHER EQUIPMENT.
- 6. REPOINTING MORTAR MUST MATCH THE COLOR, TEXTURE, STRENGTH, JOINT WIDTH AND JOINT PROFILE OF THE EXISTING HISTORIC MASONRY. SPECIFICATIONS AND REPOINTING SAMPLES SHOULD BE REVIEWED AND APPROVED BY THE STATE HISTORIC PRESERVATION OFFICE BEFORE PROCEEDING WITH THE WORK.
- 7. CLEAN ALL EXISTING BRICK USING THE GENTLEST MEANS POSSIBLE WITHOUT DAMAGING THE SURFACE OF THE MASONRY. THIS WORK MUST BE ACCOMPLISHED IN ACCORDANCE WITH THE GUIDANCE PROVIDED IN PRESERVATION BRIEF 1, ASSESSING CLEANING AND WATER-REPELLENT TREATMENTS FOR HISTORIC MASONRY BUILDINGS.

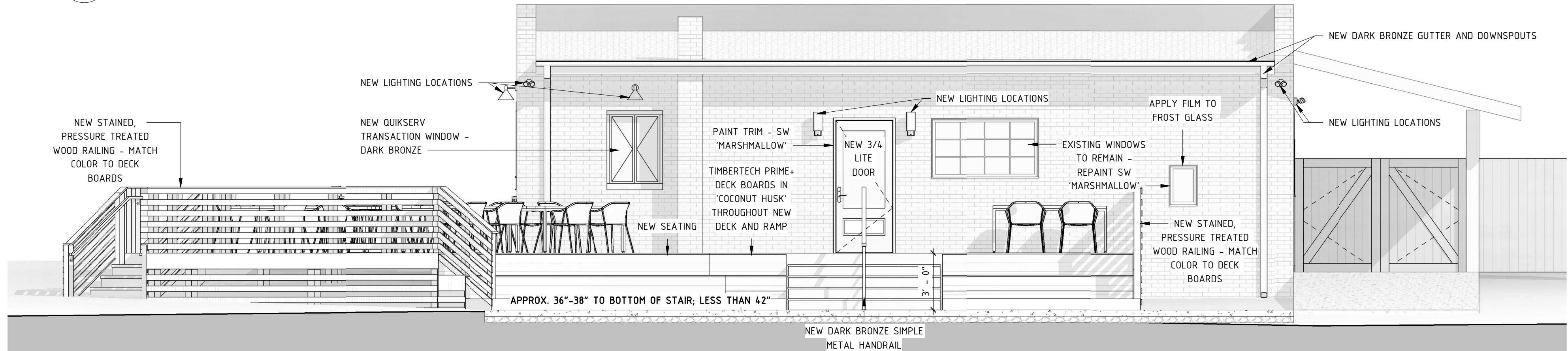
NOTE: APPLY MOCKUPS OF EACH PAINT COLOR AND FINISH INDICATED TO VERIFY PRELIMINARY SELECTIONS MADE AND TO DEMONSTRATE AESTHETIC EFFECTS AND SET QUALITY STANDARDS FOR MATERIALS AND EXECUTION.



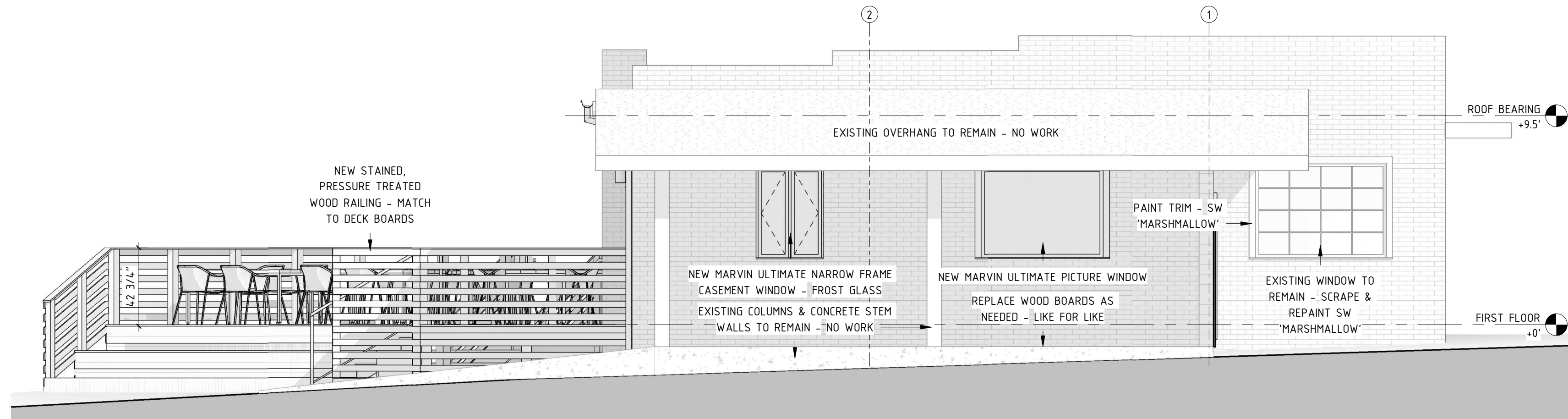
1 BUILDING ELEVATION - EAST  
SCALE: 1/4" = 1'-0"



