

# City of Raleigh



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## COA-0092-2019

### 213 E CABARRUS STREET

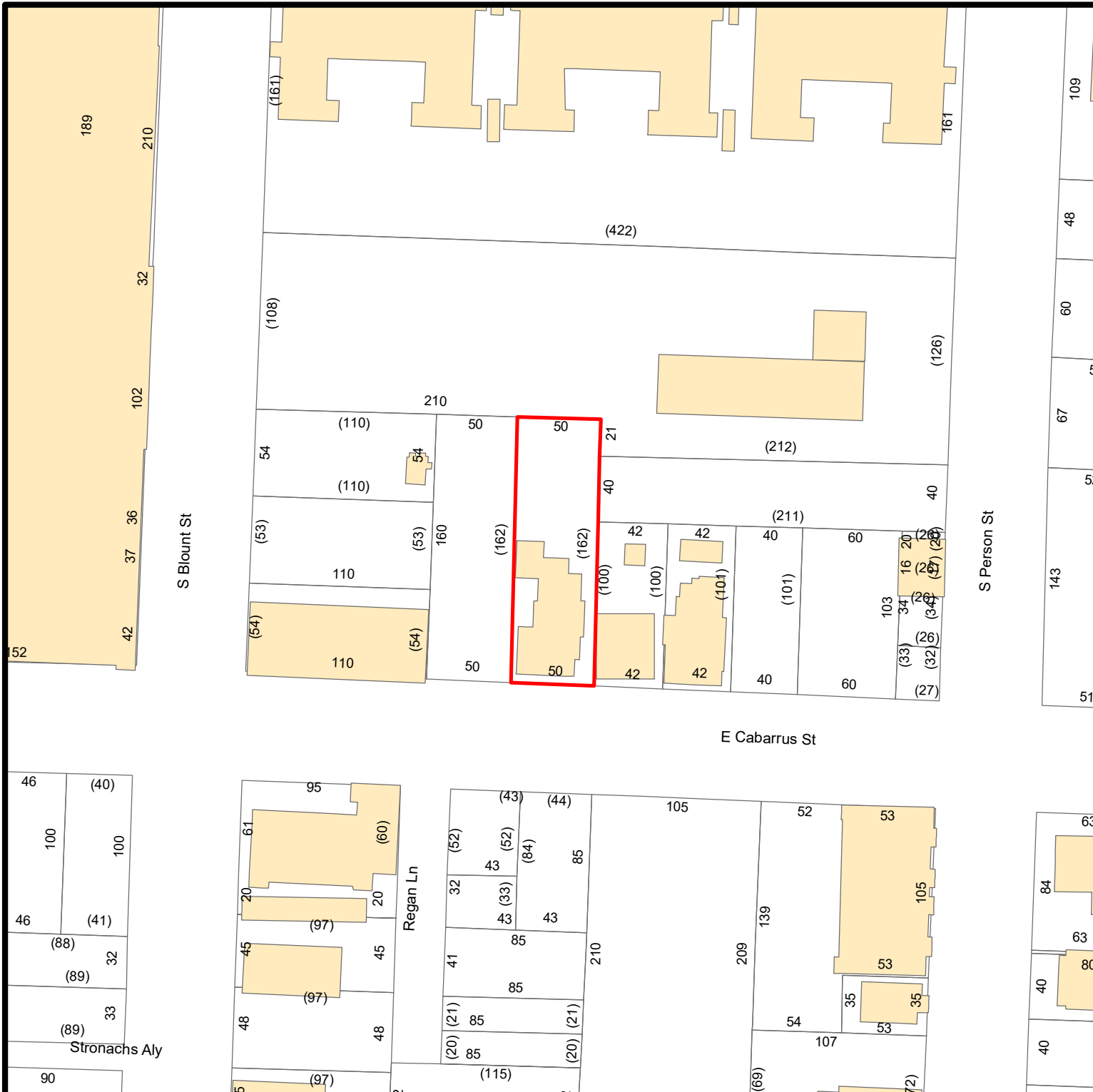
#### PRINCE HALL HISTORIC DISTRICT (HOD-G)

0 25 50 100  
Feet



**Nature of Project:**  
Remove rear addition, non-original siding; carport, shed, deck, fence, front porch decking, and brick patio; construct screened-porch addition with second-story deck; install brick patio and walkway; relocate HVAC; install fence; remove non-original windows; remove original window; install new windows; install new exterior door

**APPLICANT:**  
BROOKE TATE FOR  
MAUER ARCHITECTURE



## APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

COA-0092-2019 213 E CABARRUS STREET

Applicant: BROOKE TATE FOR MAURER ARCHITECTURE

Received: 8/12/2019

Meeting Date(s):

Submission date + 90 days: 11/10/2019

1) 9/26/2019 2) 3)

### INTRODUCTION TO THE APPLICATION

Historic District: PRINCE HALL HISTORIC DISTRICT

Zoning: GENERAL HOD

Nature of Project: Remove rear addition, non-original siding; carport, shed, deck, fence, front porch decking, and brick patio; construct screened-porch addition with second-story deck; install brick patio and walkway; relocate HVAC; install fence; remove non-original windows; remove original window; install new windows; install new exterior door

Staff Notes:

- COAs mentioned are available for review.

### APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<i>Sections</i>	<i>Topic</i>	<i>Description of Work</i>
1.3	Site Features & Plantings	Remove rear addition, carport, shed, deck, fence and brick patio; construct screened-porch addition with second-story deck; install brick patio and walkway; relocate HVAC; install fence
1.4	Fences & Walls	Remove fence; install fence
1.5	Walkways, Driveways, & Off-street Parking	Remove carport; install walkway
1.6	Garages & Accessory Structures	Remove carport; remove shed
2.7	Windows & Doors	Remove non-original windows; remove original window; install new windows; install new exterior door
2.8	Entrances, Porches, & Balconies	Remove front porch decking
3.1	Decks	Remove deck; construct second-story deck
3.2	Additions	Remove rear addition; construct screened-porch addition with second-story deck

### STAFF REPORT

Based on the information contained in the application and staff's evaluation:

- A. Removing a carport, shed, deck, fence, and brick patio; relocating HVAC equipment; and installing a brick patio and fence are not incongruous in concept according to *Guidelines*

1.3.1, 1.3.2, 1.3.6, 1.3.7, 1.3.8, 1.3.9, 1.3.11, 1.4.6, 1.4.8, 1.4.10, 1.5.1, 1.5.6, 1.5.9, 1.6.1; and the following suggested facts:

- 1\* The Report and Recommendation for the Designation of the South Person/South Blount Historic Overlay District identifies the house as the Jones-Williams House, c 1923. It is described as a “Two-story Craftsman frame house with asbestos-shingle siding, an asphalt-shingled front-gable roof, gable brackets, some replacement windows, an attached rear carport, and a one-story wraparound porch with battered wooden posts on brick piers and an enclosed side. ‘First owner was Dr. George T. Jones, a black pharmacist and manager of Mallette Drug Co. His wife, Alice Jones, a school teacher, sold the house to the current owner J.E. Williams. According to Mr. Williams, the house was constructed by Lucius Wilcox, who is the only black builder listed in the 1925 directory.’”
- 2\* The carport, deck, and brick patio proposed for removal are not historic.
- 3\* The proposed patio will reuse bricks from the existing patio and some new, matching bricks.
- 4\* A brick walkway will connect the existing driveway to the proposed patio.
- 5\* An existing shed on the east side of the house is proposed to be removed. No information was provided on the historic nature of the shed.
- 6\* The HVAC equipment is proposed to be relocated a few feet further to the north along the west elevation. No screening details were provided.
- 7\* The application states that all trees larger than 7” DBH will remain and be protected. A tree protection plan was provided.
- 8\* All existing fences on the property are proposed to be removed. This includes chain-link fencing, two vinyl fences, and a wood privacy fence. Chain-link and vinyl are prohibited materials.
- 9\* The cast iron railings in the front yard and two brick pillars with lions are proposed to remain.
- 10\* A wood privacy fence is proposed to be installed on the north, east, and west property lines. This is a typical configuration for fencing. The proposed fence will be constructed in the traditional neighbor-friendly design, with structural members facing inward. Detailed drawings were provided.

11\* An existing chain-link gate is proposed to be removed and replaced with a wooden gate.

Photographs of similar wooden gates in the district were provided. A drawing was provided.

12\* To the east of the house (from the street) an existing wood privacy fence is proposed to be replaced with a 42" wood picket fence. A drawing was provided.

B. Removing a rear addition, non-original siding, and front porch decking; and constructing a screened-porch addition with second-story deck and installing gutters are not incongruous in concept according to *Guidelines* 1.3.1, 1.3.2, 1.3.6, 1.3.7, 1.3.8, 1.3.9, 2.7.1, 2.7.9, 2.7.11, 2.7.13, 2.8.1, 2.8.3, 2.8.4, 3.1.1, 3.2.2, 3.1.5, 3.1.6, 3.1.7, 3.1.8, 3.2.1, 3.2.2, 3.2.4, 3.2.5, 3.2.6, 3.2.7, 3.2.10, 3.2.11, 3.2.12; and the following suggested facts:

1\* The rear additions proposed for removal are not historic.

2\* The proposed screened porch addition with a second-story deck is inset from the existing rear corner boards by 1'4". The architectural elements of the screened porch are designed to be similar to the features of the front porch.

3\* The foundation of the proposed addition is composed of brick piers that will match the existing rear brick foundation wall.

4\* The proposed second-story deck is inset from the corners and will not be visible from the street.

5\* The second-story deck railing is proposed to have the appearance of inset pickets; a drawing was provided.

6\* Screened porches under open decks are seen on the rear of historic houses. These features are typically integrated to appear as a single unit.

7\* The Committee has previously required that screening be placed on the inside of railings and balusters so as to have a more traditional porch appearance. The drawings do not indicate that there will be railings and balusters around the screened porch. The application notes that the screening will be installed inside the columns. This is an atypical construction method for screened porches in the historic district. A drawing was provided.

8\* The application includes the following built **area** to open space analysis: The lot is 8,101 SF. The existing built area is 3,457 SF, or 44%. The proposed built area is 2,940 SF, or 36%. This is a decrease in built area of 8%.



- 9\* The application includes the following built **mass** to open space analysis: The lot is 8,101 SF. The existing built mass is 2,242 SF, or 28%. The proposed built mass is 1,917 SF, or 24%. This is a decrease in built mass of 4%.
- 10\* The application also includes the repair and repointing of the existing foundation. The areas of the existing foundation that are stucco and painted will be repainted. Proposed paint colors were not provided.
- 11\* All non-original siding, including 12" particle/asphalt board and 8" aluminum siding, is proposed to be removed. The original 4 1/4" wood lap siding is proposed to be scraped, painted, and repaired or replaced where necessary.
- 12\* If original wood lap siding is not found under the modern covering, fiber cement siding is proposed to be installed with composite trim. The application states that "all new materials will match the existing in size, composition, and aesthetic." Evidence was not provided to support this statement.
- 13\* The *Design Guidelines for Raleigh Historic Districts and Landmarks* gives guidance to "Consider compatible substitute materials only if using the original material is not technically feasible."
- 14\* Two new wood windows on the east façade and one new window on the north façade are proposed to replace non-original horizontal windows. Specifications were provided.
- 15\* One double hung window on the north façade is proposed to be relocated. In its place a full-lite wood door is proposed. Specifications were provided.
- 16\* Specifications were provided for the new wood door located on the interior of the screened porch. Specifications were not provided for the screened door.
- 17\* Half-round gutters and downspouts are proposed for the east and west façades.
- 18\* The application includes the removal of treated decking from the front porch floor. Original tongue-and-groove boards are underneath the decking. The original flooring will be scraped and painted. If the original floor is deteriorated beyond repair, a replacement tongue-and-groove floor will be installed.
- 19\* No information was provided on exterior lighting, if any.

Staff suggests that the Committee approve the application with the following conditions:

1. That fence post holes be dug manually to avoid damaging tree roots, and that any roots greater than 1" in diameter be cut cleanly with a proper tool such as loppers.

2. That, should the applicant find that more than 50% of the wood siding underneath the asbestos and aluminum siding needs replacing, the applicant will stop work and consult with staff to determine the appropriate next step.
3. That any replacement siding be wood.
4. That the screened-porch have a railing with pickets and the railing and pickets be on the exterior of the screening.
5. That details and specifications for the following be provided to and approved by staff prior to the issuance of the blue placard:
  - a. Updated drawings that show the screened porch with railing and pickets.
6. That details and specifications for the following be provided to and approved by staff prior to the installation or construction:
  - a. Paint colors;
  - b. HVAC screening;
  - c. Screen door;
  - d. Exterior lighting.

Staff Contact: Collette Kinane, [collette.kinane@raleighnc.gov](mailto:collette.kinane@raleighnc.gov)

Type or print the following:

Applicant name: Brooke Tate- Maurer Architecture

Mailing address: 115.5 E. Hargett Street

City: Raleigh

State: NC

Zip code: 27601

Date: 8-13-19

Daytime phone #: 919-238-1786

Email address: brooke@maurerarchitecture.com

Applicant signature: *AB Tate*

Minor work (staff review) – one copy

Major work (COA committee review) – ten  
copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of  
approval

**Office Use Only**

Transaction #: \_\_\_\_\_

File #: *COA-0092-2019*

Fee: \_\_\_\_\_

Amount paid: \_\_\_\_\_

Received date: \_\_\_\_\_

Received by: \_\_\_\_\_

Property street address: 213 E. Cabarrus St.

Historic district: Prince Hall Historic District

Historic property/Landmark name (if applicable): Jones Williams House

Owner name: Mike Poupard

Owner mailing address: 5711 Six Forks Road, Suite 103, Raleigh, NC 27609

**For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.**

Property Owner Name & Address	Property Owner Name & Address
TUPPER MEMORIAL BAPTIST CHURCH ETAL TRUSTEES 501 S BLOUNT ST RALEIGH NC 27601-1827	TUPPER MEMORIAL BAPTIST CHURCH 501 S BLOUNT ST RALEIGH NC 27601-1827
RALEIGH MASONIC LODGE P H A WIDOWS SON LODGE PO BOX 40205 RALEIGH NC 27629-0205	HOWZE, ALPHA L JR HEIRS GEORGE SAUNDERS 500 ROSE POINT DR CARY NC 27518-8212
RICH-BALLENTINE, EDNA RUTH TRUSTEE RICH, RHONDA MO... PO BOX 26252 RALEIGH NC 27611-6252	LEE REALTY AND ASSOCIATES INC. 808 E EDENTON ST RALEIGH NC 27601-1165
CHAUER INVESTMENTS LLC 3111 GLENWOOD AVE RALEIGH NC 27612-5006	TRIANGLE GREEN PROPERTIES LLC PO BOX 721 MORRISVILLE NC 27560-0721
PABST, PHILLIP D 1807 SUNSET DR RALEIGH NC 27608-2451	
HORWITZ, PHILLIP HORWITZ, SUE ELLEN PO BOX 6 RALEIGH NC 27602-0006	



**I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.**

Will you be applying for rehabilitation tax credits for this project? Yes <input checked="" type="checkbox"/> No	<b>Office Use Only</b> Type of work: _____ _____
Did you consult with staff prior to filing the application? Yes <input checked="" type="checkbox"/> No	

Design Guidelines: please cite the applicable sections of the design guidelines ( <a href="http://www.rhdc.org">www.rhdc.org</a> ).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
		see attached with cited guidelines

**Minor Work Approval (office use only)**

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until \_\_\_\_\_.

Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) \_\_\_\_\_ Date \_\_\_\_\_



213 E. Cabarrus St.  
Prince Hall Historic District

### **Project Description and Description of Materials:**

Project consists of restoring a two-story craftsmen style home including the demolition of a non-original poorly constructed addition in the rear and the design and construction of a new screened-in porch with exterior deck above and a new patio. A non-original carport/shed, an exterior shed, a wood deck and a brick patio will also be demolished. The following is a breakdown of the project with relevant guidelines cited following each header.

#### Site, Landscape Features, Trees:

The existing brick patio is in disrepair and the deck is almost completely rotted through and will be demolished. A new hardscape patio comprised of brick pavers will be installed in the rear yard. Existing brick pavers to be re-used as well as new to match existing. All trees larger than 7" are to remain and will be protected as indicated on the tree protection plan ( they are located at back of property and in front planting strip). The site contains a large amount of overgrown shrubbery and weeds. All existing shrubs are to be removed to be able to properly work on the existing house and build the new addition. All shrubs to be with native plantings to match their intended scale before overgrown. The existing trees larger than 7" are to remain. Some pruning will be done for maintenance. The HVAC unit currently intrudes into an existing exterior masonry stair and will be relocated and the stair will be patched and repaired to match existing. The built area will actually be reduced from 44% to 36%, see drawing 1.4.

#### Cited Guidelines:

##### **1.3 Site Features and Plantings**

**.1 Retain and preserve the building and landscape features that contribute to the overall historic character of a landmark or district, including trees, gardens, yards, arbors, ground cover, fences, accessory buildings, patios, terraces, fountains, fish ponds, and significant vistas and views.**

**.2 Retain and preserve the historic relationship between buildings and historic landscape features of the landmark or district setting,**





including site topography, retaining walls, foundation plantings, hedges, streets, walkways, driveways, and parks.

.3 Protect and maintain historic building materials and plant features through appropriate treatments, including routine maintenance and repair of constructed elements and pruning and vegetation management of plantings.

.4 Replace missing or deteriorated historic site features with new features that are compatible with the character of the site and/or the historic district.

.6 Design new construction or additions so that large trees and other significant site features, such as vistas and views are preserved.

