



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Replace roof covering; remove deck and planters; install brick pavers; construct site wall

321 E Lane St

Address

Oakwood

Historic District

Historic Property

COA-0101-2025

Certificate Number

8/1/2025

Date of Issue

2/1/2026

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

A handwritten signature in black ink, appearing to read "Collette K.", is written over a horizontal line.

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name:

Mailing address:

City:

State:

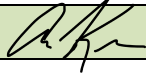
Zip code:

Date:

Daytime phone #:

Email address:

Applicant signature:



Minor work (staff review) – one copy

Major work (COA committee review) – ten copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of approval

Office Use Only

Transaction #: _____

File #: **COA-0101-2025**

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address:

Historic district:

Historic property/Landmark name (if applicable):

Owner name:

Owner mailing address:

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address

Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: <u>28, 35, 55, 60</u>
Did you consult with staff prior to filing the application? Yes <input type="radio"/> No <input checked="" type="radio"/>	

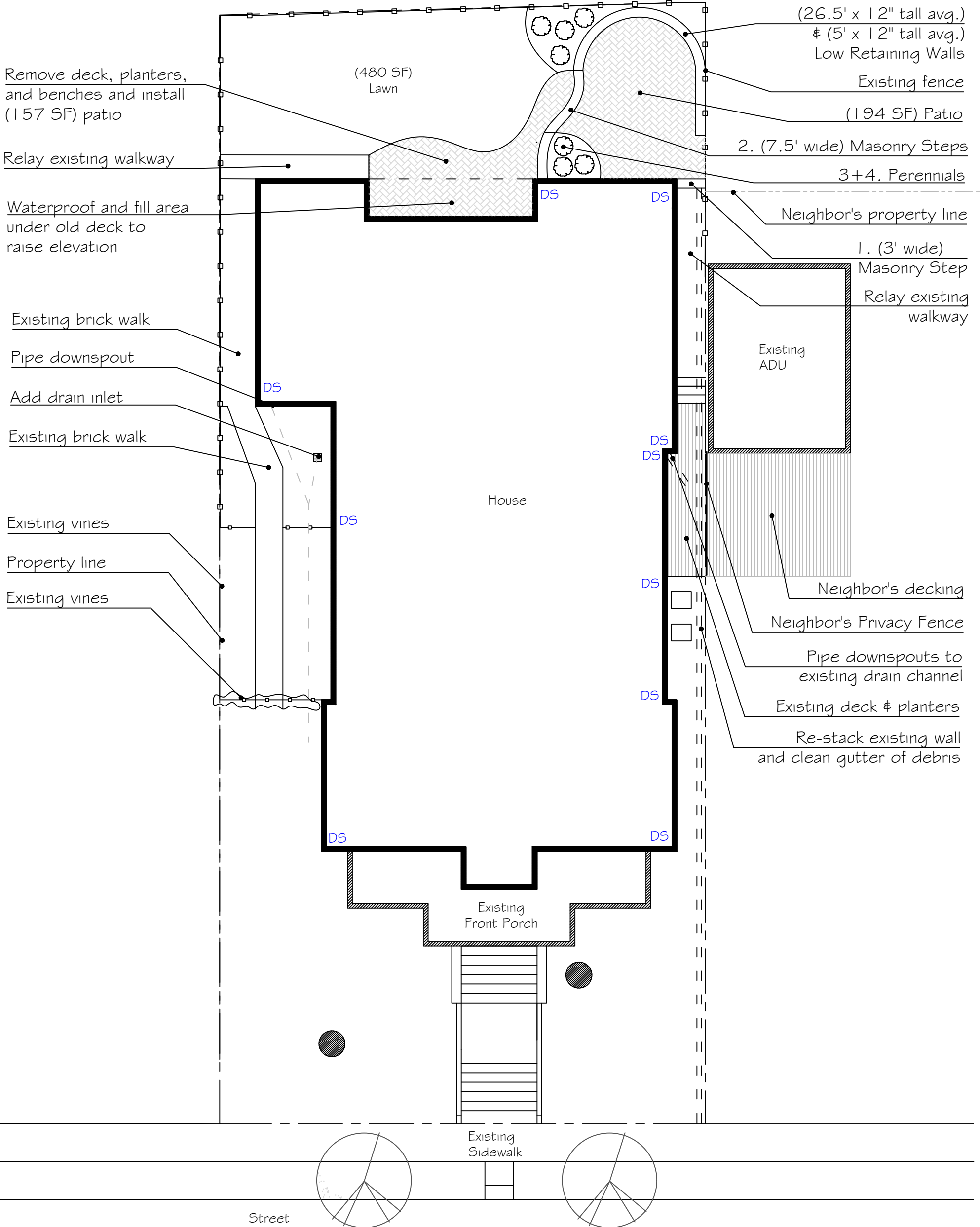
Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
1.4.8	Fences and walls	adding retaining wall/step to make the property accessible
1.3.3	Site features and pla	removing overgrown shrubs in order to remove rotten deck.
1.5.3	walkways, driveway	installing new brick walks/patio to match existing brick walks
2.5/47	Roof	replace roof, change color to driftwood - see documents