2 BUILDING ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"



3 BUILDING ELEVATION - WEST  
SCALE: 1/4" = 1'-0"

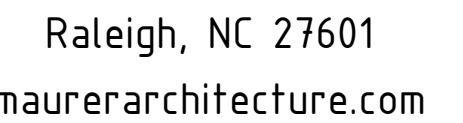


4 BUILDING ELEVATION - SOUTH  
SCALE: 1/4" = 1'-0"

DATE	06.26.2025
DR.	RP
CH.	MK
PROJ. #	25001

REVISIONS		
NO.	DESCRIPTION	DATE



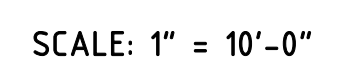


PROJECT TYPE: LEVEL III ALTERATION

1115 W. LENOIR ST., RALEIGH NC 27603

NO.	DESCRIPTION	DATE
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## A1.6



- NOTES:
1. CONTRACTOR MUST PROVIDE AND INSTALL TREE PROTECTION SIGNAGE.
  2. A TREE IMPACT PERMIT IS REQUIRED PRIOR TO INITIATION OF CONSTRUCTION IF ANY TREES ON CITY PROPERTY ARE TO BE IMPACTED BY PRUNING, TRENCHING, BORING, REMOVAL, PAVING, PLANTING, ETC.

CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND  
CULTURAL RESOURCES DEPARTMENT  
URBAN FORESTER: TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV

<p align="center"><b>CITY OF RALEIGH</b> <b>STANDARD DETAIL</b></p>		
<p><b>REVISIONS</b></p>	<p><b>DATE: 02/20/20</b></p>	<p><b>NOT TO SCALE</b></p>
<p> </p>	<p align="center">TREE PROTECTION FENCE LAYOUT</p>	
<p> </p>	<p align="center"><b>TTP-02</b></p>	

CITY OF RALEIGH		
STANDARD DETAIL		
REVISIONS	DATE: 03/20/20	NO.
	STANDARD TREE PROTECTION DETAIL	
	<b>TPP-01</b>	

-01

# MAIL

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**NOTES:**

1. TREE PROTECTION FENCING MUST BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (SEE DETAIL TYP-02 FOR EXAMPLES).
2. THE TREE PROTECTION FENCING MUST REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE APPROVED BY URBAN FORESTRY STAFF.
3. APPROVED IMPACT PROTECTION DEVICES MUST BE REMOVED AFTER CONSTRUCTION WHEN APPLICABLE.
4. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER FOR THE REMANDERS.
5. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTED AREA.
6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FASIR.

ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.

SIGNS SHALL BE DURABLE, WEATHERPROOF MATERIAL, WITH LETTERS A MINIMUM OF 2 1/2" HIGH, CLEARLY LEGIBLE AND SPACES AS SHOWN.