.7 Protect large trees and other significant site features from immediate damage during construction and from delayed damage due to construction activities, such as loss of root area or compaction of the soil by equipment. It is especially critical to avoid compaction of the soil within the critical root zone of trees.

.8 In the residential historic districts, it is not appropriate to alter the residential character of the district by significantly reducing the proportion of the original built area to open space on a given site through new construction, additions, or surface paving.

.9 Introduce compatible new site features constructed of traditional materials only in locations and configurations that are characteristic of the historic district or landmark.

.11 Introduce contemporary equipment or incompatible site features, including satellite dishes, playground equipment, mechanical units, and swimming pools, in locations that do not compromise the historic character of the building, site, or district. Locate such features unobtrusively, and screen them from view.

#### Fence:

There are several different fences on the property currently. All fences that are on this property will be removed including two vinyl fences, some chain link fence, some very old wood privacy fencing deteriorated beyond repair as well as newer wood privacy fencing. All fences that are on neighboring properties are to remain. A new wood privacy fence is to be installed on all three sides of property as shown on site plan drawing 1.2. See drawing 7.1 for fence detail that is replacing the very old privacy fence located on the west property line. The existing chain link gate is to be removed and replaced with a wood gate, manually operated, see 7.2. The two brick pillars with lions are to remain. On the right side of the house, the wood privacy fence that faces the front street will be



replaced with a 42" wood picket fence. See 7.2 for drawing. Cast iron railings in front are to remain. All fences to be built "neighbor friendly" with the horizontal supports facing the interior of the property.

Cited Guidelines:

**1.4**

**.1 Retain and preserve fences and walls that contribute to the overall historic character of a building or a site, including such functional and decorative elements as gates, decorative rails and pickets, pillars, posts, and hardware.**

**.2 Retain and preserve exterior fence and wall materials that contribute to the overall historic character of a building or a site, including brickwork, stucco, stone, concrete, wood, cast iron, and wrought iron.**

**.6 If replacement of an entire historic fence or wall is necessary because of deterioration, replace it in kind, matching the original in design, dimension, detail, texture, pattern, material, and color. Consider compatible substitute materials only if using the original material is not technically feasible.**

**.7 If a historic fence or wall is completely missing, replace it with a new wall or feature based on accurate documentation of the original or a new design compatible with the historic character of the building and the district.**

**.8 Introduce compatible new fences and walls constructed of traditional materials only in locations and configurations that are characteristic of the historic district. Keep the height of new fences and walls consistent with the height of traditional fences and walls in the district or landmark.**

Walkways & Driveways:

The existing walkway and driveway are in good condition and are to remain. A new brick walkway will connect the new brick patio to existing driveway. Native species shrubbery will be planted to buffer left of driveway where current overgrown shrubs are in place.

**1.5 Walkways, Driveways, and Off-street Parking: Guidelines**

**.5 Design new walkways, driveways, and off-street parking areas to be compatible in location, patterns, spacing, configurations, dimensions, materials, and color with existing walkways, driveways, and off-street parking areas that contribute to the overall historic character of the district.**





*.6 Locate new walkways, driveways, and off-street parking areas so that the topography of the building site and significant site features, including mature trees, are retained.*

*.9 Protect large trees and other significant site features from immediate damage during construction and from delayed damage due to construction activities, such as loss of root area or compaction of the soil by equipment. It is especially critical to avoid compaction of the soil within the critical root zone of trees.*

*.10 Introduce perimeter plantings, hedges, fences, or walls to screen and buffer off-street parking areas from adjacent properties.*

Foundation: Existing house foundation is a continuous brick wall with stucco at the front of the house and partially on the left side of house. The right, rear, and partial left side of house are unpainted brick and the front porch contains both brick piers w/ stucco and a brick and stucco continuous wall between. The proposed screened porch addition will have 12" brick piers to match existing rear brick foundation wall. Repair and repoint any masonry in need. Stucco to be repainted, color to be determined and coordinated with staff.

Cited Guidelines:

## **2.2 Masonry: Guidelines**

*.1 Retain and preserve masonry features that contribute to the overall historic character of a building and a site, including walls, foundations, roofing materials, chimneys, cornices, quoins, steps, buttresses, piers, columns, lintels, arches, and sills.*

*.2 Protect and maintain historic masonry materials, such as brick, terra-cotta, limestone, granite, stucco, slate, concrete, cement block, and clay tile, and their distinctive construction features, including bond patterns, corbels, water tables, and historically painted or unpainted surfaces.*

*.3 Protect and maintain historic masonry surfaces and features through appropriate methods: • Inspect surfaces and features regularly for signs of moisture damage, vegetation, structural cracks or settlement, deteriorated mortar, and loose or missing masonry units. • Provide adequate drainage to prevent water from standing on flat, horizontal surfaces, collecting on decorative elements or along foundations and piers, and rising through capillary action. • Clean masonry only when necessary to remove heavy soiling or prevent*





deterioration. Use the gentlest means possible. • Repaint historically painted masonry surfaces when needed.

.4 Repair historic masonry surfaces and features using recognized preservation methods for piecing-in, consolidating, or patching damaged or deteriorated masonry. It is not appropriate to apply a waterproof coating to exposed masonry rather than repair it.

.5 Repoint masonry mortar joints if the mortar is cracked, crumbling, or missing or if damp walls or damaged plaster indicate moisture penetration. Before repointing, carefully remove deteriorated mortar using hand tools. Replace the mortar with new mortar that duplicates the original in strength, color, texture, and composition. Match the original mortar joints in width and profile.

.9 Test any cleaning technique, including chemical solutions, on an inconspicuous sample area well in advance of the proposed cleaning to evaluate its effects. It is not appropriate to clean masonry features and surfaces with destructive methods, including gritblasting and high-pressure power washing.

.10 Repaint historically painted masonry surfaces in colors that are appropriate to the historic material, building, and district. It is not appropriate to paint unpainted masonry surfaces that were not painted historically

#### Siding:

At existing house, a 12" particle/asphalt board is currently covering 4 ¼" wood lap siding. At enclosed front porch 8" aluminum siding is installed. All non-original siding to be removed and original lap siding to be scraped and painted, replacing any rotten elements in kind. If there is not original wood siding underneath the aluminum siding at front porch, then Hardi lap siding and Miratec trim will be installed in that area. All new trim to match existing cornerboards, jamb and head trim, skirt boards, beam trim, and under soffit trim. All new materials to match the existing materials in size, composition, and aesthetic. New paint color to be determined and coordinated with staff.

#### Cited Guidelines:

##### **2.1 Wood: Guidelines**

.1 Retain and preserve wooden features that contribute to the overall historic character of a building and a site, including such functional and decorative elements as siding, shingles, cornices,



architraves, brackets, pediments, columns, balustrades, and architectural trim.

.2 Protect and maintain historic wooden surfaces and features through appropriate methods: • Inspect regularly for signs of moisture damage, mildew, and fungal or insect infestation. • Provide adequate drainage to prevent water from standing on flat, horizontal surfaces and collecting on decorative elements. • Keep wooden joints properly sealed or caulked to prevent moisture infiltration. • Treat traditionally unpainted, exposed wooden features with chemical preservatives to prevent or slow their decay and deterioration. • Retain protective surface coatings, such as paint, to prevent damage from ultraviolet light and moisture. • Clean painted surfaces regularly by the gentlest means possible, and repaint them only when the paint film is damaged or deteriorated.

.3 Repair historic wooden features using recognized preservation methods for patching, consolidating, splicing, and reinforcing.

.4 If replacement of a deteriorated detail or element of a historic wooden feature is necessary, replace only the deteriorated detail or element in kind rather than the entire feature. Match the original detail or element in design, dimension, and material. Consider compatible substitute materials only if using the original material is not technically feasible.

.5 If replacement of an entire historic wooden feature is necessary, replace it in kind, matching the original in design, dimension, detail, material, and texture. Consider compatible substitute materials only if using the original material is not technically feasible.

.7 Repaint wooden surfaces and features in colors that are appropriate to the historic structure and district. See Section 3.4 for further guidance.

.8 It is not appropriate to clean historic wooden features and surfaces with destructive methods such as gritblasting, power washing, and using propane or butane torches. Clean using gentle methods such as low-pressure washing with detergents and natural bristle brushes. Chemical strippers should only be used if gentler methods are ineffective and they should be pretested on sample areas first.

.10 It is not appropriate to replace painted historic wooden siding that is sound with new siding to achieve a uniformly smooth wooden surface.

.11 It is not appropriate to replace or cover historic wooden siding, trim, or window sashes with contemporary substitute materials.





#### Windows & Doors:

The existing windows of the main original portion of the house will remain and are to be scraped and painted. All storm windows to remain. In the new addition, two new windows on the east façade and one new window on the north façade are to be installed. All new windows shall be wooden Sierra Pacific, with no divided lites and low-e glass. One existing double-hung window located in the upstairs rear bedroom is to be relocated to the new adjacent Master Bath and in its place a new wood patio door is to be installed. One new 3/4-lite wood door shall be installed at an existing window location on the north elevation. One new full-lite wood door shall be installed at the rear upstairs Master Bedroom on the north elevation at an existing window location. New doors shall be Sierra Pacific with no divided lites and low-e glass. Front door to be restored (plywood remove and replacement glass installed).

#### Cited Guidelines:

##### **2.7 Windows and Doors: Guidelines**

**.1 Retain and preserve windows that contribute to the overall historic character of a building, including their functional and decorative features, such as frames, sashes, muntins, sills, heads, moldings, surrounds, hardware, shutters, and blinds.**

**.2 Retain and preserve doors that contribute to the overall historic character of a building, including their functional and decorative features, such as frames, glazing, panels, sidelights, fanlights, surrounds, thresholds, and hardware.**

**.3 Protect and maintain the wood and metal elements of historic windows and doors through appropriate methods:** • Inspect regularly for deterioration, moisture damage, air infiltration, paint failure, and corrosion. • Provide adequate drainage to prevent water from standing on nearly flat, horizontal surfaces such as window and door sills. • Clean the surface using the gentlest means possible. • Limit paint removal and reapply protective coatings as necessary. Remove heavy paint buildup on windows and doors to facilitate their operation • Reglaze sash as necessary to prevent moisture infiltration. • Weatherstrip windows and doors to reduce air infiltration and increase energy efficiency.

**.4 Repair historic windows and doors and their distinctive features through recognized preservation methods for patching, consolidating, splicing, and reinforcing.**

**.5 If replacement of a deteriorated historic window or door feature or detail is necessary, replace only the deteriorated feature in kind rather than the entire unit. Match the original in design, dimension,**



material, and quality of material. Consider compatible substitute materials only if using the original material is not technically feasible.

.9 If additional windows or doors are necessary for a new use, install them on a rear or non-character-defining facade of the building, but only if they do not compromise the architectural integrity of the building. Design such units to be compatible with the overall design of the building, but not to duplicate the original.

Front Covered Porch: The existing front porch floor is treated decking 5/4x6 and is to be removed. The original tongue and groove porch floor is beneath and further exploration will tell its condition. If deteriorated beyond repair, then replacement 3 1/4" tongue and groove wood flooring will be reinstalled, as seen in neighboring similar houses built at same time, otherwise the flooring will be scraped and painted.

Cited Guidelines:

## **2.8 Entrances, Porches, and Balconies: Guidelines**

.1 Retain and preserve entrances, porches, and balconies that contribute to the overall historic character of a building, including such functional and decorative elements as columns, pilasters, piers, entablatures, balustrades, sidelights, fanlights, transoms, steps, railings, floors, and ceilings.

.2 Protect and maintain the historic wood, masonry, and metal elements of entrances, porches, and balconies through appropriate surface treatment: • Inspect regularly for signs of moisture damage, rust, structural damage or settlement, and fungal or insect infestation. • Provide adequate drainage to prevent water from standing on flat, horizontal surfaces and collecting on decorative elements or along foundations. • Clean soiled surfaces using the gentlest means possible. • Recaulk wooden joints properly to prevent moisture penetration and air infiltration. • Retain protective surface coatings, such as paint or stain, to prevent damage from ultraviolet light or moisture. • Reapply protective coatings, such as paint or stain, when they are damaged or deteriorated.

.3 Repair historic entrances, porches, and balconies and their distinctive features and materials using recognized preservation methods for patching, consolidating, splicing, and reinforcing.





***.4 If replacement of a deteriorated historic detail or element of an entrance, porch, or balcony feature is necessary, replace only the deteriorated detail or element in kind rather than the entire feature. Match the original in design, dimension, and material. Consider compatible substitute materials only if using the original material is not technically feasible.***

Massing: The new addition does not diminish or overpower the existing house keeping the front elevation massing the same. The proposed built mass and area are less than the existing mass. The new rear addition will be inset from the existing rear cornerboards approximately 1'-4" to delineate differentiation from the original house. The mass of the new addition contains a deck over a screened-in porch and a new paver patio in the rear yard.

Rear Screened Covered Porch: The new addition is located at the rear, inset from the main house to be inconspicuous from the street. The new porch floor shall have wood 5/4x4 tongue and groove decking on wood joists to match front porch. Columns to be 12" recessed panel columns, to match the front porch columns without the stucco pier beneath. Structural members to be painted wood. Ceiling to be bead board to match front porch ceiling. The ceilings of the covered porch addition at rear shall be beadboard painted to match trim.

Cited Guidelines:

### ***3.2 Additions: Guidelines***

***.1 Construct additions, if feasible, to be structurally self-supporting to reduce any damage to the historic building. Sensitively attach them to the historic building so that the loss of historic materials and details is minimized.***

***.2 Design additions so that the overall character of the site, site topography, character-defining site features, trees, and significant district vistas and views are retained.***

***.6 Locate a new addition on an inconspicuous face of the historic building, usually the rear one.***

***.7 Limit the size and the scale of an addition in relationship to the historic building so that it does not diminish or visually overpower the building.***

***.8 Design an addition to be compatible with the historic building in mass, architectural style, materials, color, and relationship of***



*solids to voids in the exterior walls, yet make the addition discernible from the original.*

*.9 Design additions so that the placement, configuration, materials, and overall proportion of windows and doors are compatible with those of the historic building. Select exterior surface materials and architectural details that are compatible with the existing building in terms of composition, module, texture, pattern, and detail.*

*.10 It is not appropriate to construct an addition if it will detract from the overall historic character of the principal building and the site, or if it will require the removal of a significant building element or site feature.*

*.11 It is not appropriate to construct an addition that significantly changes the proportion of original built mass to open space on the individual site.*

*.12 It is not appropriate to construct an addition if the overall proportion of built mass to open space on its site will significantly vary from the surrounding buildings and sites that contribute to the special character of the historic district.*

Rear Deck: The deck is located in the rear of the building recessed from the corners and not visible from the front street. The new deck floor shall have wood 5/4 x 6 decking on wood joists. Railing to be 36" high. See drawing detail 7.3.

Cited Guidelines:

### **3.1 Decks: Guidelines**

*.1 Locate and construct decks so that the historic fabric of the structure and its character-defining features and details are not damaged or obscured. Install decks so that they are structurally self-supporting and may be removed in the future without damage to the historic structure.*

*.2 Minimize the visibility of new residential decks from the street by introducing them in inconspicuous locations, usually on the building's rear face and inset from the rear corners. Design and detail decks and associated railings and steps to reflect the materials, scale, and proportions of the building.*

*.7 Design new decks to be of a size and scale that does not significantly change the proportion of original built area to open space for a specific property.*





Roofing: Existing roofing to remain. Overhang soffits will be the original (assumed to be wood beadboard but not yet discovered underneath the current vinyl.) All siding, trim, soffits, doors, and windows shall be painted to match the main house. New gutters and downspouts to be galvanized half-round painted to match corner trim.

Cited Guidelines:

***2.5 Roofs: Guidelines***

***.8 If new gutters and downspouts are needed, install them so that no architectural features are lost or damaged. Select new gutters and downspouts that match trim color, unless they are copper. For modest postwar roofs, galvanized metal may be an appropriate choice. Retain the shape of traditional half-round gutters and downspouts if replacing them.***

Shed: Existing shed on the right side (east) is in poor condition and shall be removed.