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 02/01/2026.

Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Colette K Date 02/01/2025



Landvision Designs, Inc.
 10809 Honeycutt Road
 Raleigh, NC 27614
 www.landvisiondesigns.com
 info@landvisiondesigns.com

Kerkhoff
 321 East Lane Street
 Raleigh, NC 27601
 402-850-4505

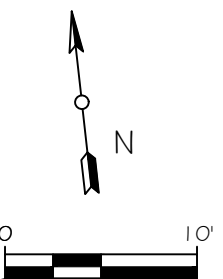
Designer: DJ + MM
 Date: 07.16.2025
 Scale: 1"=10'

Site Information:
 COR Zoning: R-10

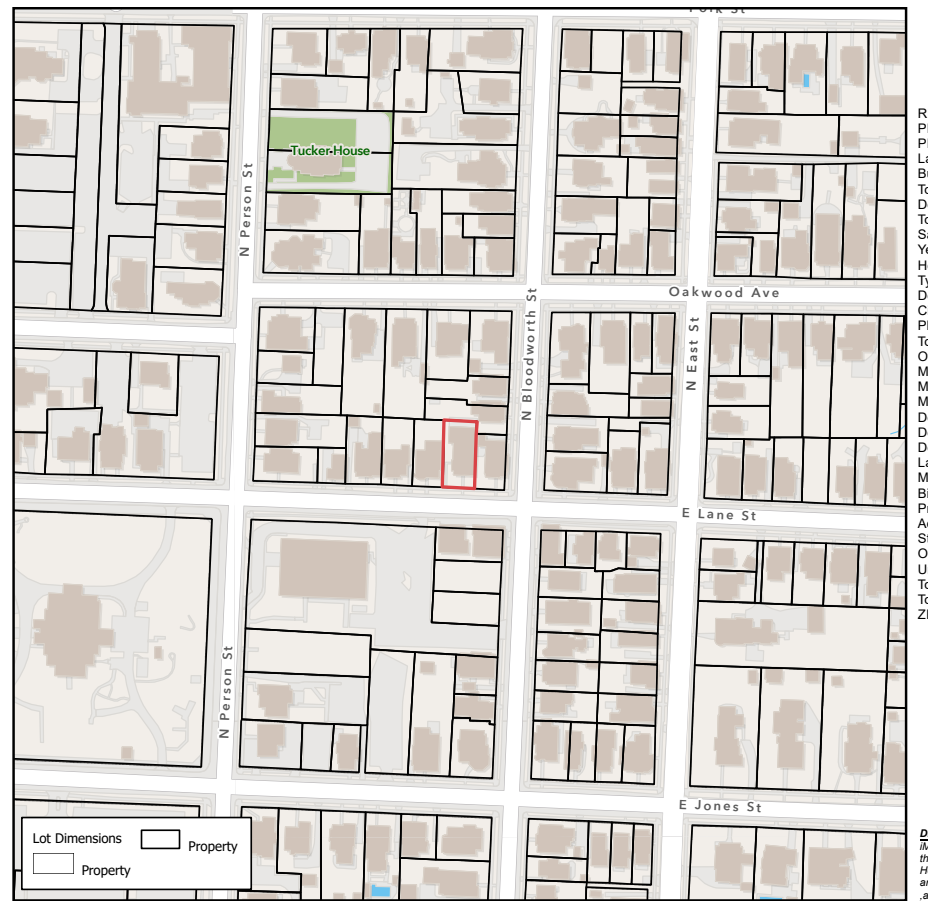
Existing Impervious Surface to Remain:	
- House:	2,736.0 SF
- Front Porch:	224.0 SF
- Front Stairway/Walls:	175.0 SF
- Walkways to remain:	432.0 SF
- Slatted Decks:	0 SF
- A/C Units:	8.0 SF
Proposed Impervious Surface:	
- P. Patios/walls:	315.0 SF
(69 SF of patio under roofline)	
Total Proposed:	3,890.0 SF
Lot Size:	6,098.4 SF
Total Percentage:	63.78%
MISA: 65% + 400 SF=	4,363.96

