



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Replace asphalt shingle roofing and rebuild existing cricket; deconstruct and rebuild exterior walls in kind

225 N Bloodworth St

Address

Oakwood

Historic District

Historic Property

COA-0102-2023

Certificate Number

9/20/2023

Date of Issue

3/20/2024

Expiration Date

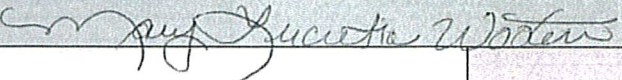
This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Erin Norton

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:			
Applicant name: Total Construction NC LLC			
Mailing address: 3719 NC Hwy 42 W			
City: Clayton	State: NC	Zip code: 27520	
Date: 8/15/23	Daytime phone #: 919-553-1332		
Email address: dale@totalconstructionnc.com			
Applicant signature: 			
Minor work (staff review) – one copy Major work (COA committee review) – ten copies Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval		Office Use Only Transaction #: _____ File #: <u>COA-0102-2023</u> Fee: _____ Amount paid: _____ Received date: _____ Received by: _____	
Property street address: 225 N Bloodworth St <u>224 East Lane Street</u>			
Historic district: Oakwood			
Historic property/Landmark name (if applicable):			
Owner name: Mary Lou Wooten			
Owner mailing address: 225 N Bloodworth St Raleigh, NC			

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.	
Property Owner Name & Address	Property Owner Name & Address
Mary Lou Wooten 225 N Bloodworth St Raleigh, NC	

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: <u>60, 71</u>
Did you consult with staff prior to filing the application? Yes <input checked="" type="radio"/> No <input type="radio"/>	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
		Maintenance repairs to existing structure including framing, insulation and roofing

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>03/20/2024</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Emin Mortimer Pugh</u>	Date <u>09/20/2023</u>



Total Construction NC, LLC
3719 NC Highway 42 W Clayton, NC 27520
919-625-7115 • Fax: 919-553-1332 • GC License #84697

225 Bloodworth St/320 East Lane Raleigh

The work that is being done is maintenance repair to the existing structure including framing, insulation, and roofing.

Morton, Erin

From: Morton, Erin
Sent: Wednesday, September 20, 2023 9:54 AM
To: Bradford McHatton
Cc: Kinane, Collette
Subject: COA-0102-2023 (225 N Bloodworth St) - Minor Work

Bradford,

Thank you for the additional information. It is our understanding based on the message below that the existing stoop will remain, the existing cricket will be rebuilt with no change, and the exterior walls will be rebuilt in kind (with no change in material, siding edge profile or reveal, finish, or color).

With this confirmation, the COA application for your project at 225 N Bloodworth Street has been approved! In order to limit the number of people entering the City office buildings, we'll be mailing you the signed application and blue placard. It takes a bit longer for mail to be processed through our internal system. Once printed, I will also upload a scanned copy of the placard and complete application materials to your case file in the online portal.

You should submit the blue placard to the Development Services staff for any permits you may need related to this project. We also ask that the placard be posted in a publicly visible location on the property for the duration of the project work.

Please let me know if you have any questions.

Best,
Erin

Erin Morton Pugh (she/her)
Senior Preservation Planner

City of Raleigh
Planning and Development
Historic Preservation Unit
One Exchange Plaza | Suite 300
Raleigh, NC 27601
(p) 919-996-2632
raleighnc.gov

From: Bradford McHatton <bm71376@yahoo.com>
Sent: Tuesday, September 19, 2023 8:50 AM
To: rhdc@rhdc.org
Subject: Re: Wooten Job

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you verify that the attachment and content are safe. If you believe this email is suspicious, please click the 'Phish Alert' link in the banner to report this message.

Description:

There will not be any changes to the stoop per the customer.

The roof covering will be GAF 30 year architectural shingles (charcoal).

The existing cricket will be reconstructed exactly the same as it is currently.

Walls will be repaired as needed but design will not change and will be reconstructed to meet the current codes.

Stoop will not change in design, size, or materials.

All repairs/reconstruction will be done in accordance with current codes and the exterior/facade of the structure will not change in appearance.