Cited Guidelines:

***4.2 Demolition: Guidelines .1 Before demolition, work with the RHDC to pursue all alternatives to demolition.***

***.2 Before demolition, record significant structures through photographs and/or measured drawings as specified by the RHDC.***

***.3 Before demolition, work with the RHDC and other interested parties to salvage usable architectural materials and features.***

***.4 Before demolition, submit a site plan to the commission illustrating proposed site development or plantings to follow demolition.***

***.5 During demolition, ensure the safety of any adjacent properties and historic resources. Also, during and after demolition, protect trees on the site from damage due to compaction of the soil by equipment or materials.***

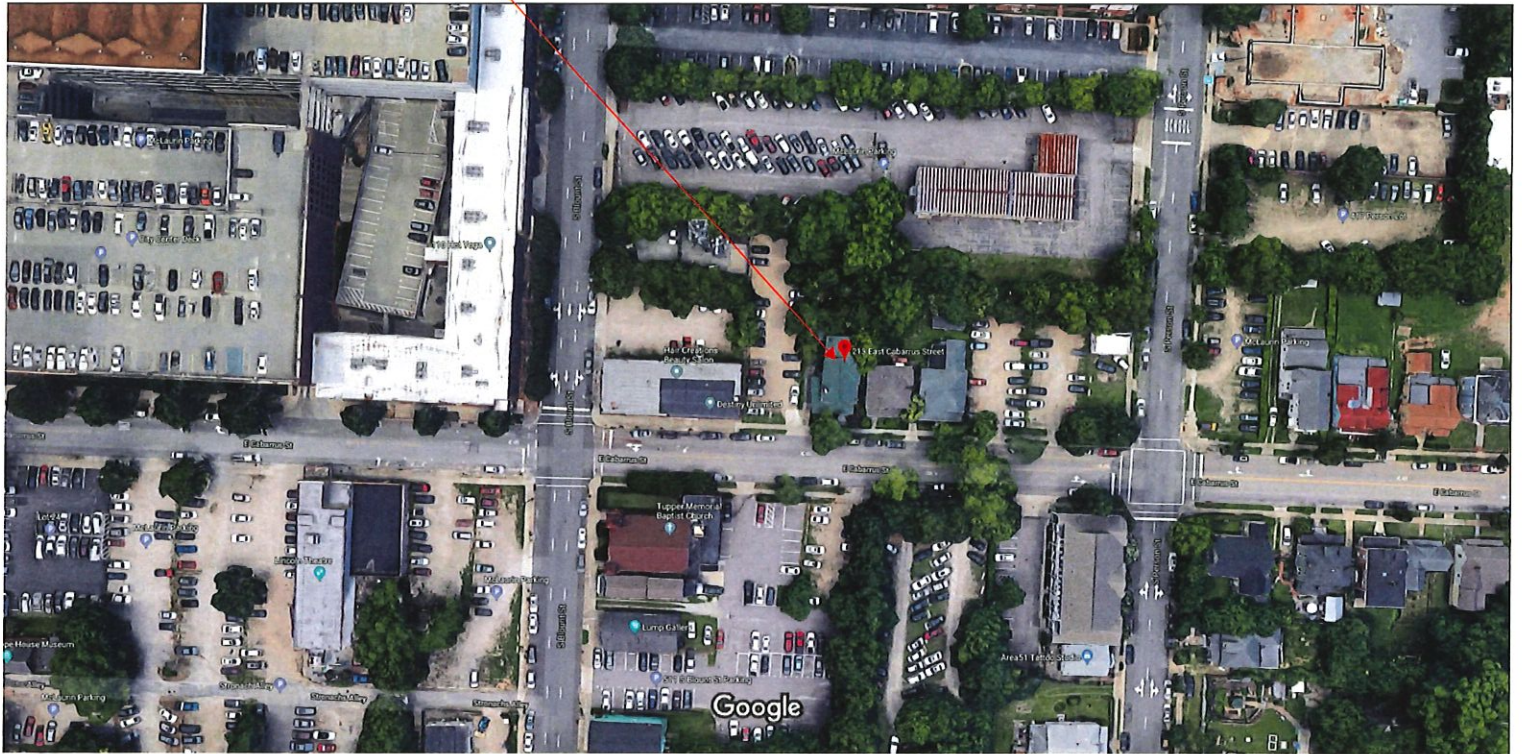
***.6 It is appropriate to implement a tree protection plan prior to the commencement of demolition activities.***

***.7 After demolition, clear the site promptly and thoroughly. .8 After demolition, plant or develop the site promptly as approved in the proposed site plan.***

Paint Colors: Existing siding to be painted a similar green, existing trim to be painted a shade of white and fencing to be stained: all paint colors and stains to be coordinated with staff before completion of project.

213 E. CABARRUS STREET "JONES WILLIAMS  
HOUSE" RENOVATION

Google Maps 213 E Cabarrus St



Imagery ©2019 Google, Imagery ©2019 Maxar Technologies, U.S. Geological Survey, Map data ©2019 50 ft

08/13/19

COA-1.00



NEIGHBORING CHAIN  
LINK FENCE TO  
REMAIN, TYP.

EXISTING CHAIN LINK  
FENCE TO BE  
REMOVED, TYP.

EXISTING VINYL  
FENCE TO BE  
REMOVED, TYP.

EXST'G SHED  
TO REMAIN

EXISTING PATIO TO  
BE REMOVED

EXISTING DECK TO  
BE REMOVED

EXISTING CARPORT  
TO BE REMOVED

EXISTING SHED TO BE  
REMOVED

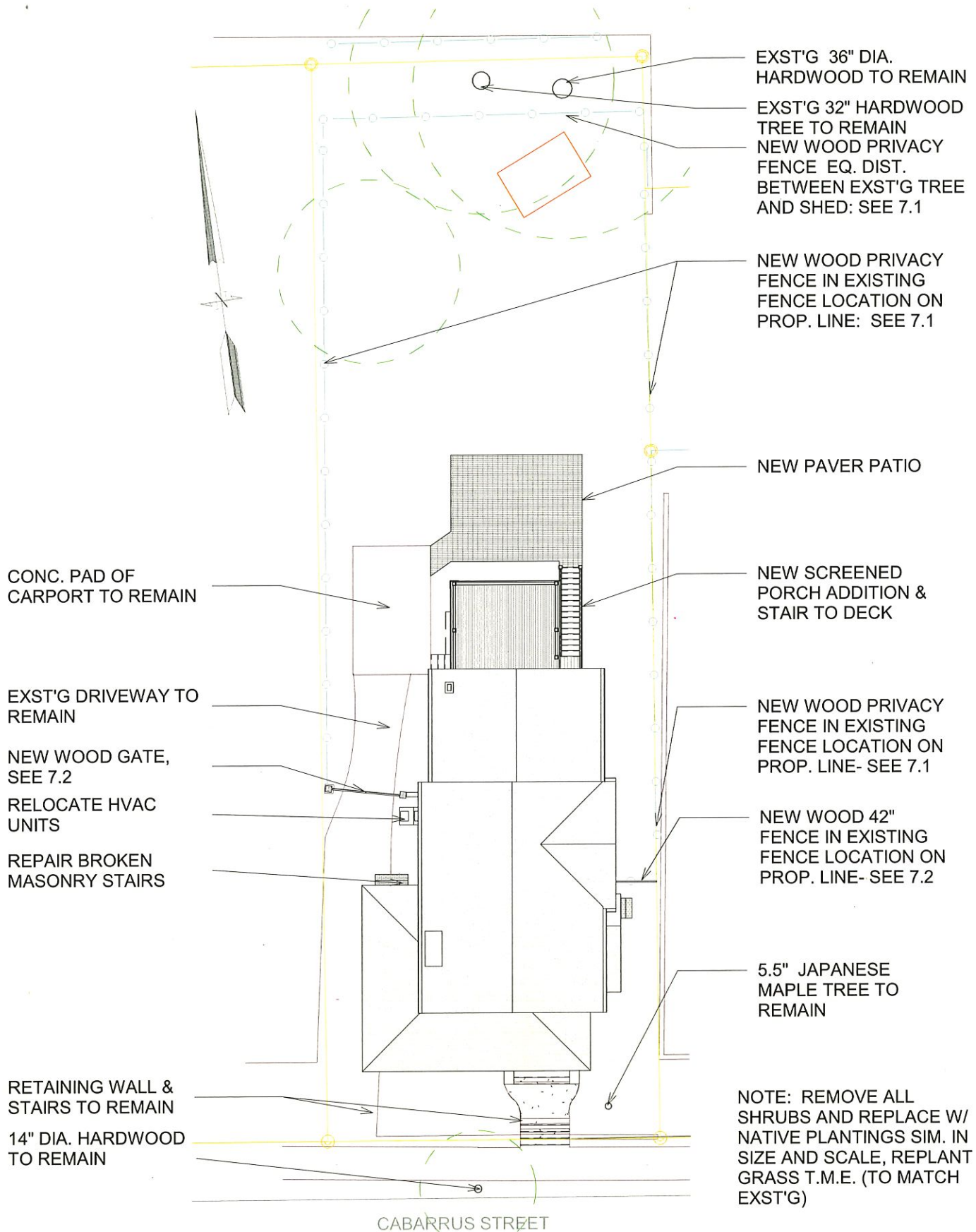
EXISTING HVAC TO BE  
REMOVED/  
RELOCATED

CABARRUS STREET

① SITE PLAN- EXISTING  
1" = 20'-0"

COA-1.1

08/13/19



① SITE PLAN- PROPOSED  
1" = 20'-0"

COA-1.2

08/13/19

- NOTES:
1. TREE PROTECTION FENCING MUST BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (CRZ) OF TREES. (CRZ DEFINED AS RADIUS X 1.25' (FT) PER INCH AT DBH FROM TRUNK OF TREE, SEE TREE PROTECTION LAYOUT DETAIL)
2. IF CONSTRUCTION OCCURS WITHIN THE CRZ AT LEAST 12" OF MULCH AND/OR LOGGING MATTS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
3. THE TREE PROTECTION FENCING MUST REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE APPROVED BY URBAN FORESTRY STAFF.
4. THERE WILL BE ZERO TOLERANCE FOR STORING OR PARKING VEHICLES, SUPPLIES, OR EQUIPMENT UNDER PROTECTED TREES.
5. APPROVED IMPACT PROTECTION DEVICES MUST BE REMOVED AFTER CONSTRUCTION WHEN APPLICABLE.
6. SIGNS ARE TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL WITH LETTERS A MINIMUM OF 3" HIGH, CLEARLY LEGIBLE AND SPACED AS SHOWN.
7. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER FOR THE REMAINDER.
8. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTED AREA.
9. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
10. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.



Diagram illustrating the components and dimensions of a typical poly barricade fabric assembly:

- STEEL POST
- WOVEN WIRE FABRIC
- WARNING SIGN
- ORANGE UV RESISTANT HIGH-TENSILE STRENGTH POLY BARRICADE FABRIC (TYPICAL)
- Dimensions: 36', 4'-0", 2'-0"

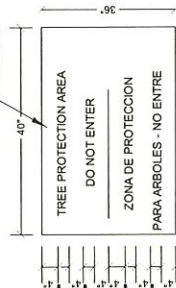


Diagram illustrating the components and dimensions of a Tree Protection Area (TPA):

- MIN. 12-16 GA. INTERMEDIATE WIRES**: Wires defining the perimeter of the TPA.
- GRADE**: The ground level.
- PLASTIC OR WIRE TIES**: Used to secure the wires to the ground.
- WARNING SIGN**: A sign indicating the presence of the TPA.
- TREE PROTECTION AREA**: The designated area for tree preservation.
- DO NOT ENTER**: A sign placed within the TPA.
- MIN. 15 GA. LINE WIRES**: Wires defining the outer boundary of the TPA.
- ORANGE, UV RESISTANT HIGH-TENSILE STRENGTH POLY BARRICADE (TYPICAL)**: A barrier used to restrict access to the TPA.
- 8" MAX.**: Maximum width of the TPA.
- VARIABLE AS DIRECTED BY THE ENGINEER**: Dimension indicating the variable length of the TPA.

1 TREE PROTECTION PLAN  
1 1/32" = 1'-0"



08/29/19



EXISTING BUILT AREA:

DRIVEWAY 515 SF  
STEPS 143 SF  
RETAINING WALL 31 SF  
DECK & PATIO 616 SF  
BUILT MASS: 2242

TOTAL: **3,547 SF (44%)**

PROPOSED BUILT AREA

DRIVEWAY 515 SF  
STEPS 143 SF  
RETAINING WALL 31 SF  
PATIO & WALK 334 SF  
BUILT MASS: 1917

TOTAL: **2,940 SF (36%)**

LOT = 8,101 SF

EXISTING BUILT MASS:

HOUSE & PORCH: 1872 SF  
SHED 52 SF  
REAR SHED 91 SF  
CARPORT 227 SF

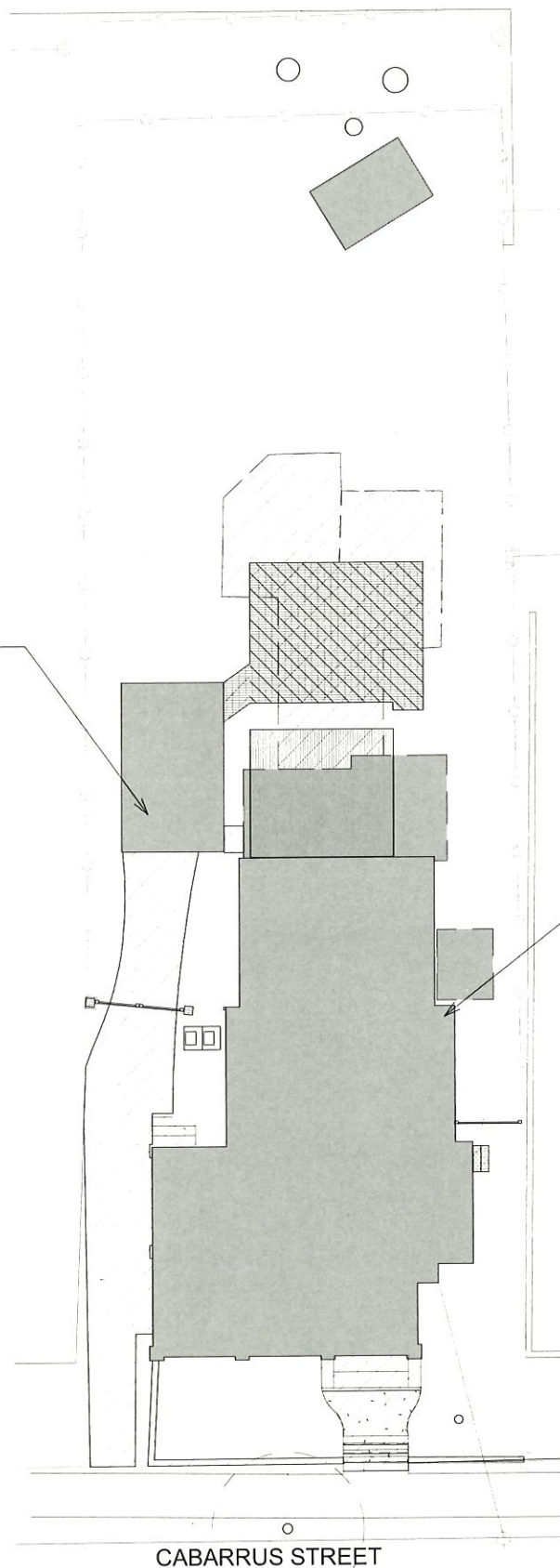
TOTAL: **2242 SF (28%)**

PROPOSED BUILT MASS:

HOUSE & PORCH  
(298 NEW 1619 EXSTG = )

TOTAL: **1917 SF (24%)**

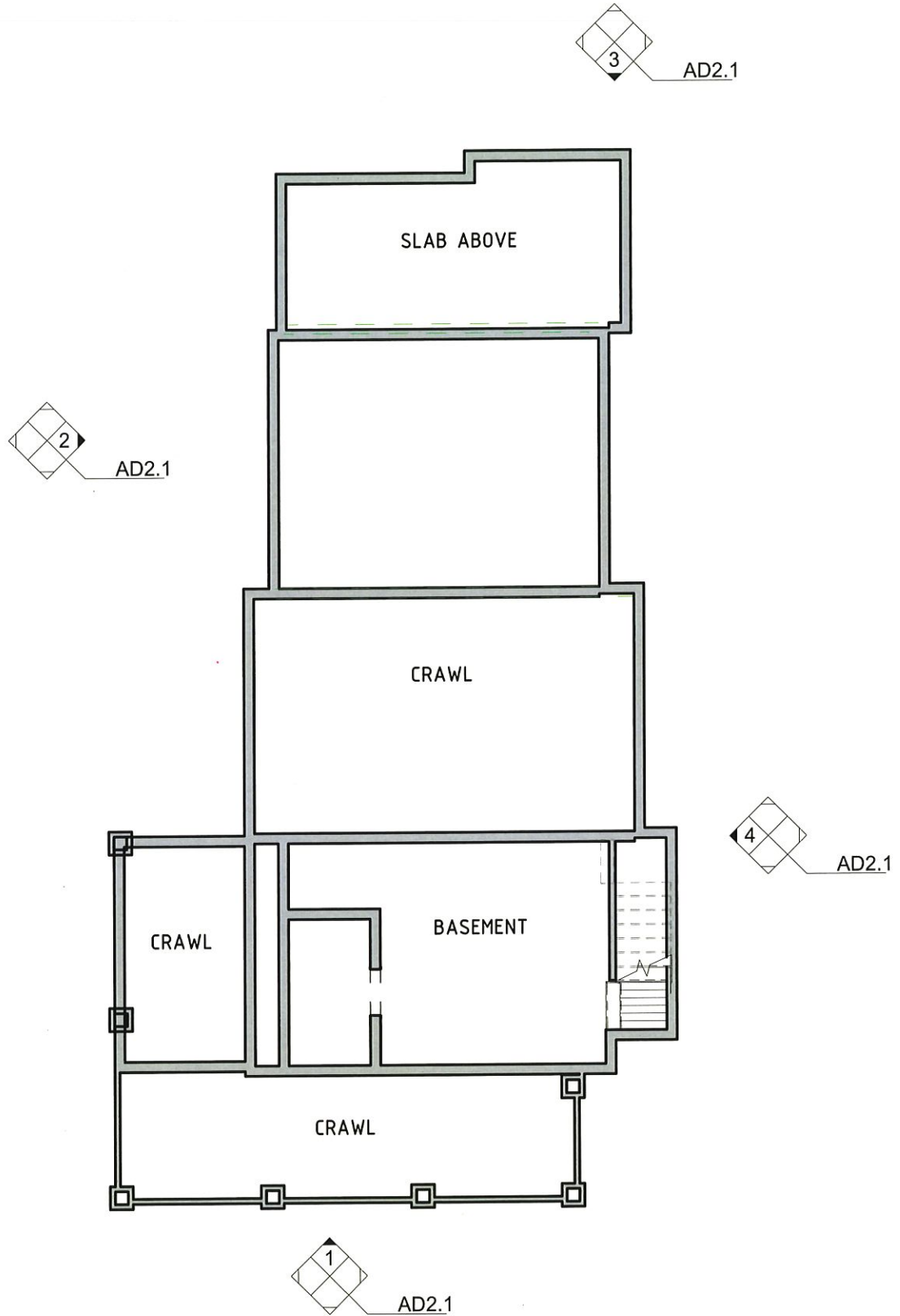
LOT 8,101 SF



① BUILT MASS & AREA DIAGRAM  
1" = 20'-0"