40"

48"

TREE PROTECTION AREA  
DO NOT ENTER  
ZONA DE PROTECCION  
PARA ARBOLES - NO ENTRE

WARNING SIGN DETAIL

CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND  
CULTURAL RESOURCES DEPARTMENT  
URBAN FORESTER:  
TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV



FRONT FACADE - SOUTHEAST CORNER



NORTH FACADE



NORTHWEST CORNER



SOUTHWEST CORNER



SOUTH FACADE





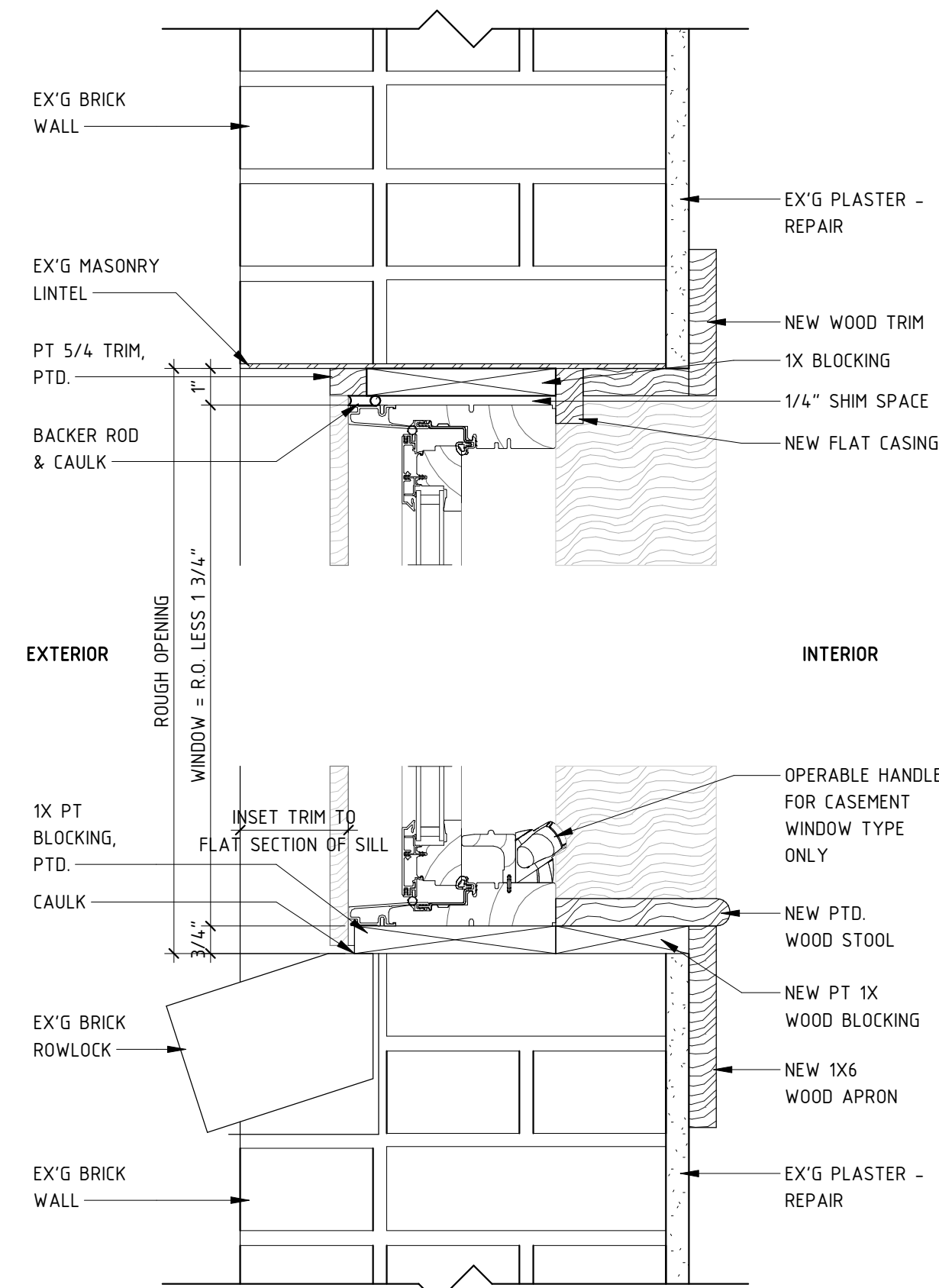
DATE	07.29.2025
DR.	RP
CH.	MK
PROJ. #	25001