On Tuesday, September 12, 2023 at 03:49:06 PM EDT, Bradford McHatton <bm71376@yahoo.com> wrote:

225 N Bloodworth St

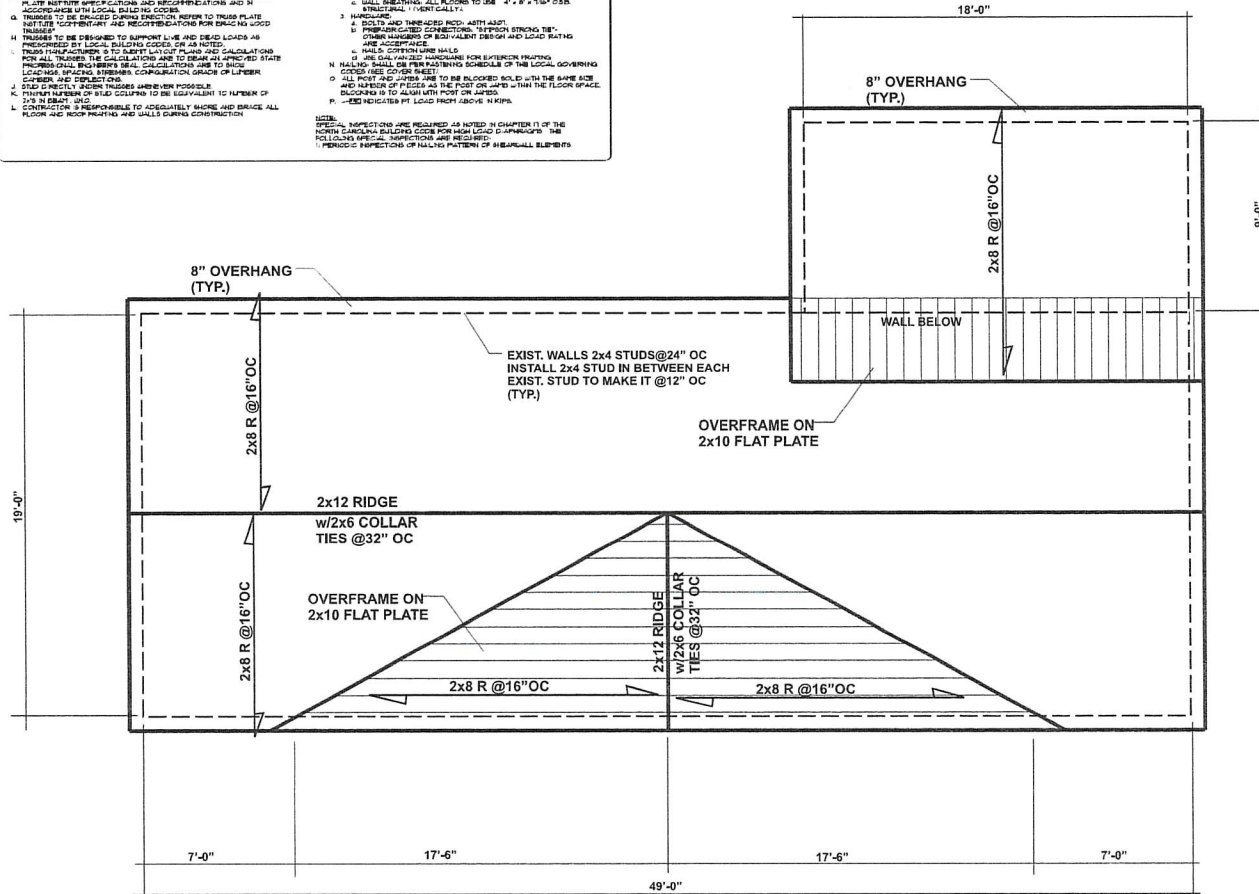
Attached is the description of changes that you requested.