COA-1.4

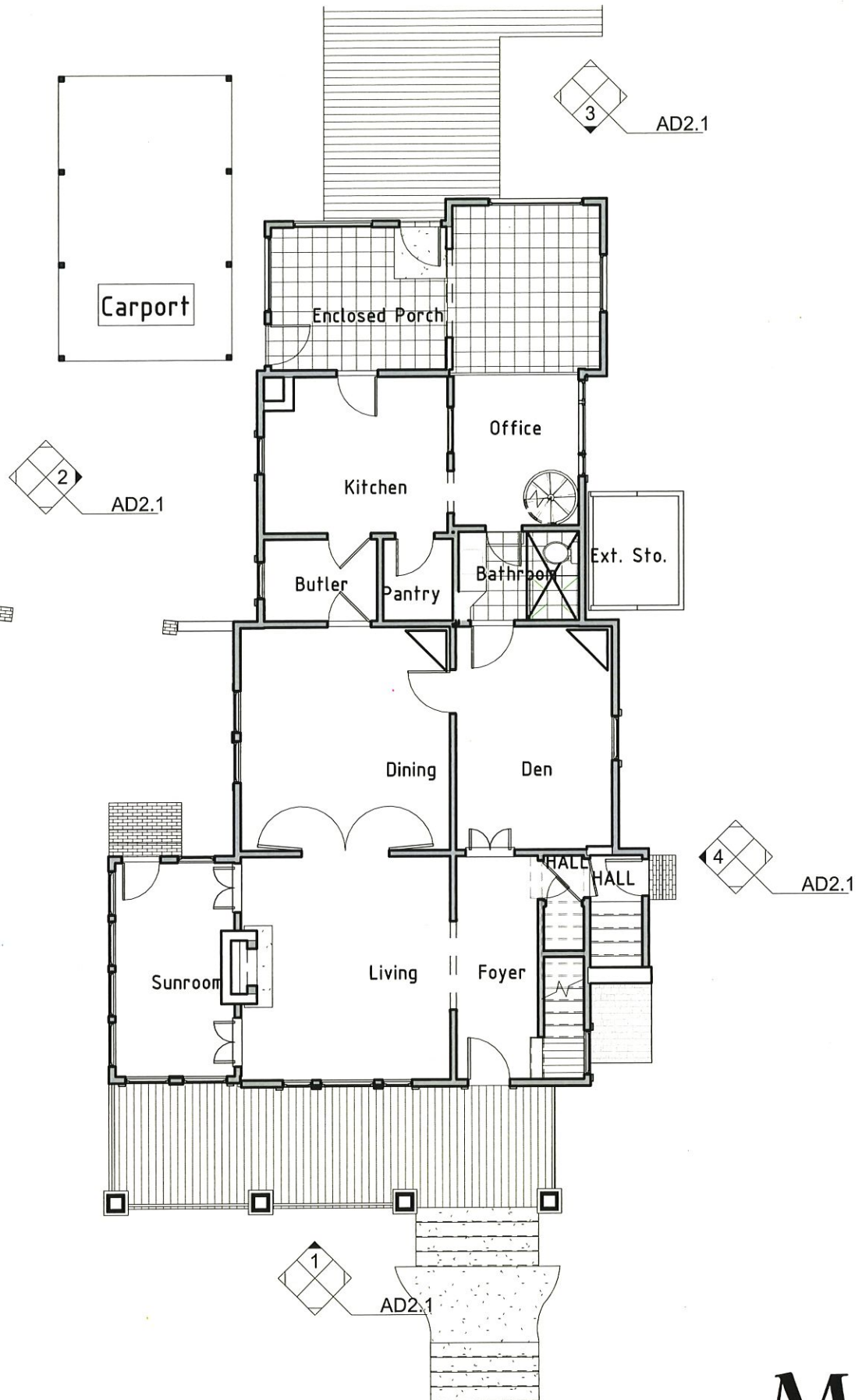
08/29/19



① EXISTING LOWER LEVEL PLAN  
1" = 10'-0"

COA-2.1

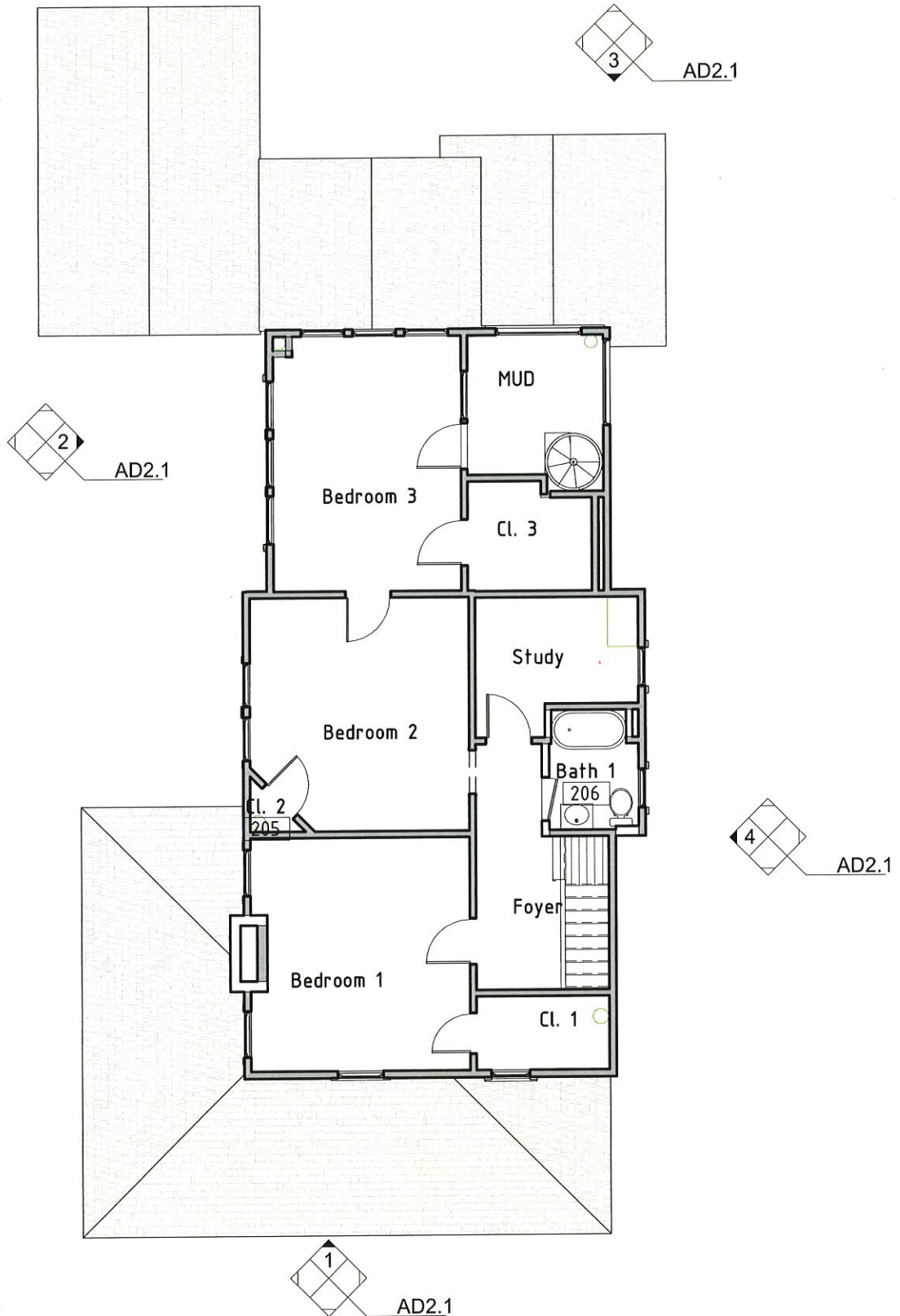
08/13/19



① EXISTING FLOOR PLAN  
1" = 10'-0"

COA-2.2

08/13/19



08/13/19

COA-2.3



REMOVE PATIO

REMOVE DECKS

REMOVE NON-ORIGINAL  
CARPORT

REMOVE EXST'G NON-  
ORIGINAL REAR ADDITION

REMOVE NON-ORIGINAL WALLS

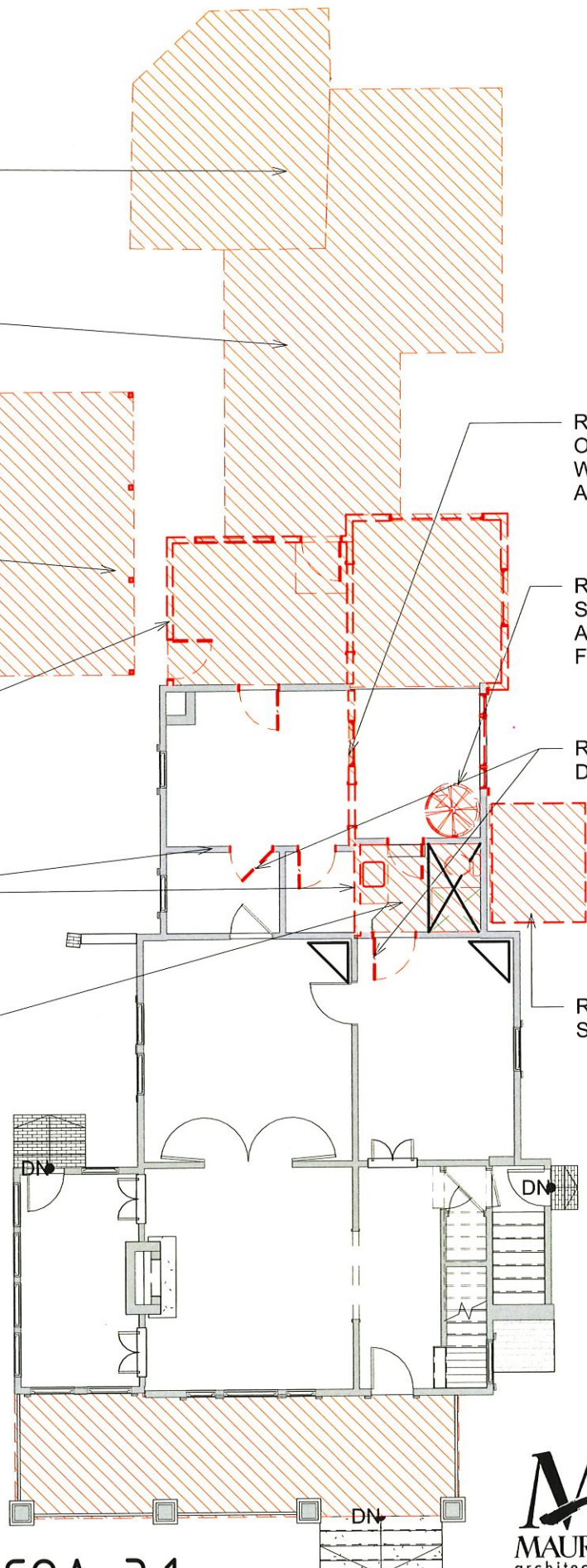
REMOVE PLUMBING  
FIXTURES, TILE

REMOVE NON-  
ORIGINAL  
WALL, DOOR  
AND WINDOW

REMOVE  
SPIRAL STAIR  
AND TILE  
FLOOR

REMOVE  
DOOR

REMOVE  
SHED



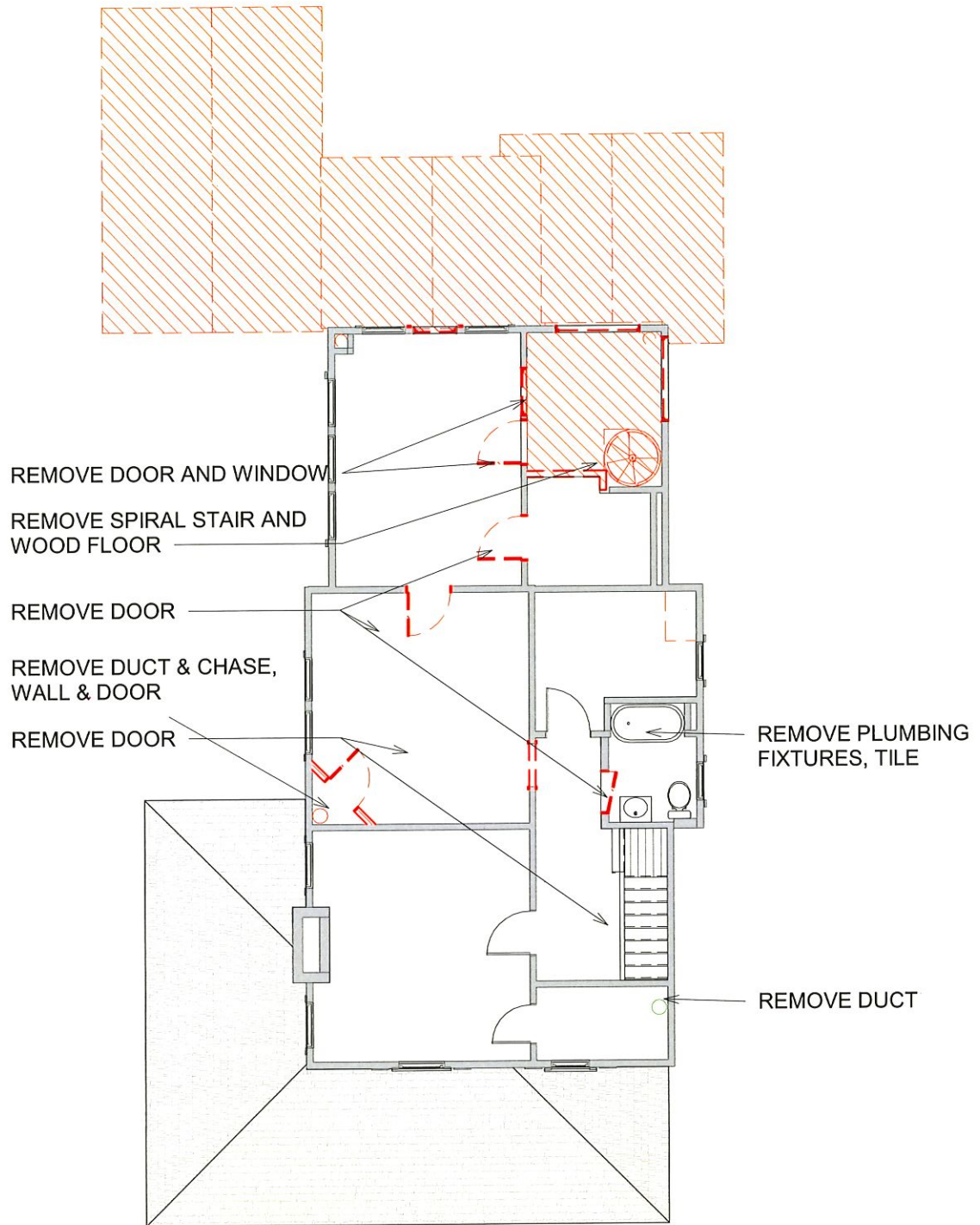
① DEMOLITION FLOOR PLAN  
3/32" = 1'-0"