Concept for budgeting purposes only.
 Not for construction.
 LVD © 2025

Sheet Information:



CERTIFICATE OF APPROPRIATENESS APPLICATION: 321 E LANE STREET

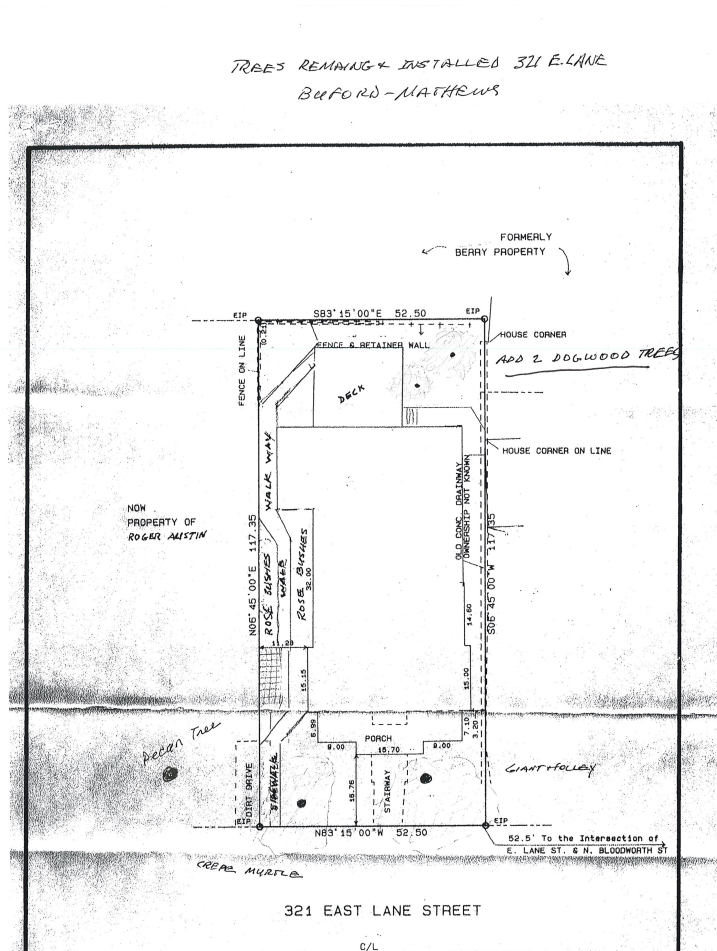


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CERTIFICATE OF APPROPRIATENESS APPLICATION: 321 E LANE STREET

TREES REMAINING + INSTALLED 321 E. LANE
BUFORD-MATHEWS



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We are replacing the existing roof, which is over 25 years old, due to water leaks discovered during an inspection. Immediate replacement is necessary to prevent further damage to the home. We will be keeping the same architectural shingle style but are proposing to change the color from terra cotta to Driftwood. We selected the Driftwood color after reviewing available options, as it offers the best match to the home's existing palette while maintaining a period-appropriate appearance.