Thanks,
Brad McHatton, Project Manager
919-985-3449

WOOD FRAMING PLAN GENERAL NOTES

- A. PRESERVATIVE PRESURE TREAT ALL WOOD INCLUDING BUSHING AND HANGERS. PRE-TREAT WITH GRANAISE COPPER ARSENITE TO A PENETRATION OF 0.25 IN. EACH PIECE SHALL BE STAMPED AND DATED FOR PROOF COPY. EACH PIECE OF LUMBER ON THIS PROJECT SHALL BEAN A GRADE A STAMP FROM THE MANUFACTURER RESPONSIBLE FOR THE SPECIES.
- B. CONTINUITY IN FRAMING SHALL BE PROVIDED AT ALL BEARING JOINTS IN ORDER TO TRANSFER THE LOADS TO THE FOUNDATION OR OTHER FRAMING FULL DEPTH BLOSSING SHALL BE USED IN THE FLOOR FRAMING AREA. JOINTS PROVIDE FULL BEARING THROUGH FRAMING.
- C. DO NOT CUT OR DRILL THE TOPS OR BOTTOMS OF JOINTS IN THE MIDDLE THIRD OF THE SPAN. NOTICES IN THE END TRUSSES SHALL NOT EXCEED 1/8" OF THE JOINT. JOINTS SHALL BE LOCATED WITHIN 2" OF THE TOP OR BOTTOM OF THE JOINT.
- D. ALL WOOD CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION AND TO LOCAL BUILDING CODES.
- E. TRUSSES TO BE DESIGNED AND ERRECTED IN CONFORMANCE WITH TRUSS DESIGN, TRUSSING AND CONNECTIONS AND TO LOCAL BUILDING CODES.
- F. TRUSSES TO BE DESIGNED TO SUPPORT LIVE AND DEAD LOADS AS PRESCRIBED BY LOCAL BUILDING CODES OR AS NOTED.
- G. TRUSS MANUFACTURER'S TO BEAT LAYOUT PLANS AND CALCULATIONS FOR ALL TRUSSES. THE CALCULATIONS ARE TO BEAN APPROVED STATE ENGINEER OR REGISTERED PROFESSIONAL ENGINEER OF LUMBER GRADING AND DESIGN.
- H. STATE DIRECTLY WHEN TRUSSES ARE BEAN POSSIBLE. NUMBER OF TRUSSES TO BE EQUIVALENT TO NUMBER OF TRUSSES AND DESIGN.
- I. TRUSSES TO BE EQUIVALENT TO TRUSSES AND DESIGN.
- J. STATE DIRECTLY WHEN TRUSSES ARE BEAN POSSIBLE. NUMBER OF TRUSSES TO BE EQUIVALENT TO NUMBER OF TRUSSES AND DESIGN.
- K. TRUSSES TO BE EQUIVALENT TO TRUSSES AND DESIGN.
- L. TRUSSES TO BE EQUIVALENT TO TRUSSES AND DESIGN.

NOTES:
1. SPECIAL INSPECTOR ARE REQUIRED AS NOTED IN CHAPTER 17 OF THE NORTH CAROLINA BUILDING CODE FOR HIGH LOAD APPLICATIONS. THE FOLLOWING SPECIAL INSPECTIONS ARE REQUIRED:
1. PERIODIC INSPECTIONS OF RAFTING PATTERN OF INSULATION SUBSTRATE



ROOF FRAMING

SCALE: 1/4" = 1'-0"

STRUCTURAL NOTES:

1. Framing lumber shall be #2 SPF (modulus of elasticity 1,100,000 psi, fb 950). All beams & treated lumber to be #2 SYP. E=1,800,000, fb=1100 min. Studs min.#2 or stud grade.
2. Use hangers for all beam to beam connections. Structural fastening as per R602.3(1). Adequate connections is the sole responsibility of the general contractor and his subs.
3. Structural members fastening to conform to Table R602.3(1) and (2).
4. Roof Framing Notes:
 - a. DoI Hips may be spliced with a min. 6'-0" overlap at center. No valley splices.
 - b. Use 2x10 or fir down rafters for vaulted areas.
 - c. Attach vaulted rafters with hurricane connectors: Simpson H-2.5, H-5 or approved equal.
5. All construction shall conform to the latest requirements of the NC Commercial Building Code - 2018 Edition, plus all local codes & regulations and the current IBC.
6. Structural Engineer is not responsible for and will not control of construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the construction work.
7. Structural Engineer is not responsible for the contractor's failure to carry out the proposed construction work in accordance with the drawings.
8. Use Method 83 for Structural Sheathing. "Accepted Engineer's Practice"