08/13/19

COA-3.1

**M**  
MAURER  
architecture  
919 829 4969

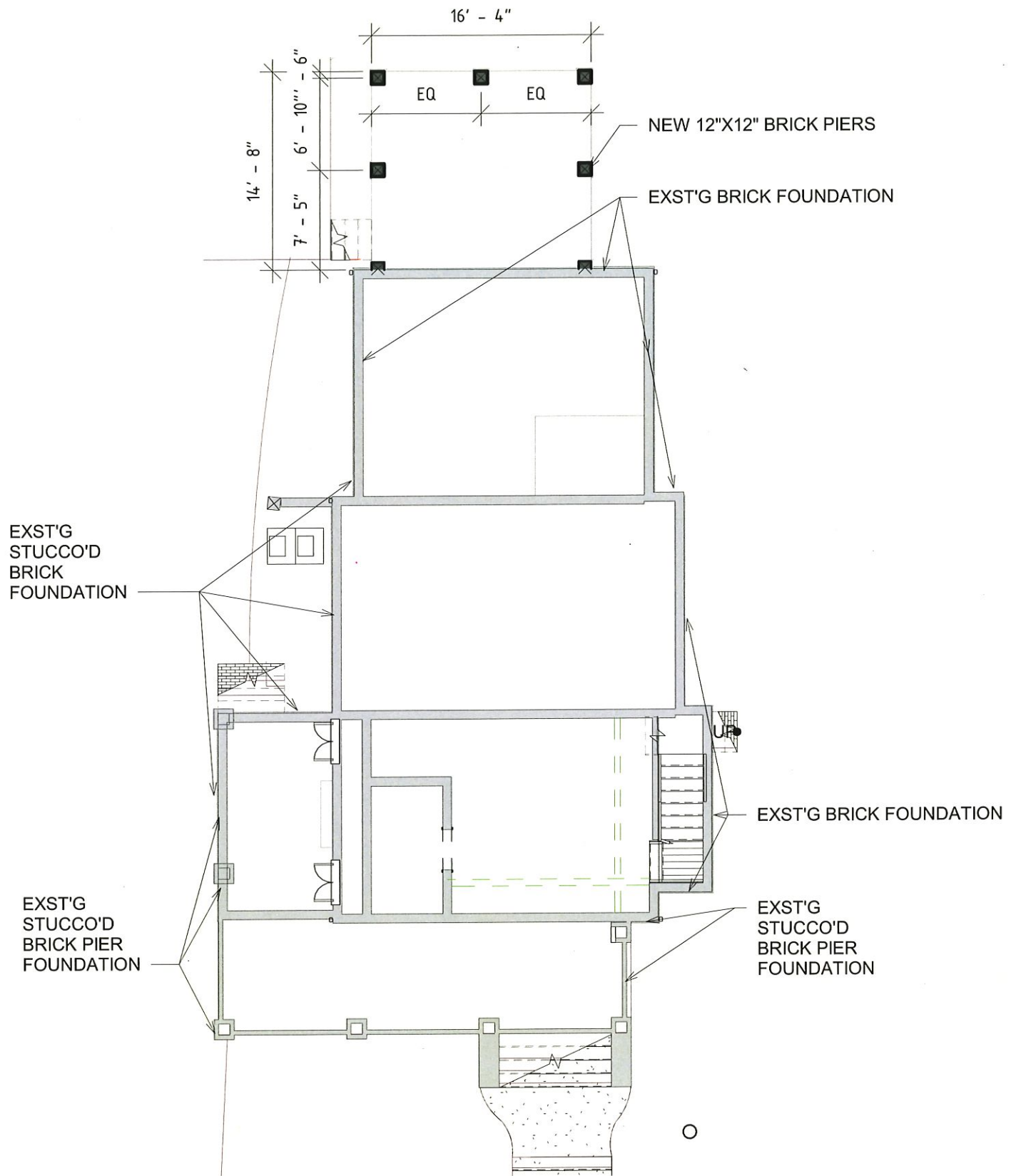




① DEMOLITION SECOND FLOOR  
 $3/32" = 1'-0"$

08/13/19

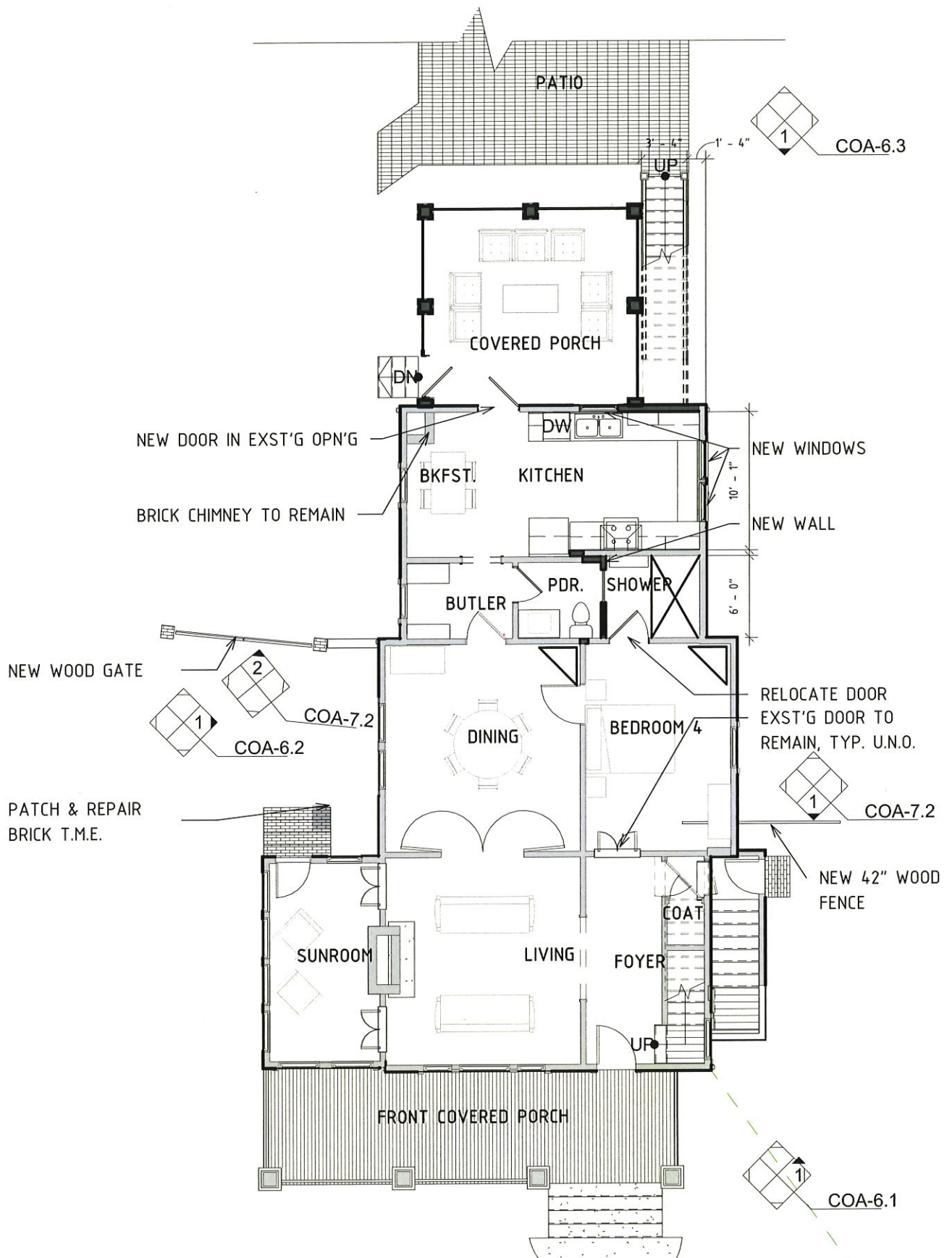
COA-3.2



1 PROPOSED FDN. PLAN- COA  
1" = 10'-0"

COA-4.1

08/13/19

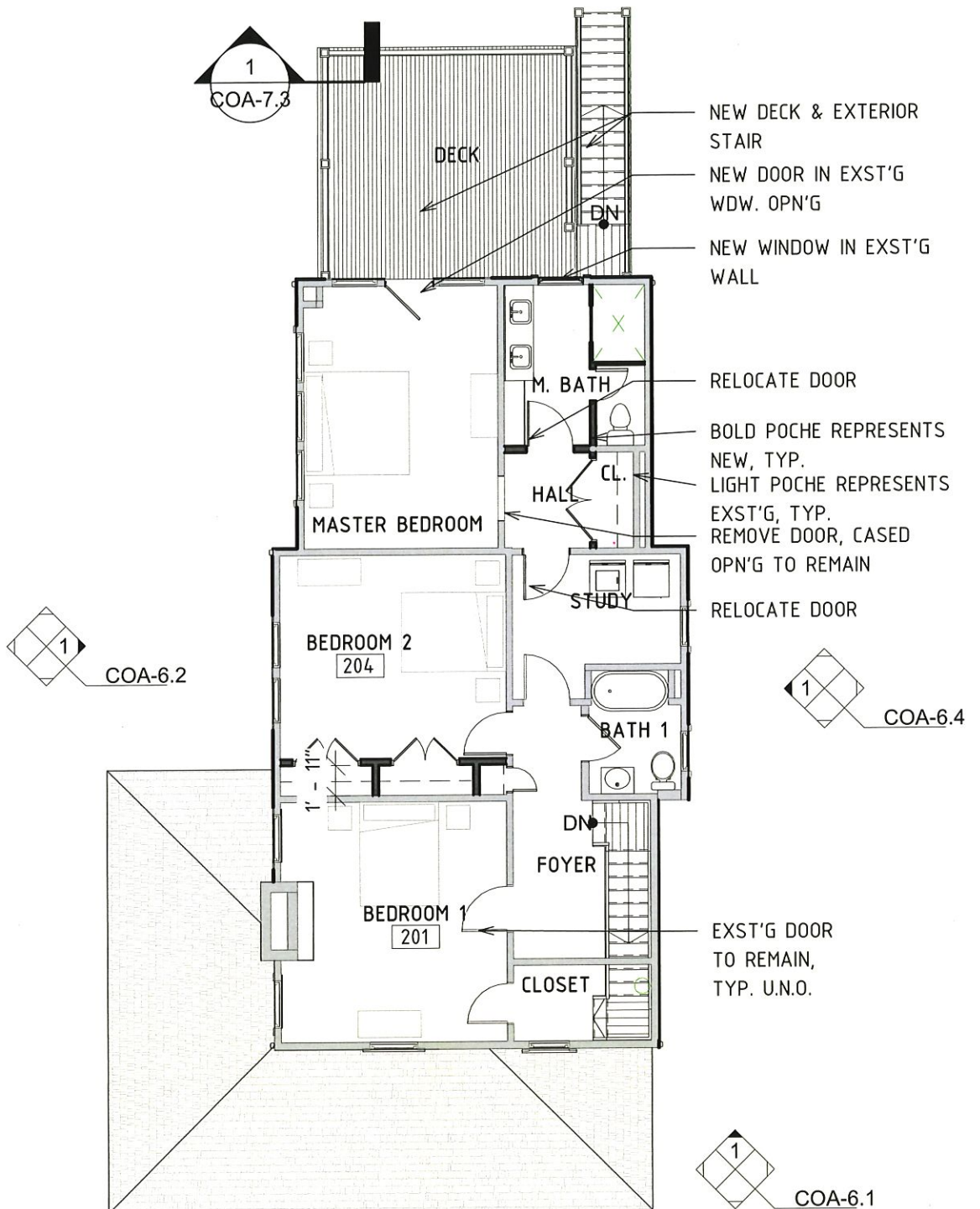


1 PROPOSED FIRST FLOOR PLAN -COA  
1" = 10'-0"

COA-4.2

08/13/19

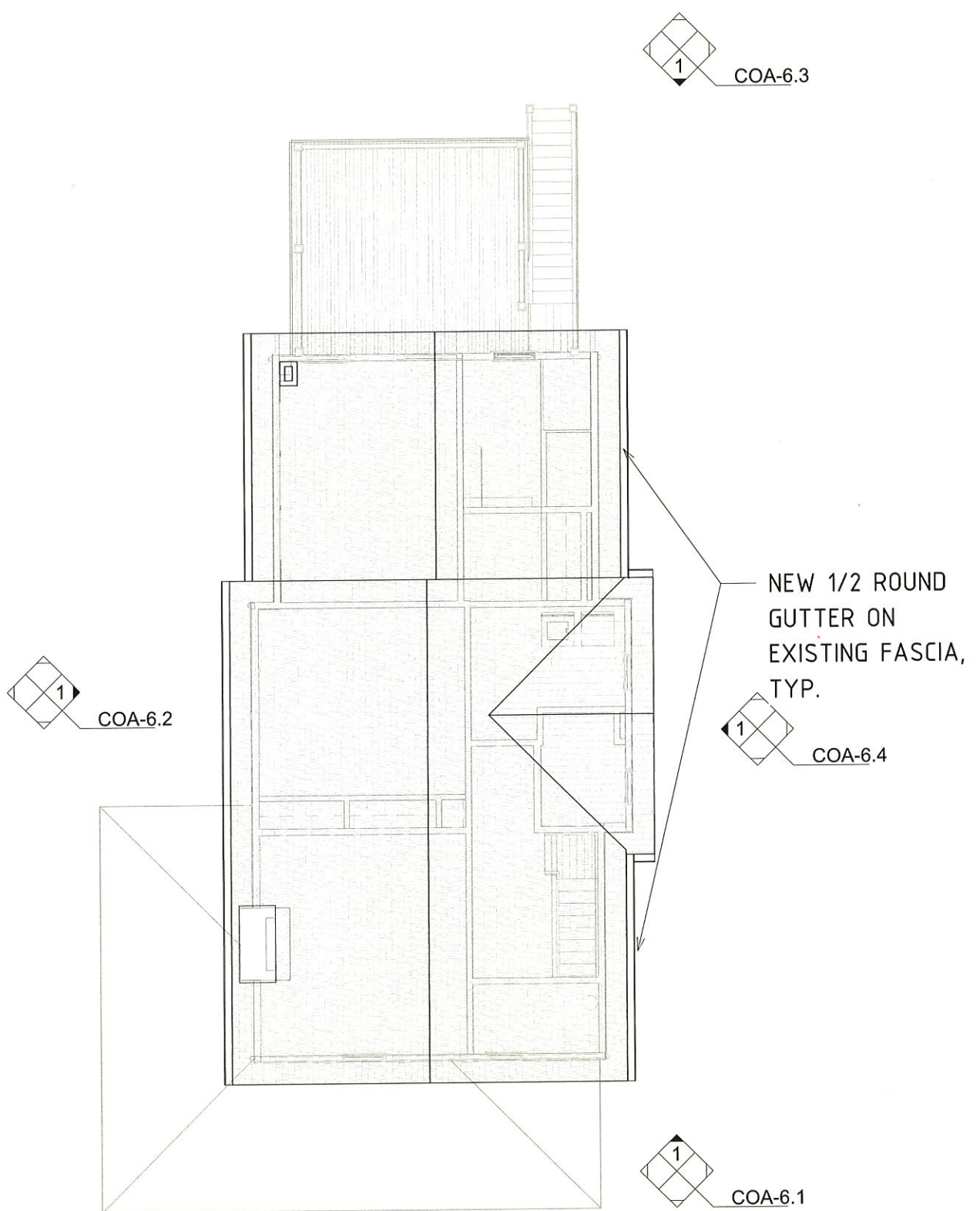




① PROPOSED SECOND FLR. PLAN - COA  
1" = 10'-0"

COA-4.3

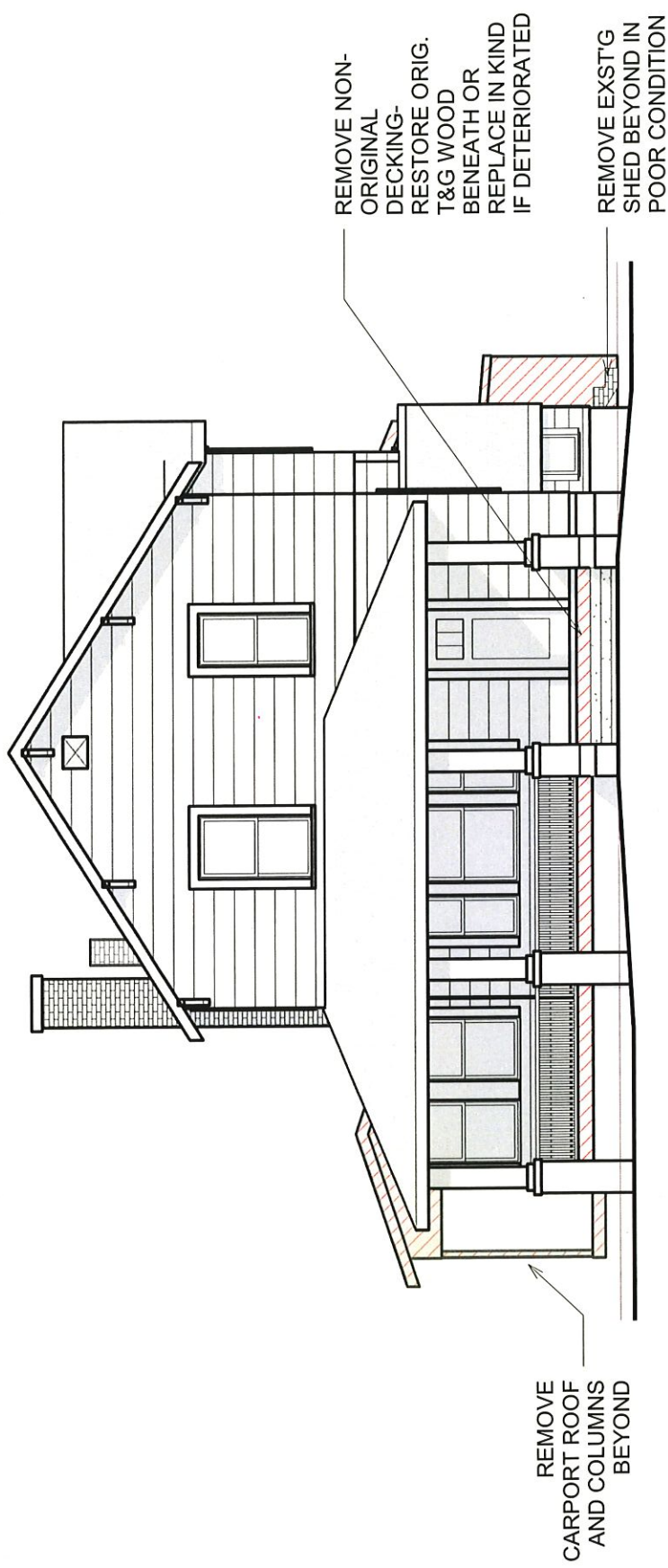
08/13/19



① PROPOSED ROOF PLAN- COA  
1" = 10'-0"