REVISIONS

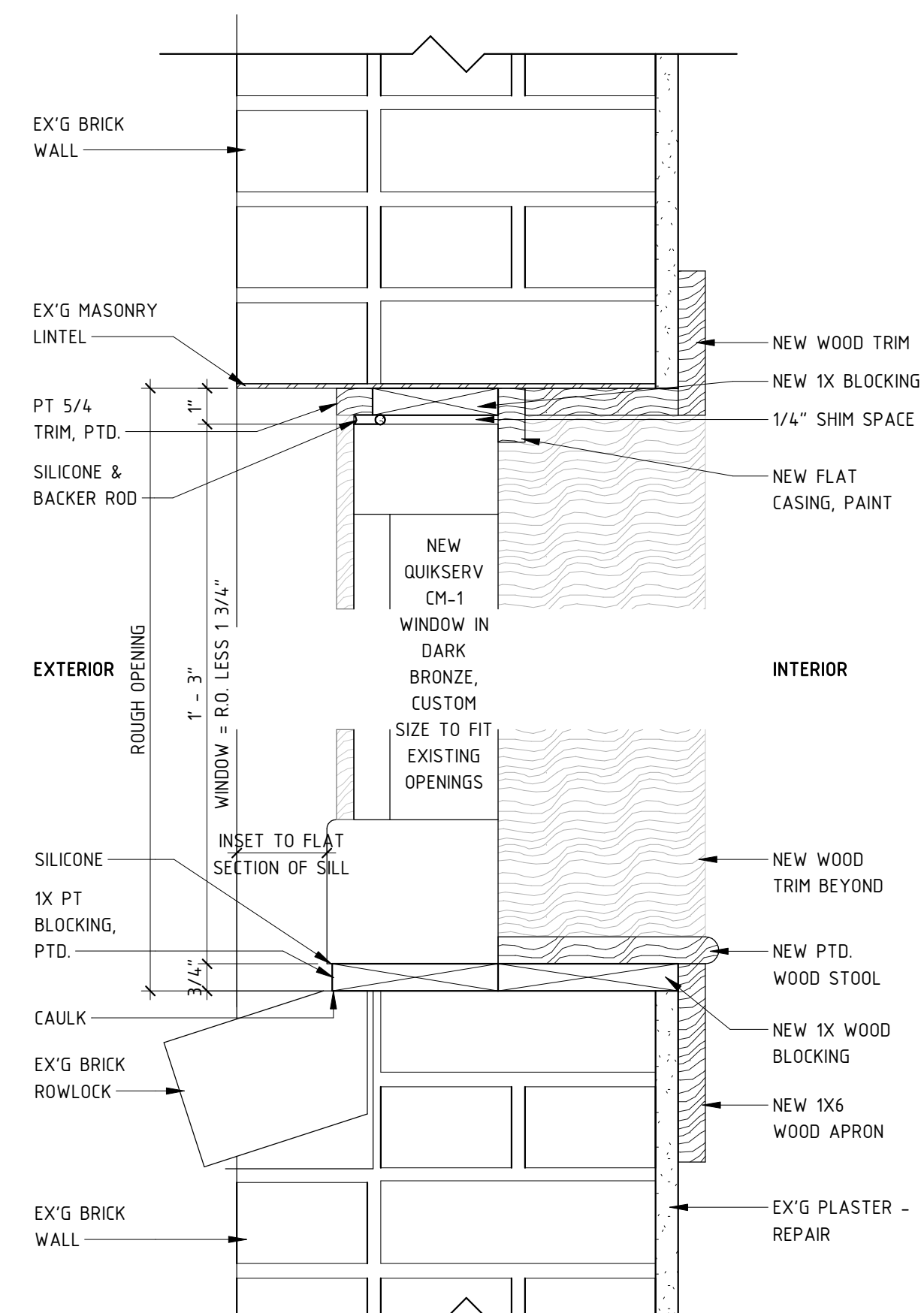
NO.	DESCRIPTION	DATE
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HEAD, JAMB,  
SILL DETAILS