On the right is a picture of the proposed shingle color.
(reference: [Owens Corning Oakridge – Driftwood](#))

Attached in the following pages are:

- Sample images of the proposed Driftwood color
- Pictures of the existing roof

Owens Corning® Oakridge® Shingles Driftwood



Owens Corning® Oakridge® Shingles Driftwood

Type: Asphalt Shingle

Grade: Architectural

Warranty: Limited Lifetime (for as long as you own your home) with standard 10 year TRU

PROtection® Period

Top Features: Entry-level architectural shingle

Oakridge® laminated shingles provide premium protection and impressive curb appeal. A full double layer in the nailing zone gives Oakridge® Shingles greater integrity and better holding power compared to shingles with single layer wide nail zones. And the warm, inviting look in popular colors provide a step-up from traditional three-tab shingles.

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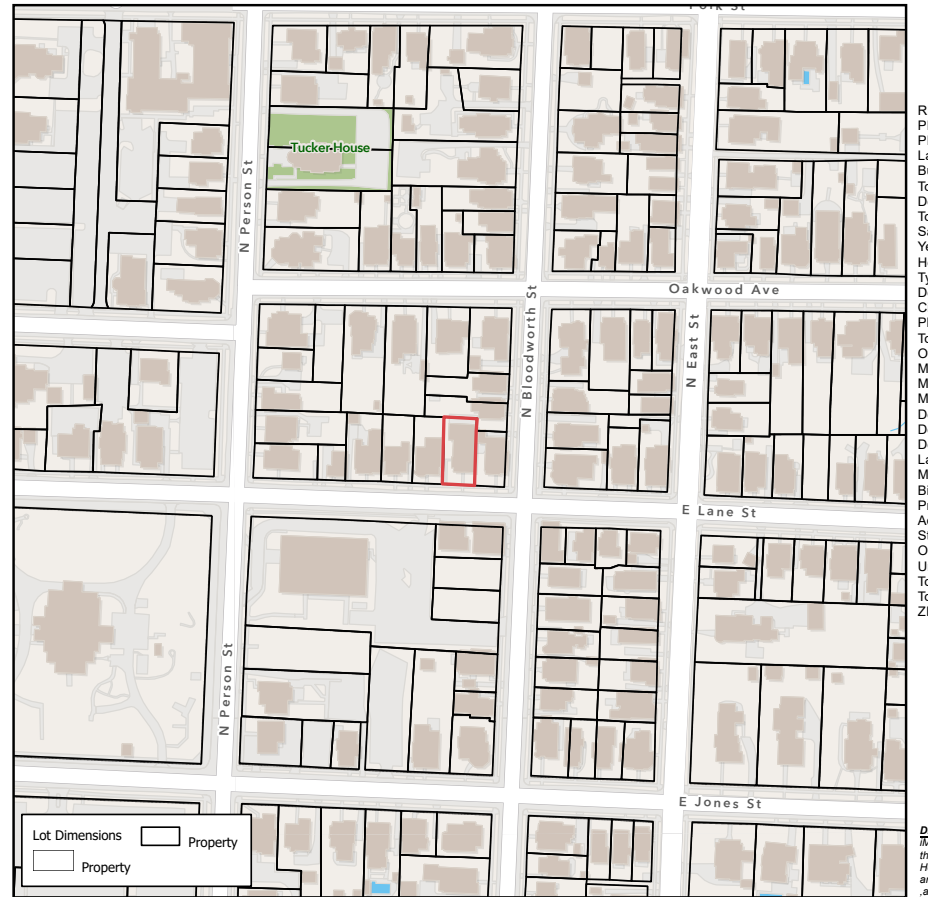
Sample Pictures Of The Proposed Color: Driftwood