08/13/19

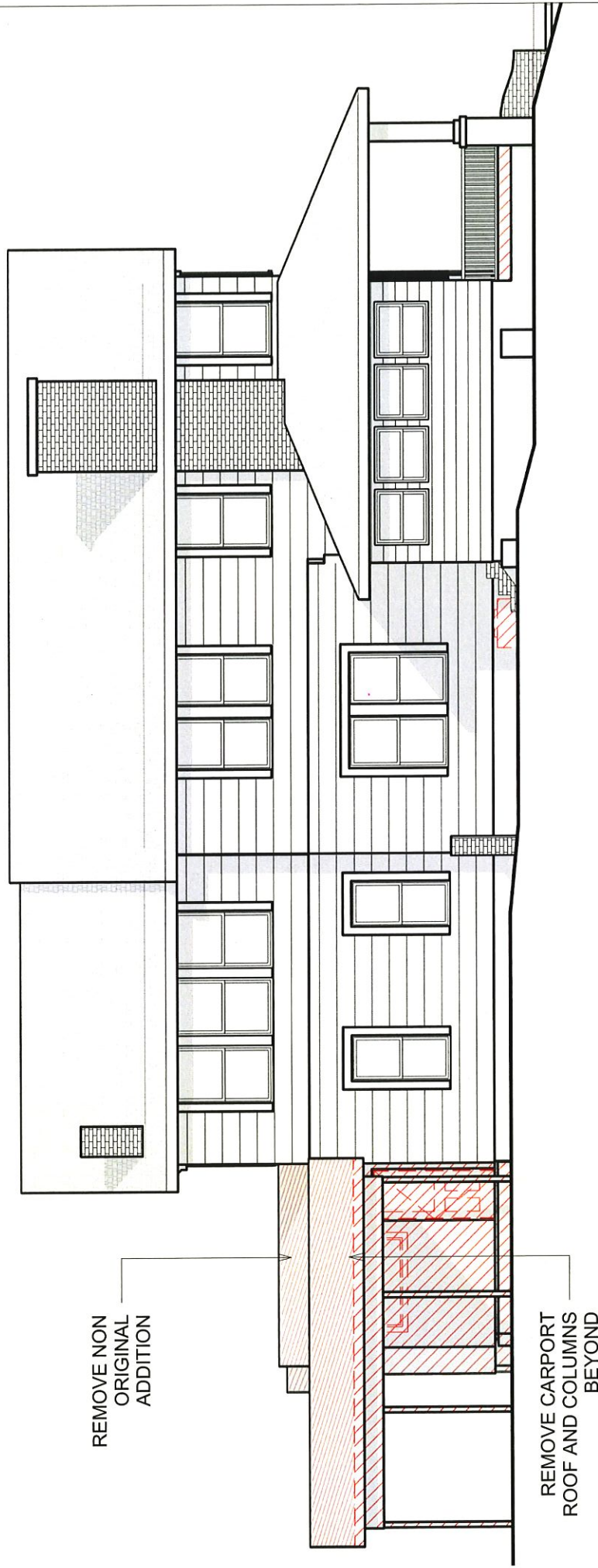
COA-4.4



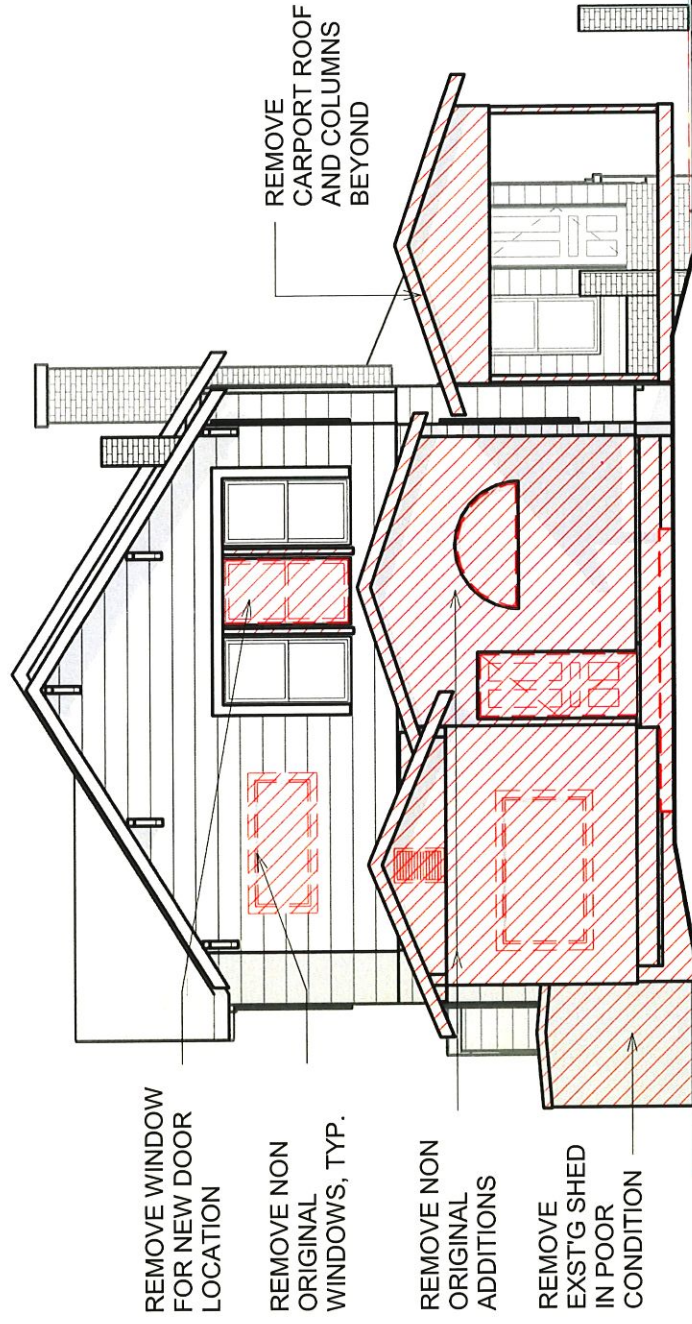
1 FRONT ELEVATION- DEMOLITION

1/8" = 1'-0"





1 LEFT ELEVATION - DEMOLITION  
1/8" = 1'-0"



1 REAR ELEVATION- DEMOLITION

1/8" = 1'-0"

COA-5.3

08/13/19



REMOVE  
CARPORT ROOF  
AND COLUMNS  
BEYOND

REMOVE NON  
ORIGINAL  
WINDOWS, TYP.

REMOVE NON  
ORIGINAL  
ADDITION

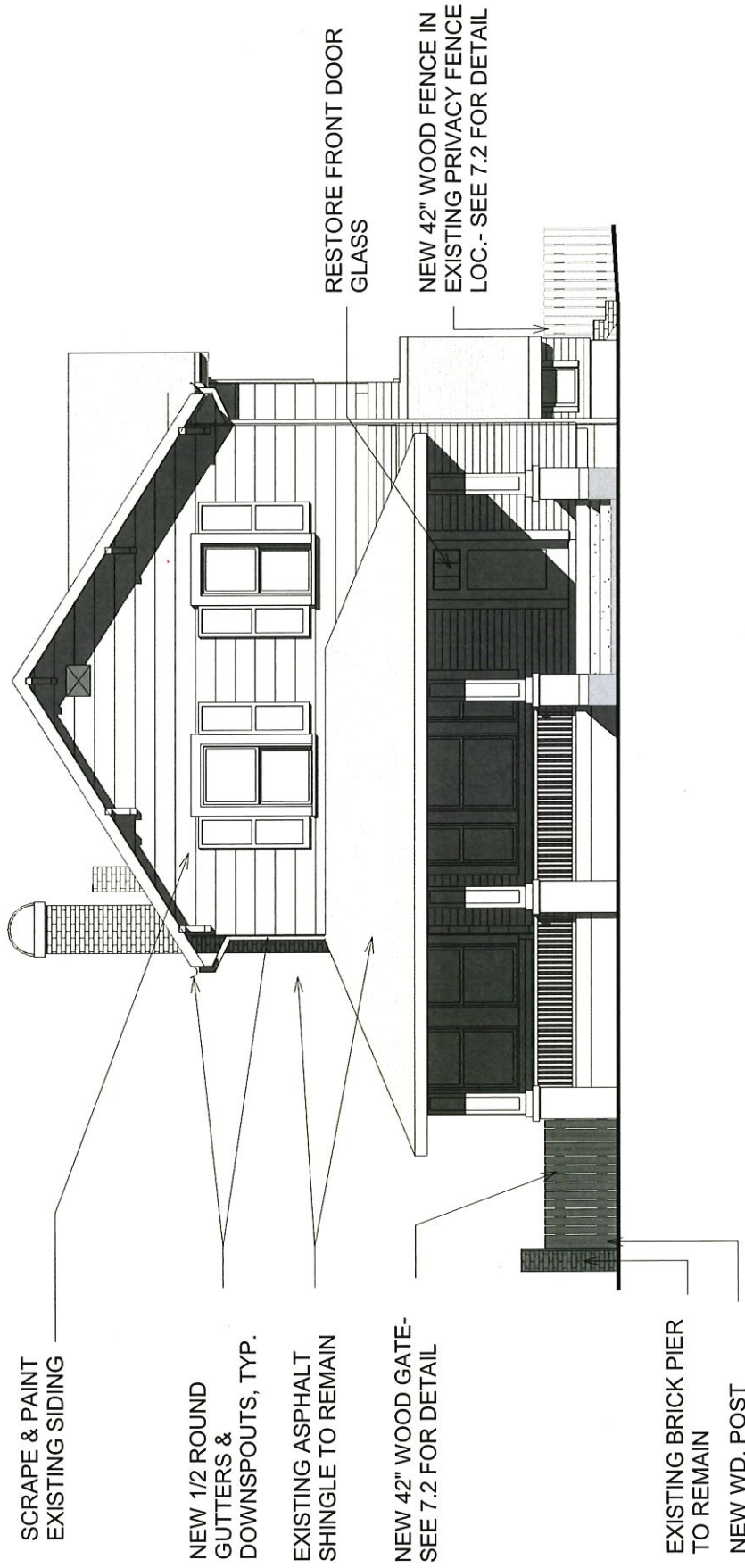
REMOVE EXST'G  
SHED IN POOR  
CONDITION

1 RIGHT ELEVATION - DEMOLITION  
1/8" = 1'-0"

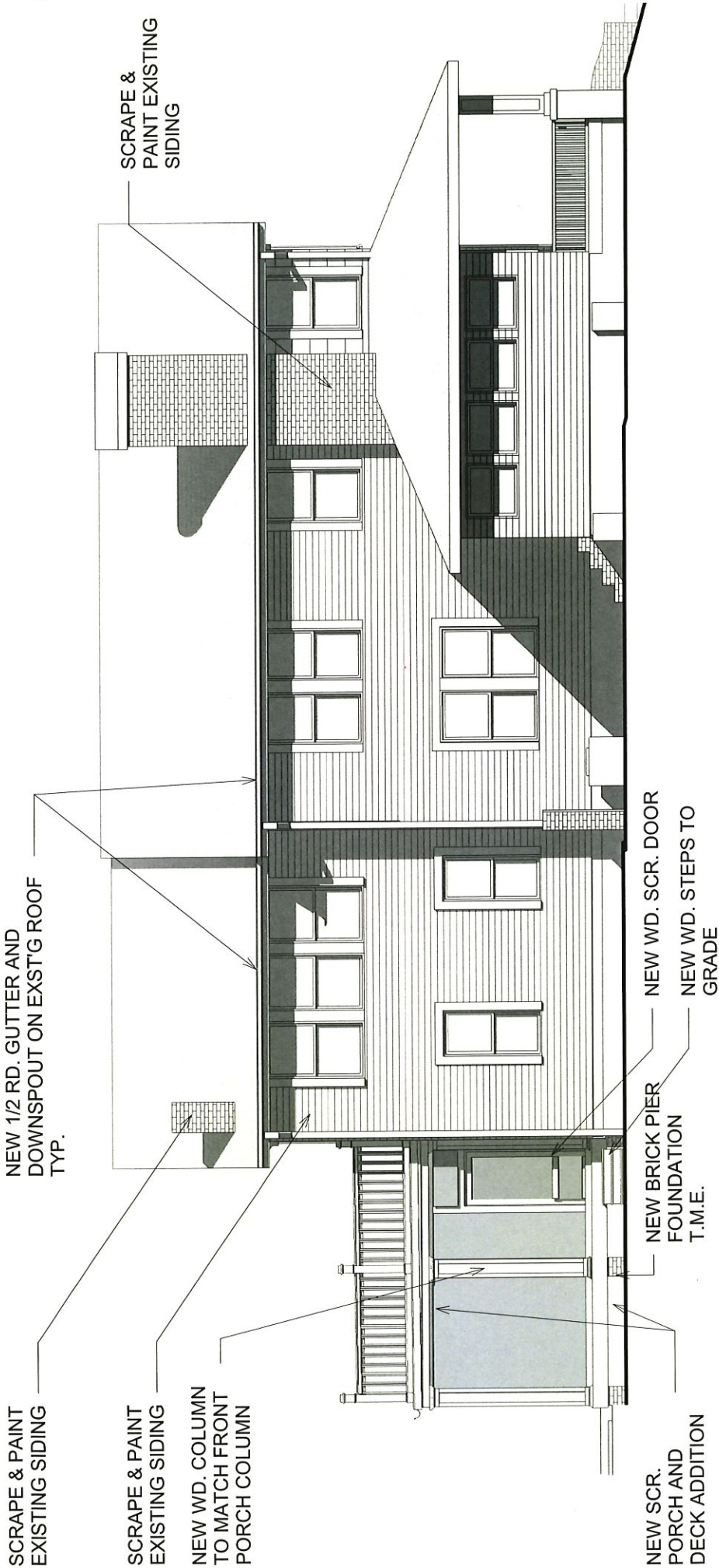
**MA**  
MAURER  
architecture  
919 829 4969

COA-5.4

08/13/19



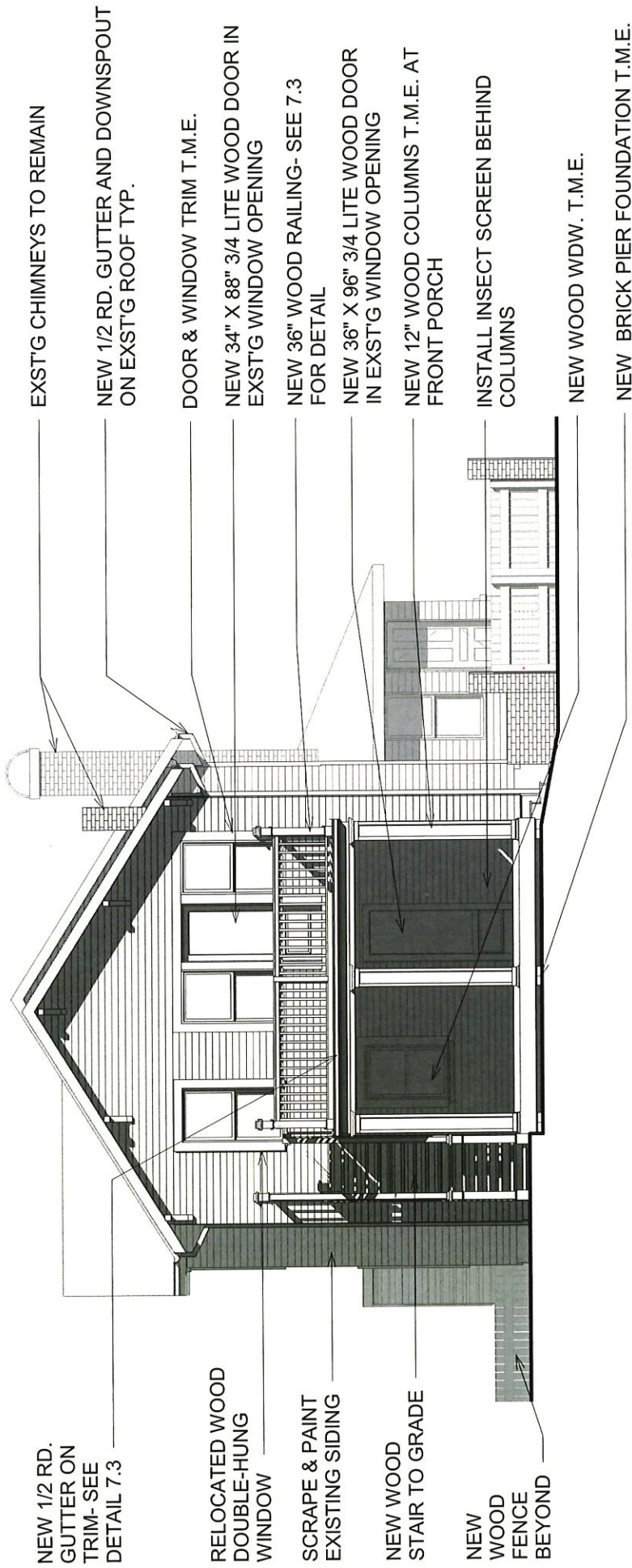
1 FRONT ELEVATION- PROPOSED  
1/8" = 1'-0"



1 LEFT ELEVATION - PROPOSED

1/8" = 1'-0"



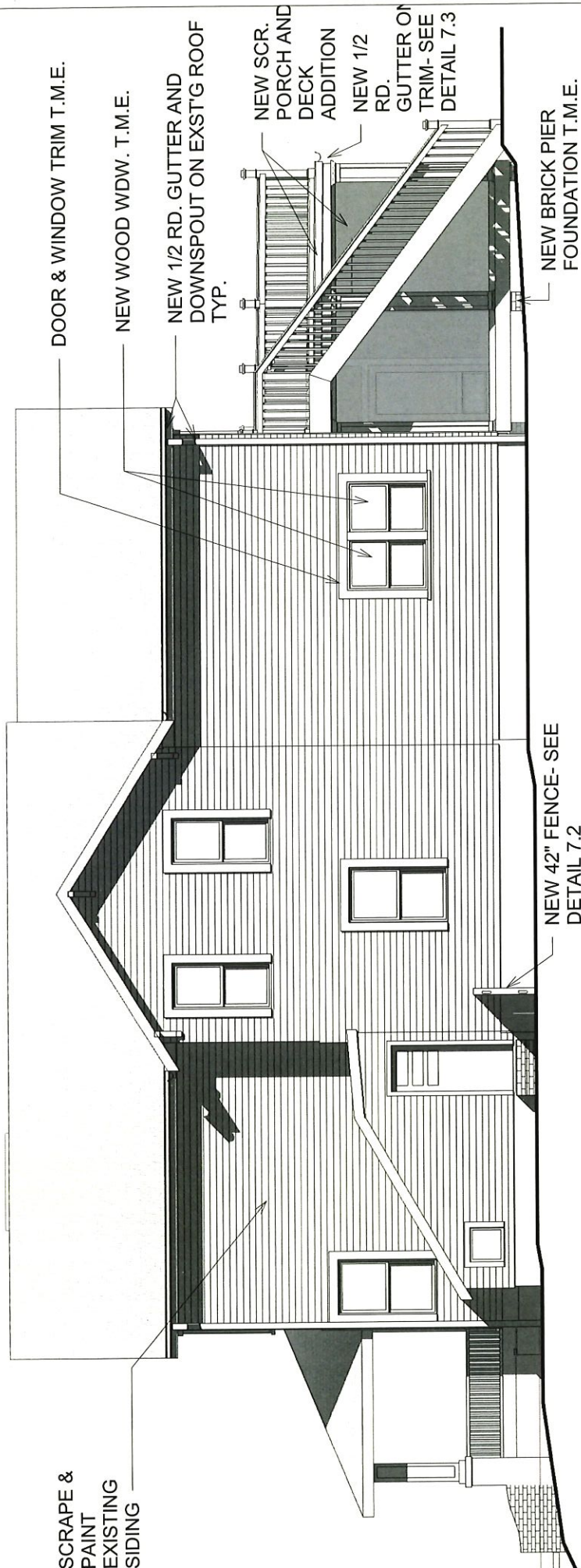


1 REAR ELEVATION- PROPOSED

1/8" = 1'-0"