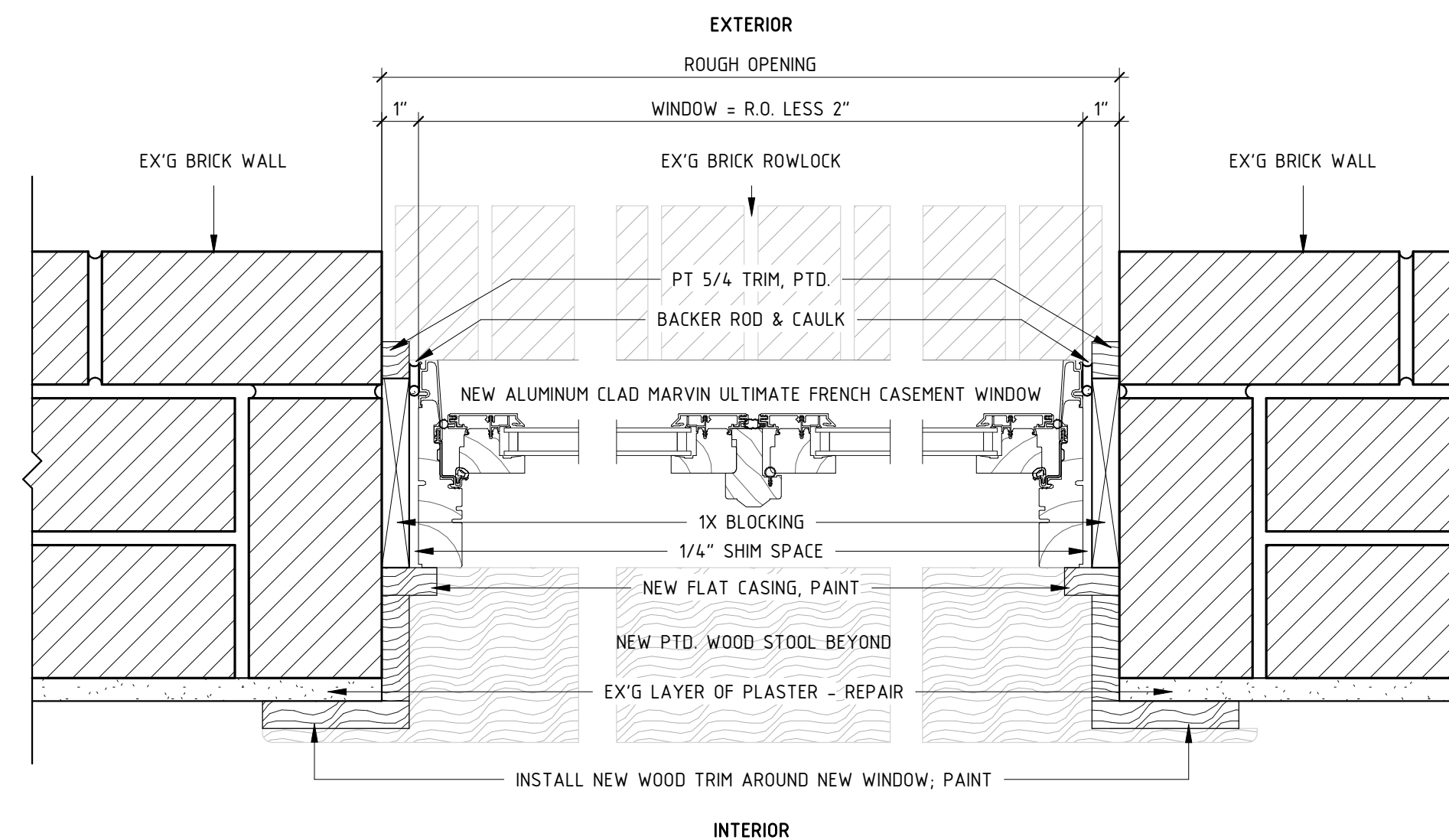
A6.1



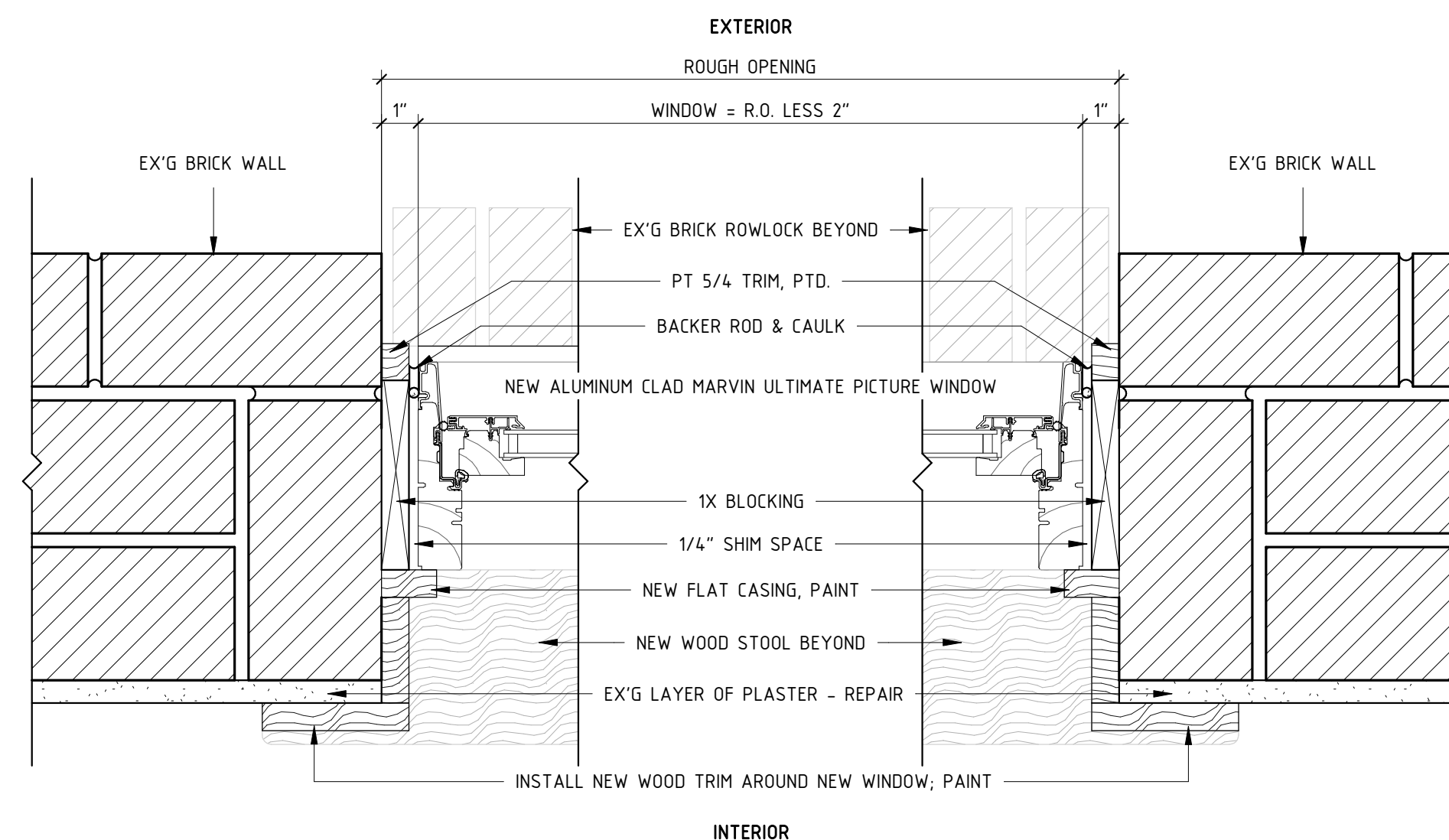
1 CASEMENT/PICTURE WINDOWS IN EXISTING BRICK WALL - HEAD & SILL  
SCALE: 3" = 1'-0"