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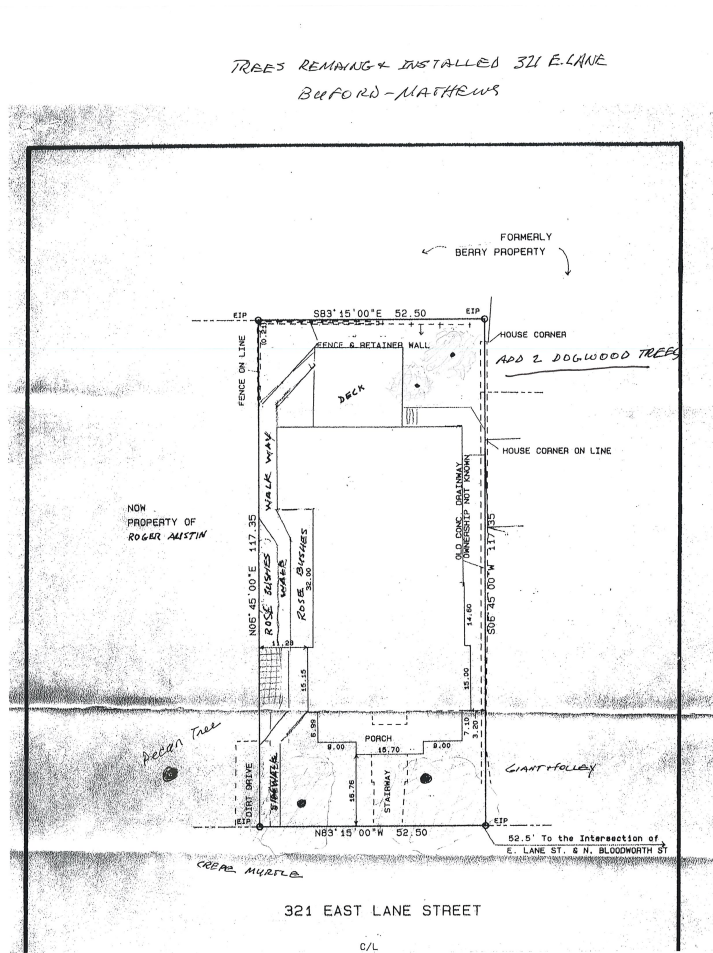
Current Pictures Of The Roof

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TREES REMAINING + INSTALLED 321 E. LANE
BUFORD-MATHEWS



CERTIFICATE OF APPROPRIATENESS APPLICATION: 321 E LANE STREET

PROPOSED LANDSCAPE AND DRAINAGE WORK FOR 321 E LANE STREET.

REMOVAL: -Remove existing hardscapes (flagstone, brick, pavers, edging), pea gravel, back deck, shrubs, and turf according to plan. Deck to be remove less than 42" off of ground.

BACKYARD:

-Inspect existing foundation wall, waterproof with tar and fill area under existing old deck using (2) tons #57 gravel to raise elevation.

-Relay existing brick walkway using same brick according to plan

-Install (157) SF Patio using PH - Harbourtown F/R 4x8 Clay Pavers

-Till, rake and install (480) SF Fescue Sod

-Install (194) SF Patio using PH - Harbourtown F/R 4x8 Clay Pavers

-Install (2) 3'-10" wide masonry steps using mortared brick and standard brick tread (6" risers).

-Install (26' x 12" tall average) and (5' x 12" tall avg.) retaining walls using mortared brick with standard cap. Install (2) 7'-6" wide masonry steps (6" risers) and (1) 3' wide masonry step