COA-6.3

08/29/19



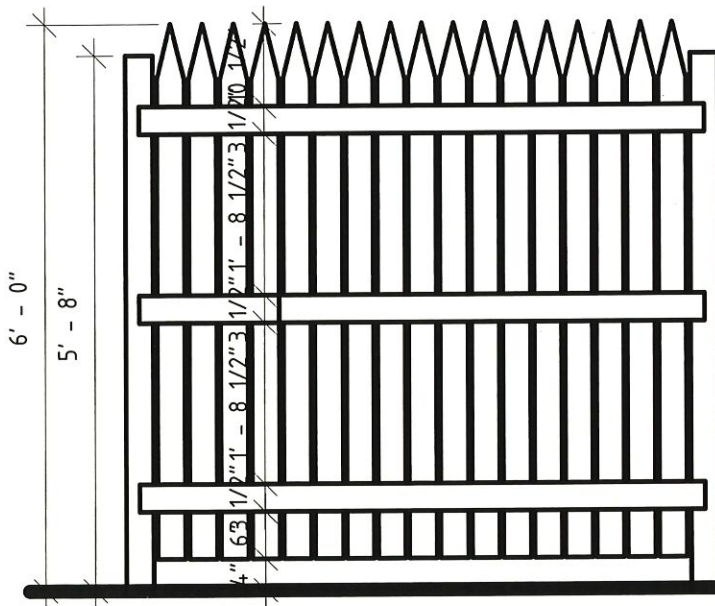
1 RIGHT ELEVATION - PROPOSED

1/8" = 1'-0"

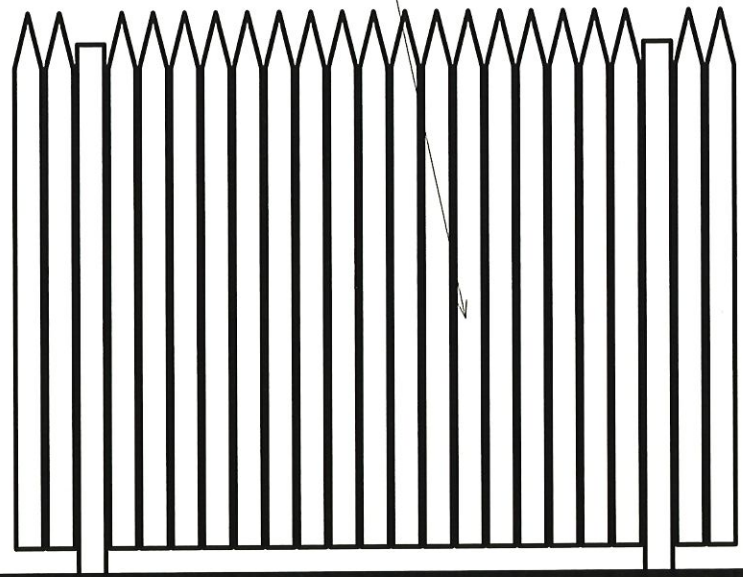




NEW PRIVACY FENCE  
TO MATCH EXISTING  
DETERIOATED  
PRIVACY FENCE IN  
MATERIAL, SCALE AND  
PROPORTION.



BACK SIDE FACING PROPERTY



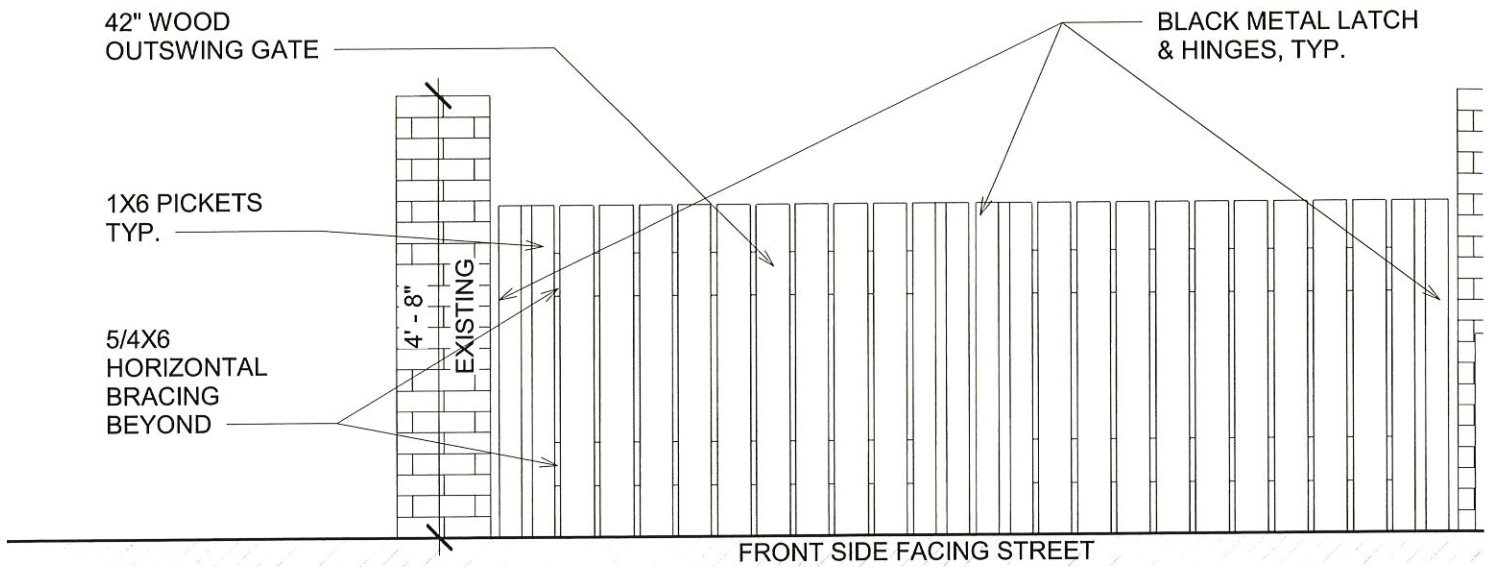
FRONT SIDE FACING NEIGHBORING PROPERTY

① PRIVACY FENCE DETAIL  
1/2" = 1'-0"

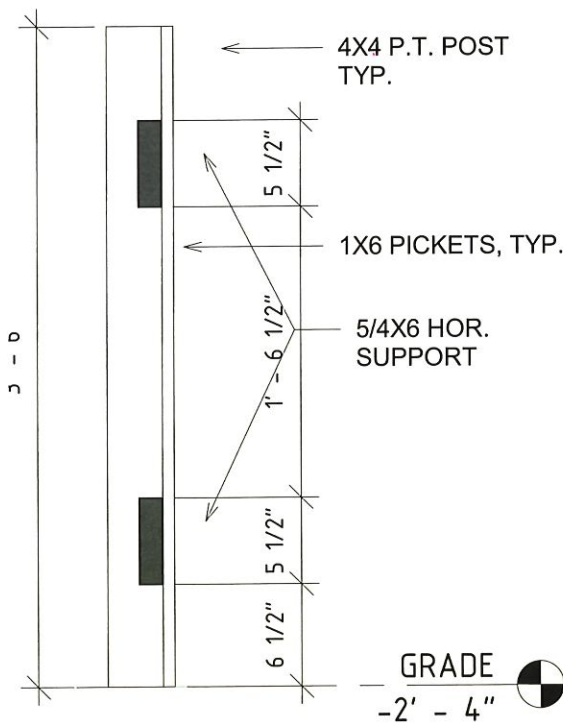
08/29/19

COA-7.1

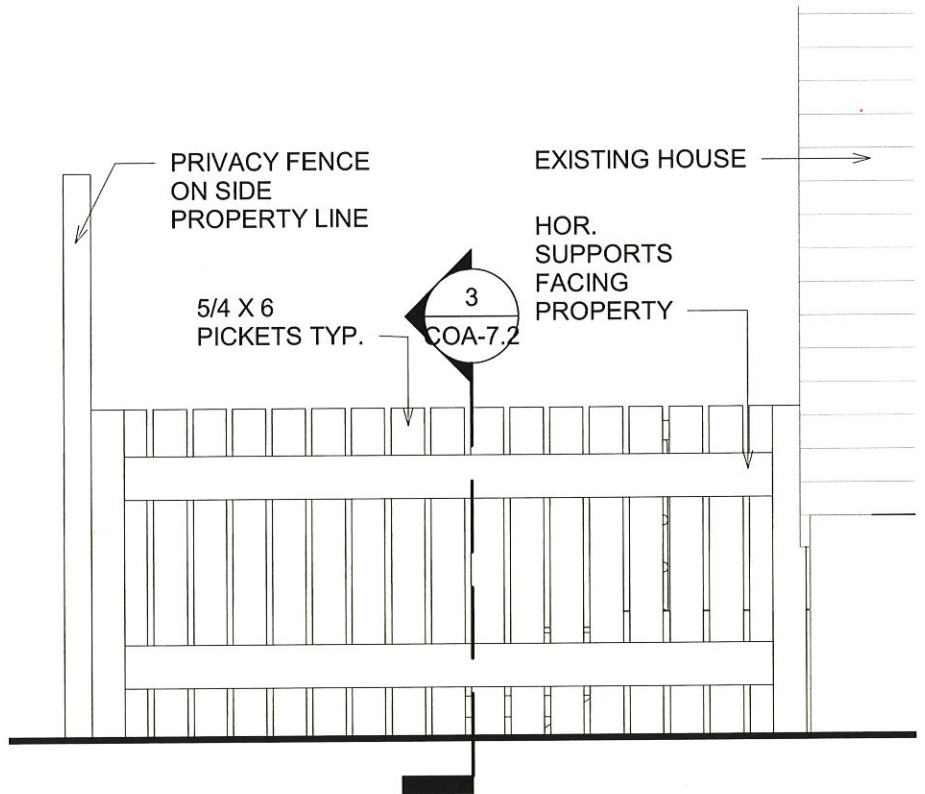




② 42" GATE DETAIL  
1/2" = 1'-0"



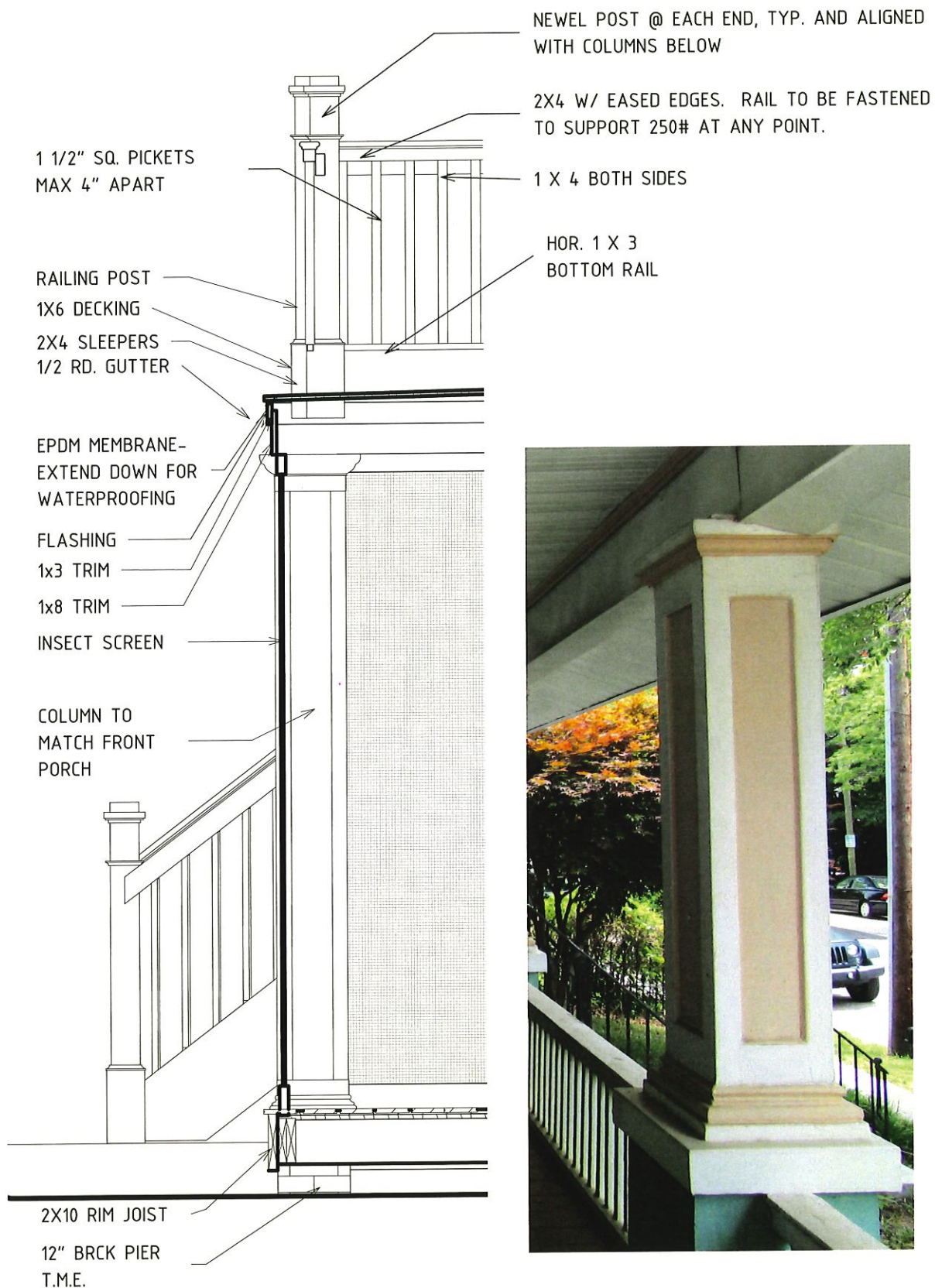
③ 42" FENCE SECTION  
1" = 1'-0"



① 42" FENCE DETAIL  
1/2" = 1'-0"

08/29/19

COA-7.2

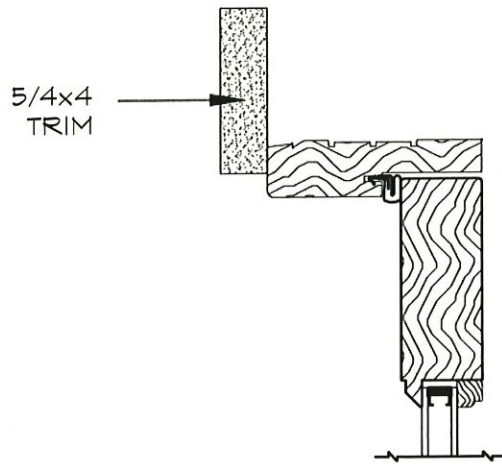


## Section 5 - COLUMN & RAILING DETAIL

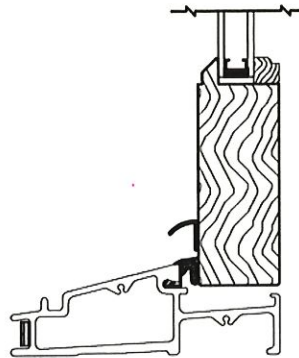
SCALE: 1/2" = 1'-0"

COA-7.3

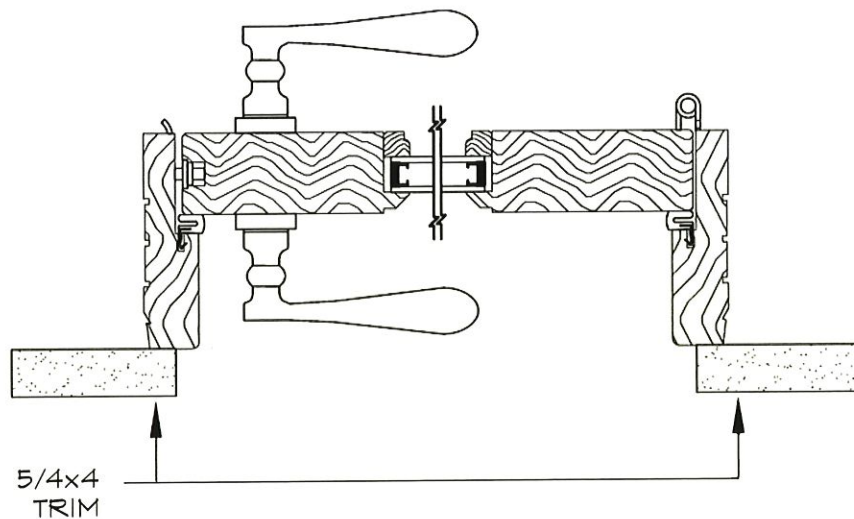
08/29/19



TYPICAL HEAD DETAIL - DOOR.



