

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Alter roof coverings

724 N Blount St

Address

Blount Street

Historic District

Historic Property

COA-0106-2020

Certificate Number

7/31/2020

Date of Issue

1/31/2021

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Raleigh Historic Development Commission

A handwritten signature in dark ink, appearing to read "Erin Norton", is written over a horizontal line.

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:		
Applicant name: 724 North Blount, LLC c/o Stephen Ridolfi & C. Richard Birkholz		
Mailing address: 324 S. Wilmington Street #419		
City: Raleigh	State: NC	Zip code: 27601
Date: 07/06/2020	Daytime phone #: (336) 669-4209 or (919) 455-7309	
Email address: ridolfi336@gmail.com & Richard@OakwoodValuation.com		
Applicant signature:		
Minor work (staff review) – one copy Major work (COA committee review) – ten copies Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval	Office Use Only Transaction #: _____ File #: <u>COA-0106-2020</u> Fee: _____ Amount paid: _____ Received date: _____ Received by: _____ _____	
Property street address: 724 N Blount Street		
Historic district: Blount Street Historic District		
Historic property/Landmark name (if applicable): Not Applicable		
Owner name: 724 North Blount, LLC		
Owner mailing address: 324 S. Wilmington Street #419, Raleigh NC 27601		

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: <u>60</u>
Did you consult with staff prior to filing the application? Yes <input type="radio"/> No <input checked="" type="radio"/> Left Message 7/6/2020	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.5/46	Roofs	Remove existing roof and install 24 Gauge Standing Seam Metal Roof; Gutters; Downspouts

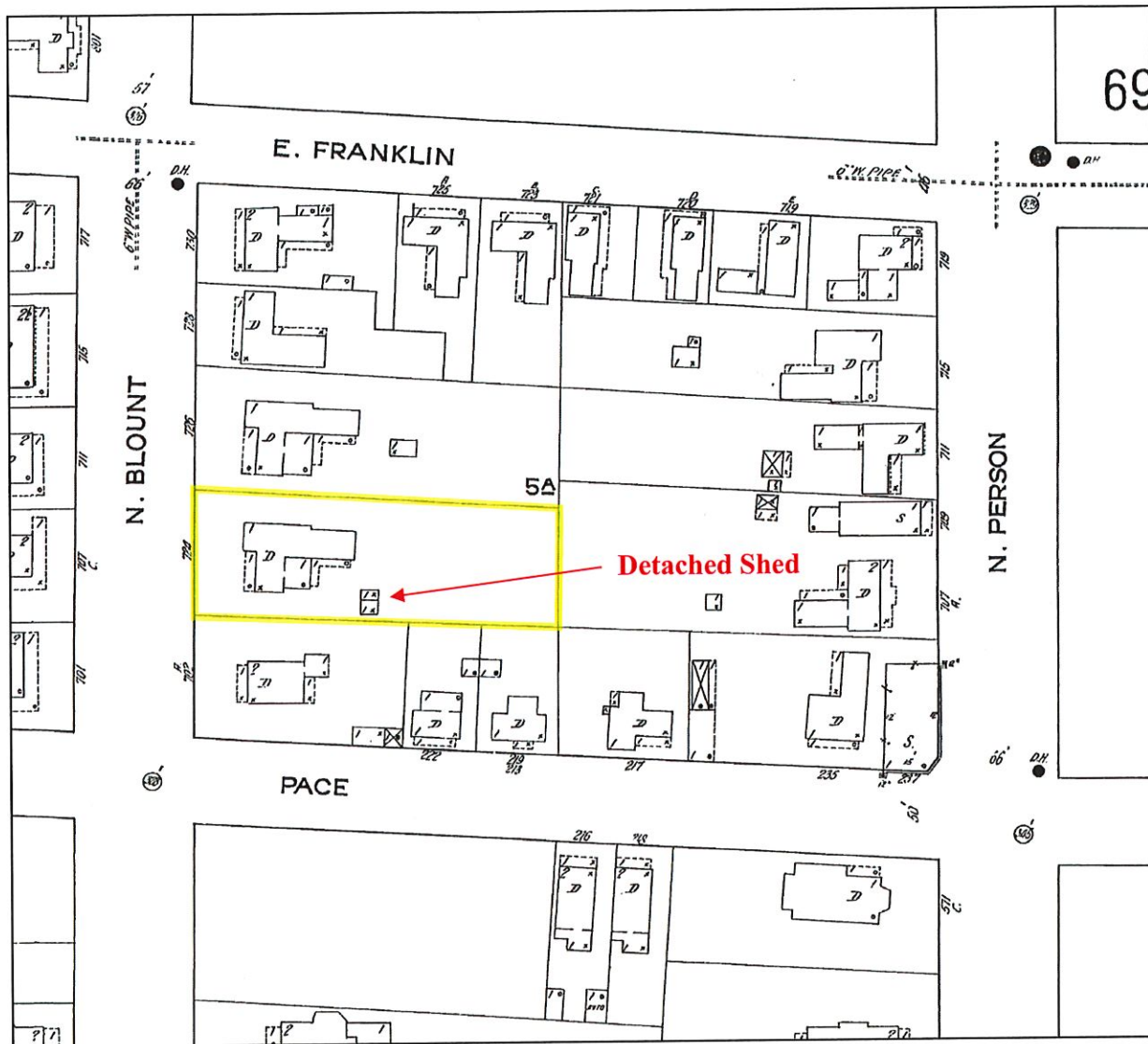
Minor Work Approval (office use only)	
<p>Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>01/31/2021</u>.</p> <p>Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.</p>	
Signature (City of Raleigh) <u>Evin Martin</u>	Date <u>07/31/2020</u>