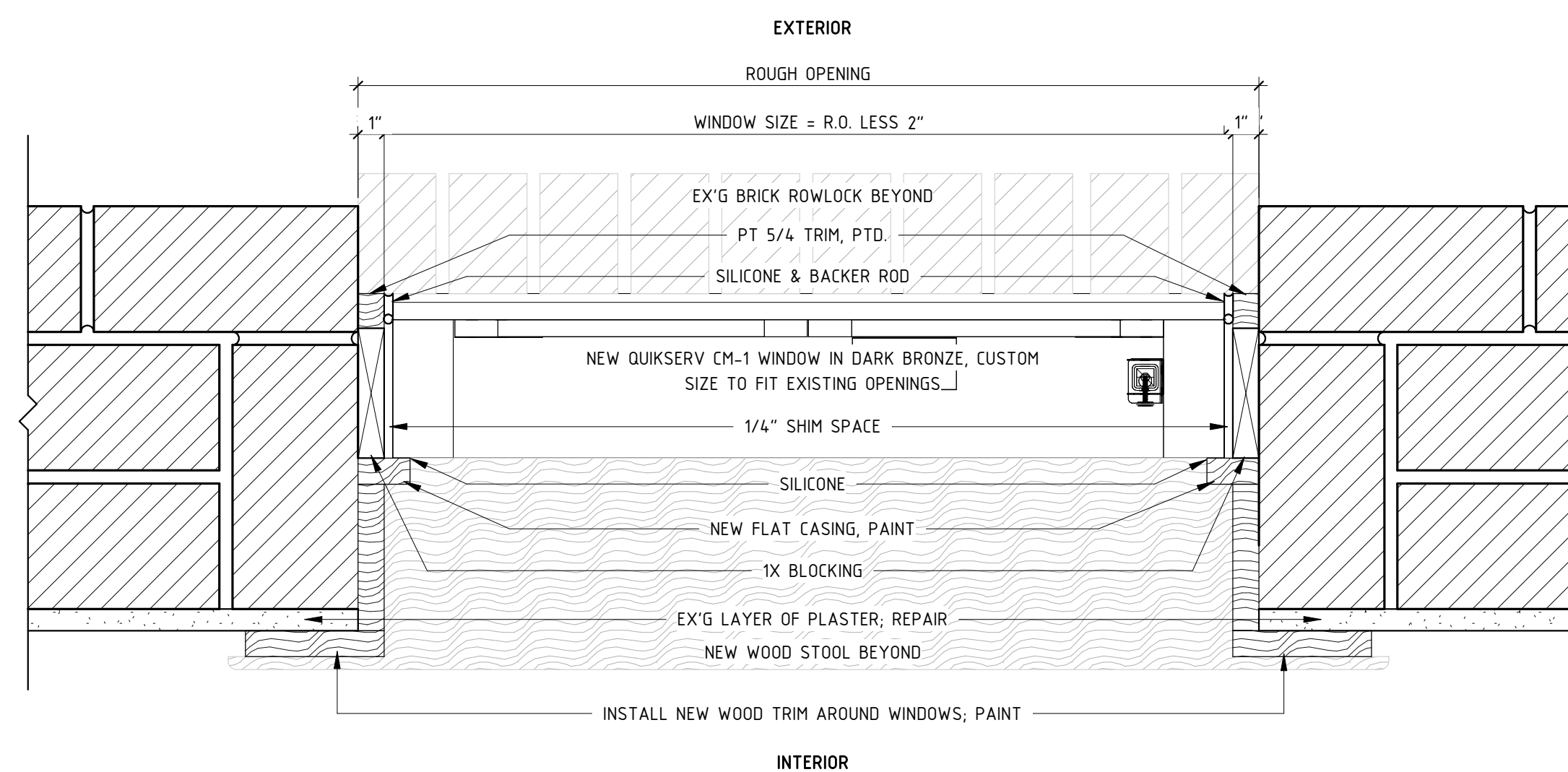
4 TRANSACTION WINDOWS IN EXISTING BRICK WALLS - JAMB  
SCALE: 3" = 1'-0"



2 CASEMENT WINDOWS IN EX'G BRICK WALL - JAMB  
SCALE: 3" = 1'-0"



5 PICTURE WINDOW IN EX'G BRICK WALL - JAMB  
SCALE: 3" = 1'-0"



3 TRANSACTION WINDOWS IN EXISTING BRICK WALLS - HEAD & SILL  
SCALE: 3" = 1'-0"



### Exterior Lighting Selections

Fixtures above serving windows – Rejuvenation Sadie Sconce (shown in preferred color, Matte Mauve)



Fixtures by back entry door – Modern Forms Vessel Up or Down Wall Light (shown in bronze)







Outdoor Emergency Fixtures – Exit Light Co EL-DEC Emergency Wall Light in Bronze



### Mailbox Selection

Post & Porch inbox mailbox (shown in Brown)



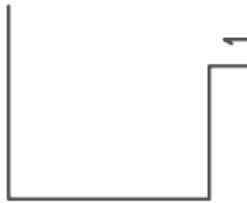


## Gutters

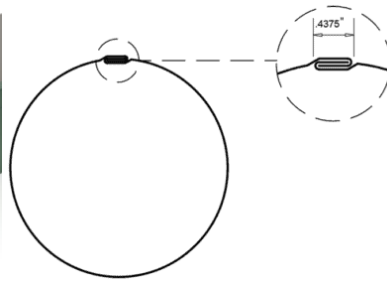
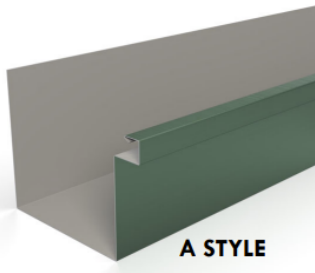
DMI Dynaclad Box Gutter and round downspout in Dark Bronze (22 ga. Galvalume)