TYPICAL SILL DETAIL - DOOR.

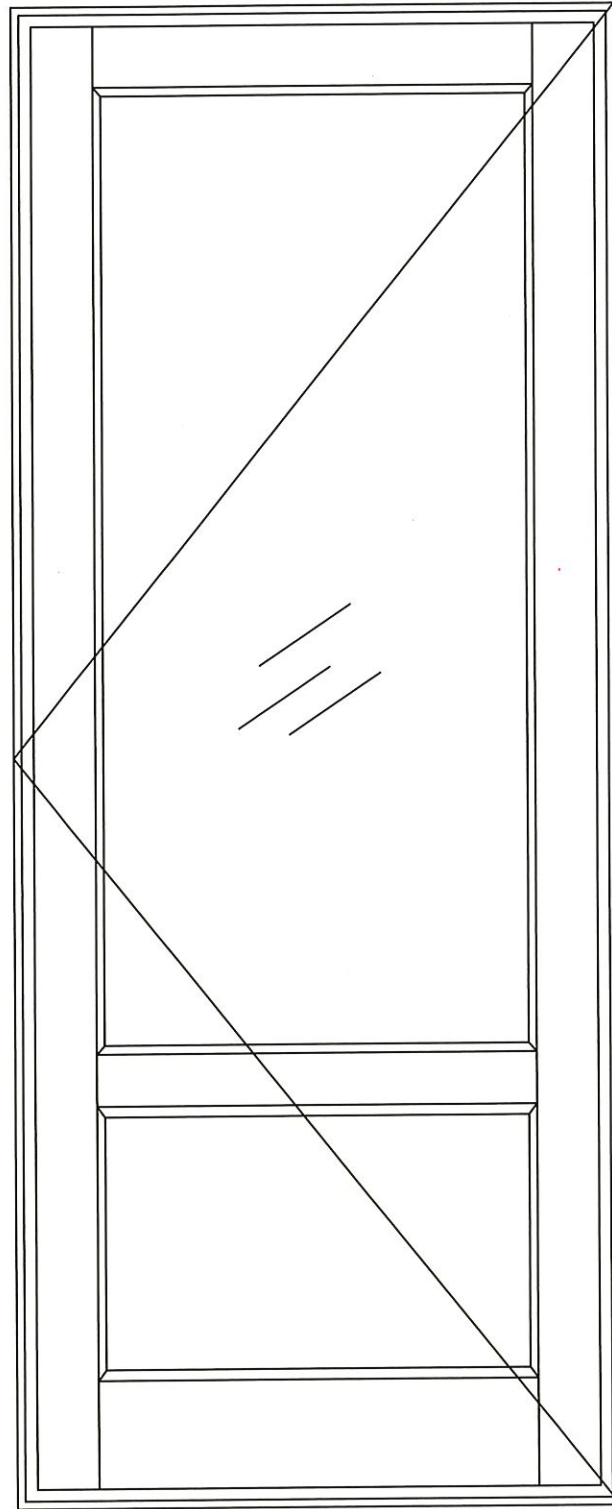


TYPICAL JAMB DETAIL - DOOR.

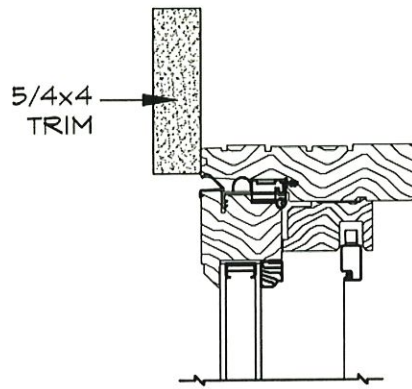
213 E. CABARRUS STREET  
PROPOSED DOOR DETAILS

SCALE: 3" = 1'-0"

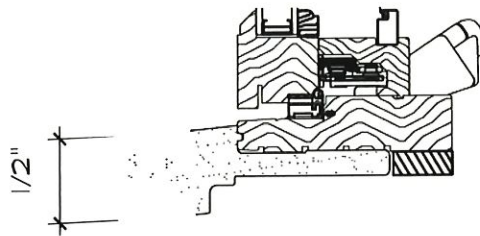




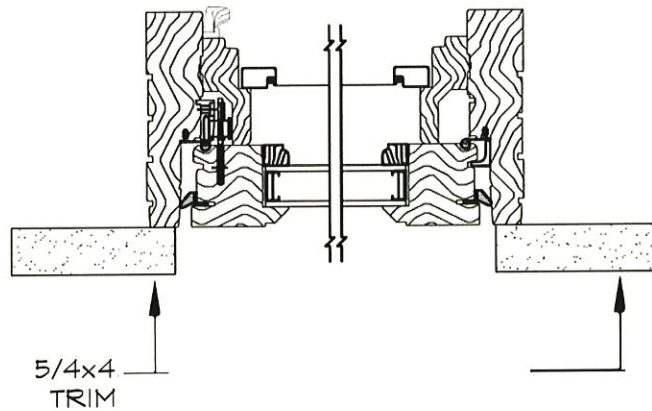
SIERRA PACIFIC WOOD DOOR  
1"=1'-0"



TYPICAL HEAD DETAIL - WINDOW



TYPICAL SILL DETAIL - WINDOW

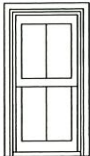
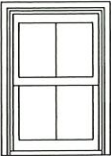
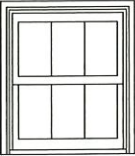
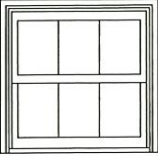
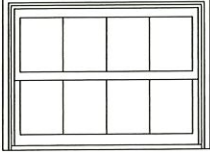
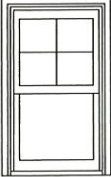
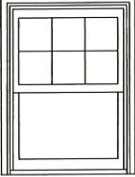
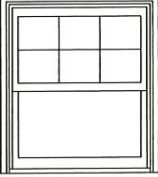
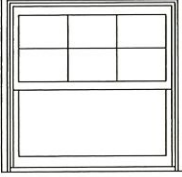
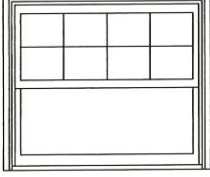
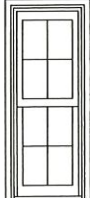
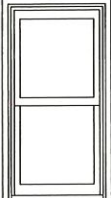
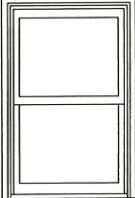
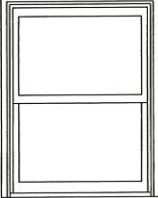
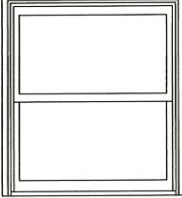
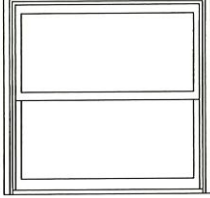
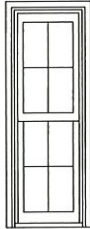
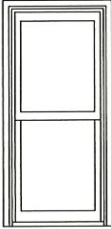
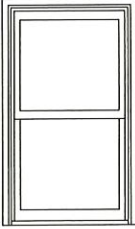
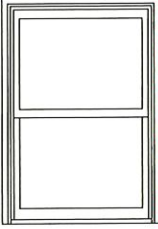
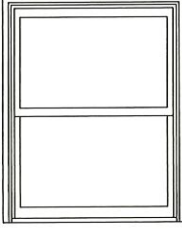
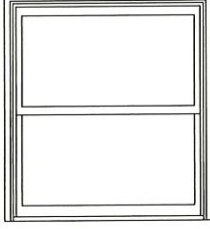
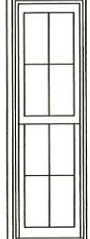
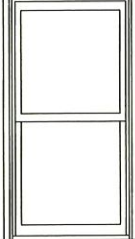
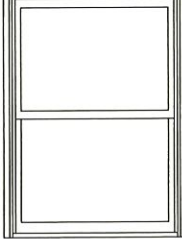


TYPICAL JAMB DETAIL - WINDOW

213 E. CABARRUS STREET  
 PROPOSED WINDOW  
 DETAILS SCALE: 3" = 1'-0"

# Wood Carmel Double Hung

Scale: 1/4" = 1'-0"

ROUGH OPENING FRAME SIZE	GLASS SIZE					
	18 3/4"	24 3/4"	30 3/4"	36 3/4"	42 3/4"	48 3/4"
	18"	24"	30"	36"	42"	48"
GLASS SIZE	13 1/8"	19 1/8"	25 1/8"	31 1/8"	37 1/8"	43 1/8"
	14 1/8"	17 1/8"	20 1/8"	23 1/8"	26 1/8"	
36 3/4"						
42 3/4"						
48 3/4"						
54 3/4"						
60 3/4"						
	DHC-1836	DHC-2436	DHC-3036	DHC-3636	DHC-4236	DHC-4836
	DHC-1842	DHC-2442	DHC-3042	DHC-3642	DHC-4242	DHC-4842
	DHC-1848	DHC-2448	DHC-3048	DHC-3648	DHC-4248	DHC-4848
	DHC-1854	DHC-2454	DHC-3054	DHC-3654	DHC-4254	DHC-4854
	DHC-1860	DHC-2460	DHC-3060	DHC-3660*	DHC-4260*	DHC-4860*

\* Review for Egress. Refer to the "Egress Information Chart" PDF file.



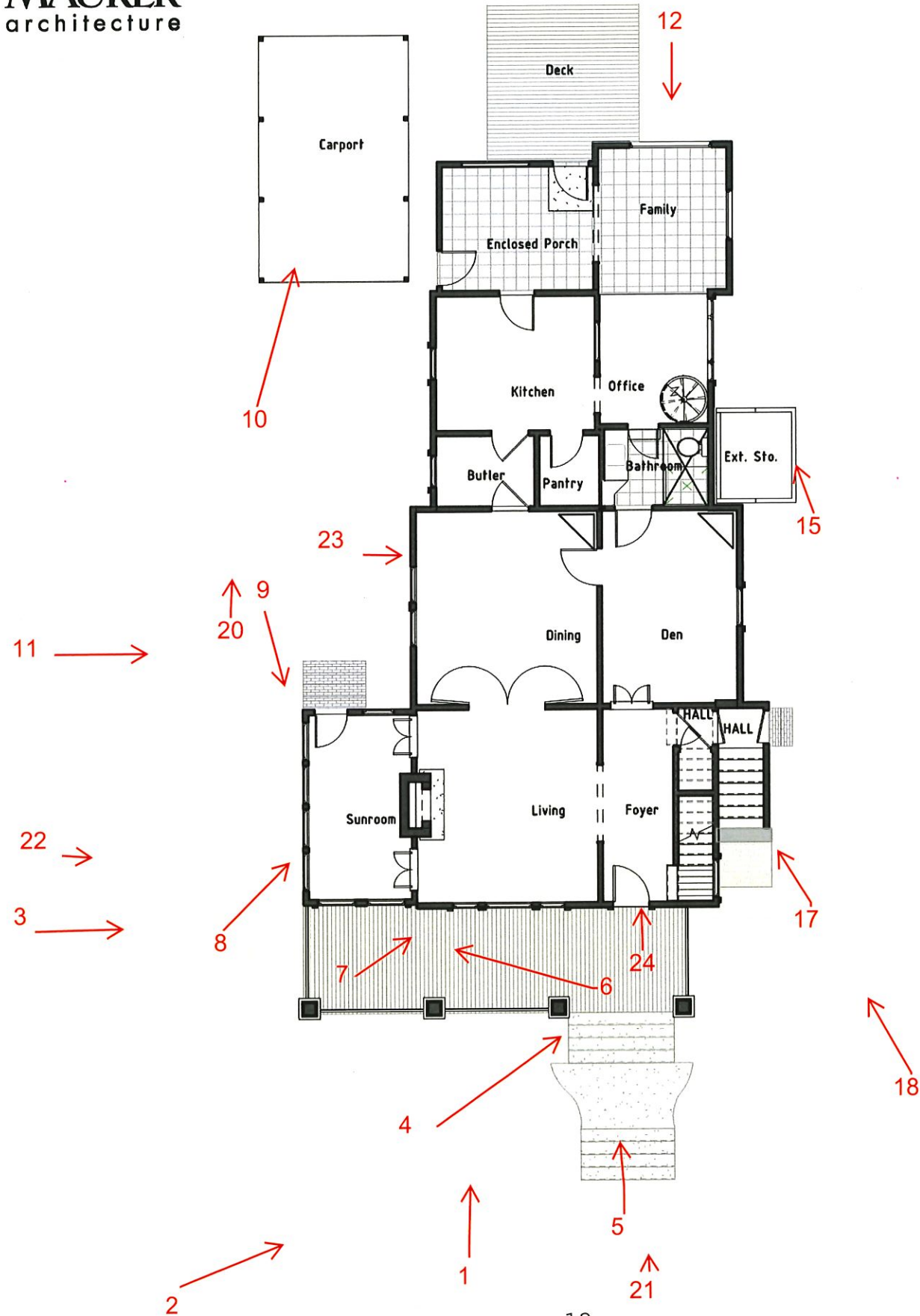
www.sierrapacificwindows.com  
800-824-7744

Updated: 7/14

Note: Sierra Pacific Windows reserves the right to change specifications without notice.



**PHOTO KEY- EXTERIOR**



**EXTERIOR PHOTOGRAPHS**

**1**  
**FRONT**  
**ELEVATION**



**2**  
**FRONT**  
**STREETSCAPE**  
**CABARRUS**  
**ST.**





**3**  
**LEFT**  
**ELEVATION**



**4**  
**FRONT**  
**PORCH**





**5**  
**FRONT**  
**ELEVATION**



**6**  
**FRONT**  
**PORCH**





7  
FRONT  
PORCH  
CEILING-  
ORIGINAL  
ADDITION



8  
LEFT  
ELEVATION  
- ORIGINAL  
ADDITION





9  
REAR OF  
ORIG.  
ADDITION @  
LEFT/WEST  
ELEVATION



10  
NON  
ORIGINAL  
CARPORT





**11**  
**WEST/LEFT**  
**ELEVATION**



**12**  
**REAR/**  
**NORTH**  
**ELEVATION**





**13**  
**REAR**  
**ELEVATION**



**14**  
**REAR**  
**ELEVATION**





15  
SHED TO BE  
REMOVED ON  
EAST/RIGHT  
SIDE



16  
REAR YARD





17  
RIGHT/EAST  
ELEVATION



18 RIGHT  
ELEVATION



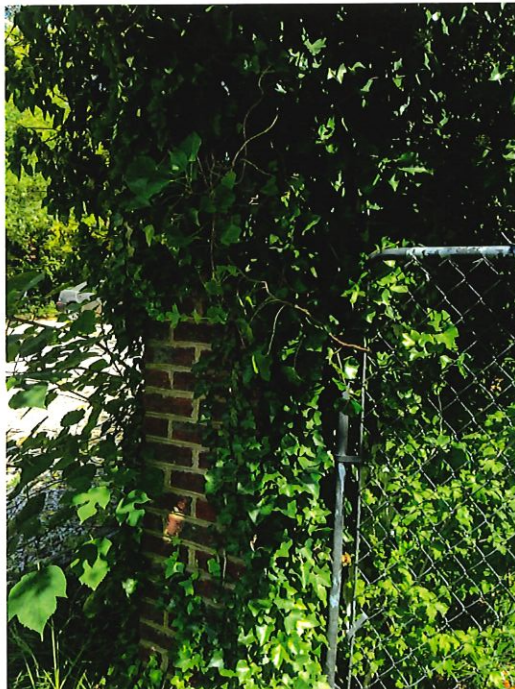


**EXTERIOR PHOTOGRAPHS**

19  
EXISTING  
6' PRIVACY  
FENCE TO  
BE REMOVED  
AND  
REBUILT  
T.M.E.



20  
BRICK PIER  
FENCE  
POSTS WITH  
CHAIN LINK  
GATE OVER  
DRIVE,  
OVERGROWN  
WEEDS





21  
ORIGINAL  
STONE  
MARKER AT  
STREET



22  
VIEW FROM  
NEIGHBORS  
LOT OF  
CHAIN  
LINK AND  
VINYL  
FENCE TO  
BE  
REMOVED





23  
ORIGINAL  
WOOD  
SIDING AND  
TRIM

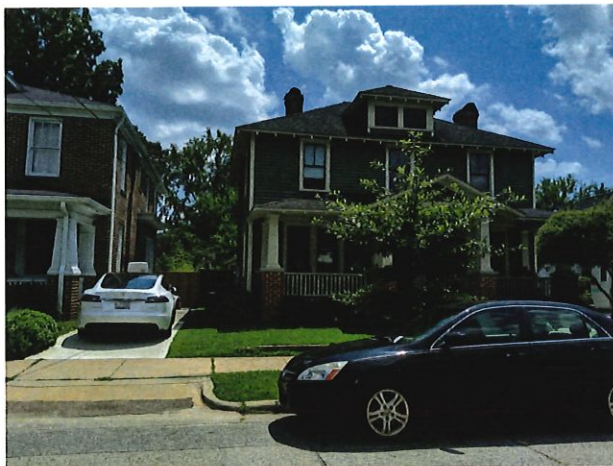


24  
EXISTING  
FRONT DOOR





**EXAMPLES OF WOOD GATES IN DISTRICT:**



325 E. CABARRUS



217 SOUTH ST.



312 E CABARRUS



211 SOUTH ST.