-Relay existing paver walkway according to plan

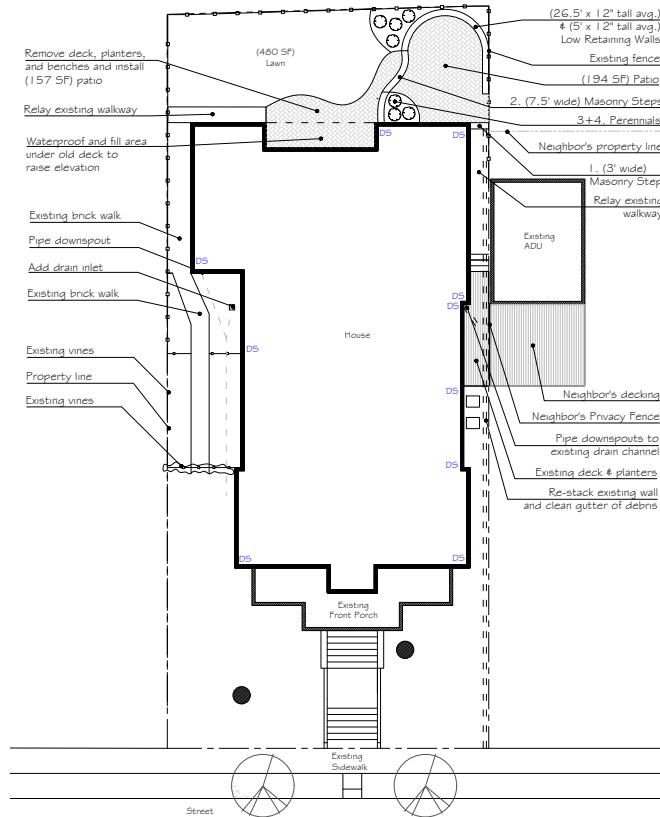
RIGHT SIDE YARD:

-Pipe existing downspouts to existing drain channel using (7) LF 4" corrugated drain pipe (trenched and buried) and (2) downspout adaptors

LEFT SIDE YARD:

-Install (1) 12" drain inlet to bed, (1) downspout adapter, approx. 41' of solid 4" corrugated drainage pipe (trenched and buried), and (1) pop-up.

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<p>Landvision DESIGNS</p> <p>Landvision Designs, Inc. 10809 Honeycutt Road Raleigh, NC 27614 www.landvisiondesigns.com info@landvisiondesigns.com</p>	<p>Kerkhoff 321 East Lane Street Raleigh, NC 27601 402-850-4505</p> <p>Designer: DJ + MM Date: 07.16.2025 Scale: 1"=10'</p>	<p>Site Information: APR 2025 - 8/1/25</p>	<p>Concept for budgeting purposes only. Not for construction. 10/8/2025</p>	<p>Sheet Information:</p>
		<p>Area Information: (26.5' x 12' tall avg.) & (5' x 12' tall avg.) Low Retaining Walls: 2,244.0 SF Front Porch: 7,942.0 SF Front Stairs/Walk: 175.0 SF Walkway to Rear: 425.0 SF Driveway: 0 SF AC Units: 8.0 SF Proposed Perennials: 157.0 SF ADU: 1,944.0 SF Total Proposed: 2,008.0 SF Total Footprint: 61,198 SF MSA: 65% + 400 SF= 4,363.02</p>		

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Remove all rotten decking, planters, hardscapes and plantings

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Brick to match existing brick on property –
Pinehall Harbourtown F/R 4x8



North Carolina Plant

Harbourtown FR 4x8, is a traditional wire-cut square-edge clay paver. A rich natural blend of brown colors. The dimensions are 4" by 8" by 1-3/8" thick. Also available in modular with dimensions of 3-5/8" by 7-5/8" by 1-3/8" thick for laying with 3/8" mortar joints.

The paver complies with ASTM C902, Class SX, Type I, Application PX and ASTM C67 for Freeze-Thaw.

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302 N Bloodworth St.



317 Oakwood

Note: Similar low brick retaining walls are present on adjacent properties. This application, however, pertains to work proposed for the backyard of this property, not the front.

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313 Oakwood

Note: Similar low brick retaining walls are present on adjacent properties. This application, however, pertains to work proposed for the backyard of this property, not the front.

Additional property images showing existing conditions:



East side of property looking North to backyard



Photos showing back of property from east Side.

Proposed walls and steps to match 317 Oakwood.



317 Oakwood