**DARK BRONZE**  
SRI = 27

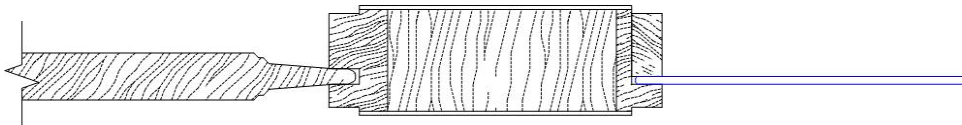
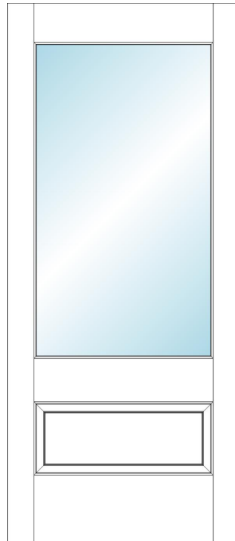


☒ A Style



## Doors

Simpson Door Company 501 Traditional Sash w/ Square Step Profile (Light stained door)







## Windows

Fixed Picture Window at coal scale – Marvin Ultimate Picture Window, Exterior Putty Profile (section by manufacturer) (color: stone white, not pictured)



New Casement Windows - Marvin Ultimate French Casement Window, Exterior Putty profile (section by manufacturer) (color: stone white, not pictured) (I did switch this spec out; it is virtually the same, but the opening will not need a fixed divider.)



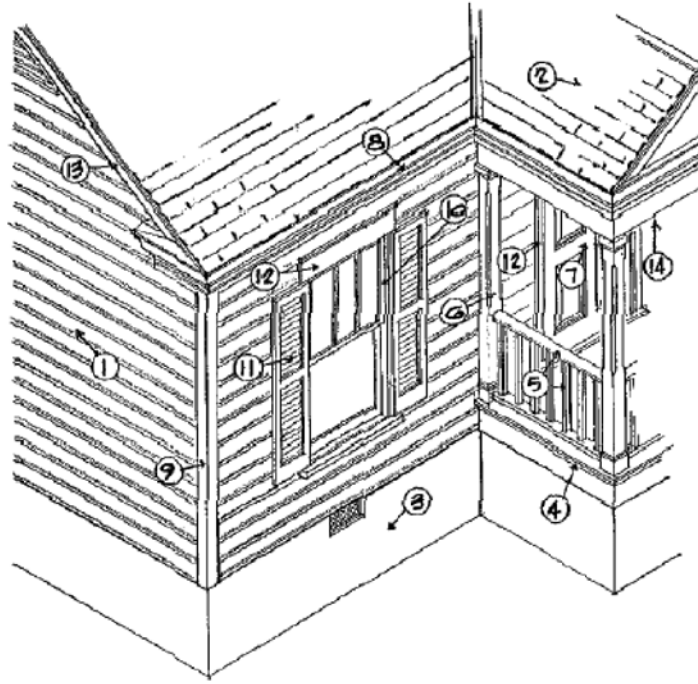


Transaction Windows – QuikServ CM-1 (shown in Dark Bronze Anodized)





## Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule



**Applicant** Rachel Parks (Maurer Architecture) for Taylor White (Owner)

**Address** 1115 W Lenoir St, Raleigh, NC 27603

**Paint Manufacturer** (Please submit color chips with this schedule) Sherwin Williams

### Color Schedule

1	Body of House N/A
2	Roofing N/A
3	Foundation N/A
4	Porch Floor N/A
5	Railing N/A
6	Columns N/A
7	Entrance Door N/A - Stained
8	Cornice SW 7001 'Marshmallow'
9	Corner Boards N/A
10	Window Sash SW 7001 'Marshmallow' (Stone White for Marvin Aluminum-Clad Windows)
11	Shutter N/A
12	Door & Window Trim SW 7001 'Marshmallow'
13	Rake N/A
14	Porch Ceiling SW 6050 'Abalone Shell' (Soffit)
15	Other N/A



