FRAMING NOTES:

1. Design Live Loads : (Per Table 1607.1 IBC) Uniform (PSF)

Assembly Areas & Theaters	Uniform (PSF)
Fixed seats (Fasten to Floor)	60
Control rooms	50
Lobbies	100
Movable Seats	100
Corridors	100
Stairs	100
Exterior Balconies	100
Decks (Same Occupancy Served)	100
Guardrails & Handrails	200
Passenger Vehicle Garages	40
Fire Escapes	100
Roofs	20
Snow	20
Apartments & Hotels (See Residential)	100
Attics w/ limited Storage	30
Uninhabitable Attics w/o Storage	10
Habitable Attics & Sleeping Areas	30
Private Rooms & their corridors	40
Public Rooms & their corridors	100
Wind Load for the Specific Area	115mph
2. Wall Bracing: Braced wall panels shall be constructed according to current IBC standards. The amount and location of bracing shall comply with the current IBC. The length of braced panels shall be determined by IBC tables. Lateral bracing shall be satisfied per method 3 by continuously sheathing walls with structural sheathing per Table 601.3. Note that any specific braced wall detail shall be installed as specified.
3. All interior bearing headers to be SPF#2 (Fb=875 psi) unless noted otherwise (UNO). All treated lumber shall be SYP#2 (Fb=975 psi). Plate material may be SPF#3 or SYP#3 (Fc (perp.) = 425 psi min.)
4. All exterior headers to be (2)2x10 s.p.f. u.n.o w/ dbf. Jacks for all openings >4'-0".
5. All interior bearing headers to be (2)2x10 u.n.o. w/ dbf. Jacks for all openings >4'-0".
6. All interior non-bearing headers to be min. (2)2x4 flat u.n.o.

GENERAL NOTES

1. INSULATION:
ALL WALLS SHALL BE A MIN. R15
ALL FLOORS SHALL BE A MIN. R19
ALL CEILING SHALL BE A MIN. R38
2. WINDOWS:
ALL WINDOWS SHALL HAVE A MIN. GLAZING U-FACTOR OF 0.35
INSTALL ALL WINDOWS MIN. 2" ABOVE FINISHED FLOORING FOR PER NCSCRC REQUIREMENTS SECTION R612.2 THRU R612.4 FOR FALL PREVENTION PROTECTION
3. GARAGE:
DWELLING/GARAGE FIRE PROTECTION SEPARATION PER NCSCRC TABLE 902.3 REQUIRES 5/8" DRYWALL TYPE X TO BE INSTALLED AS GARAGE CEILING

ROOF FRAMING NOTES:

1. Use Simpsons H2.5 Hurricane connectors or equivalent or 6" SDWC's on each rafter installed.
2. All point loads to be columned/blocked (through joists) down to foundation.

ATTIC VENTILATION:

1093 SQ. FT. OF CEILING/150 = 7.3 SQ FT REQUIRED
SAY 7 SF

NOTE:

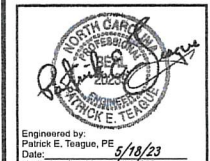
BUILDER TO CALCULATE QUANTITIES OF TYPES OF VENTS TO MAKE UP MIN. REQUIREMENT. ATTIC VENTILATION MAY BE REDUCED 50% WHEN VENTILATORS ARE USED AT LEAST 3'-0" ABOVE THE CORNICE VENTS. REFER TO SECTION R-606 IN THE N.C. BUILDING CODE VOL. VII.



ENGINEER INFO:
P.E. TEAGUE, P.E., PLLC
2705 WATERLOO COURT
RALEIGH, NC 27613
919-247-2572
PETE@TEAGUEENGINEERING.COM
TEAGUEENGINEERING.COM

BUILDER INFO:
Pencil Contracting Associates
Michael J. Stenkwicz
(516) 779-1669
michaelj69@gmx.com

ROOF DESIGN
225 N. Bloodworth Str.
Raleigh, NC



SHEET NUMBER

S1
PROJECT #PO24096MS