CONTRACT PROPOSAL

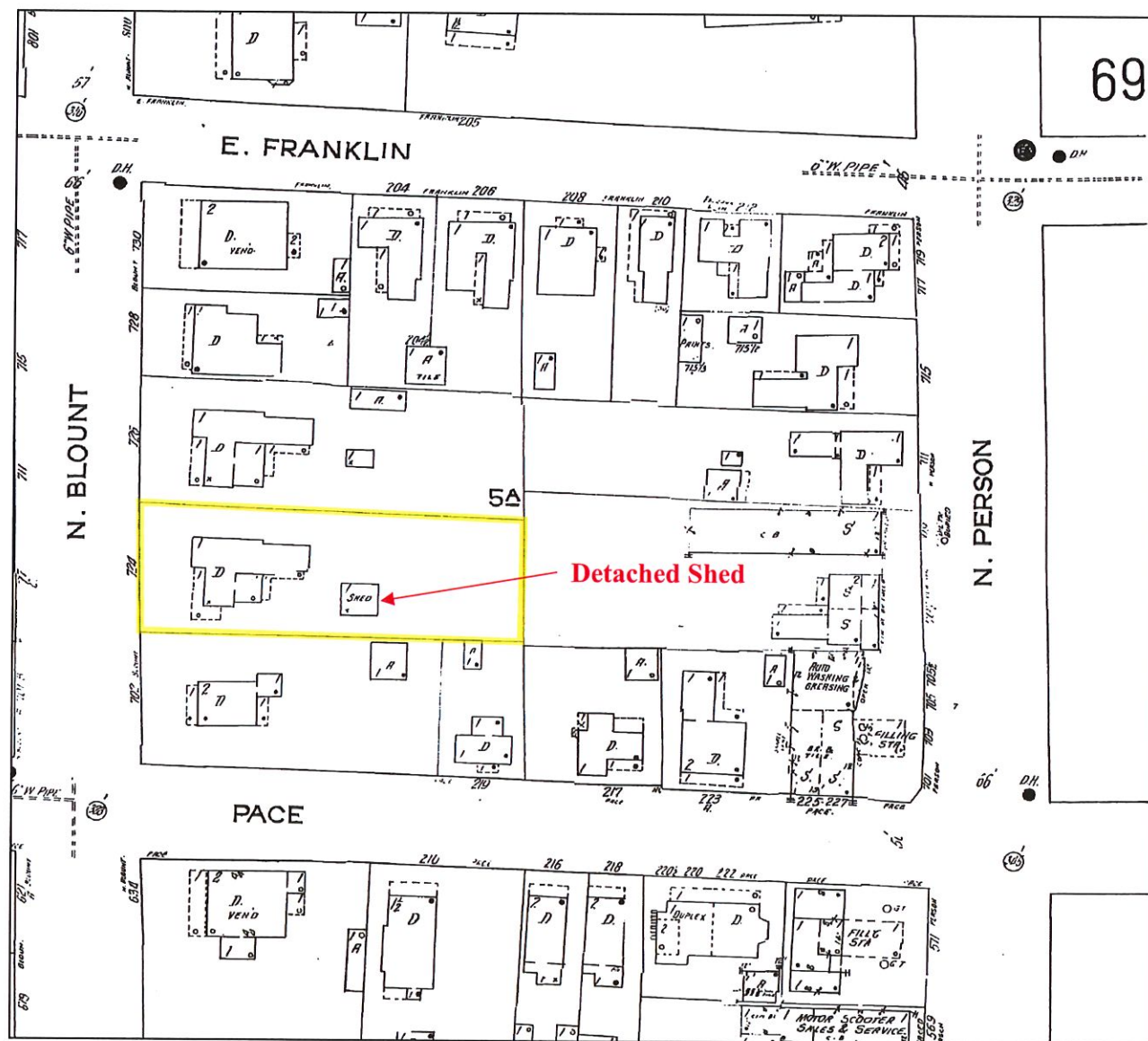
No verbal or other understanding other than indicated heron shall be binding on the contractor.

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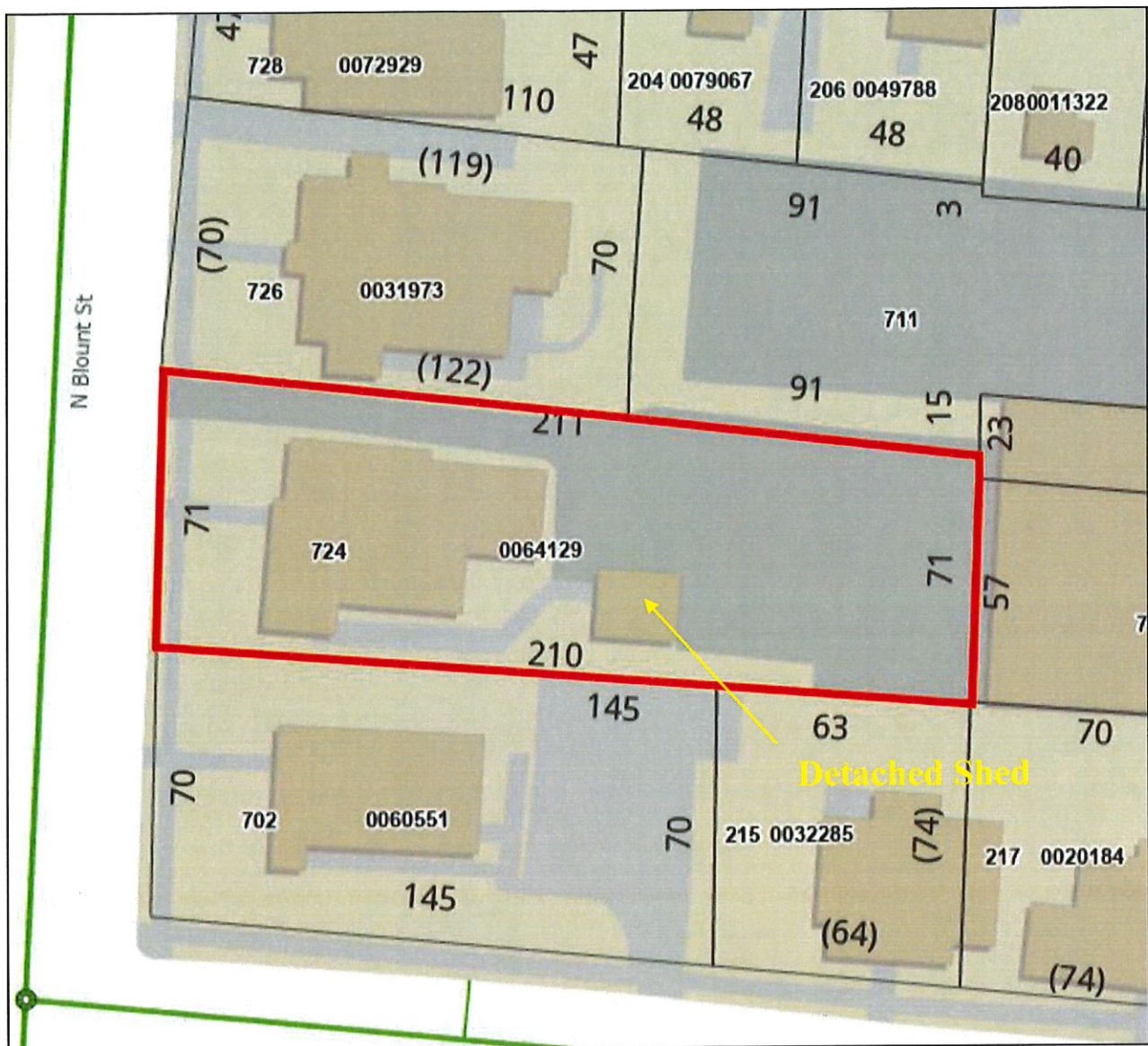
Digital Sanborn Maps; 1914; Sheet 66



Digital Sanborn Maps; July 1914 - Dec. 1950; Sheet 66



iMaps GIS MAP





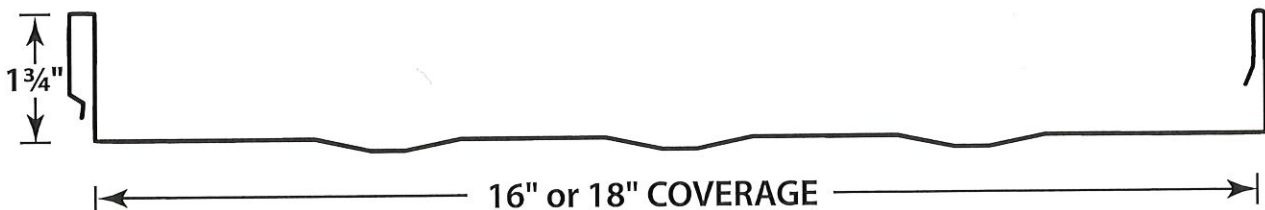
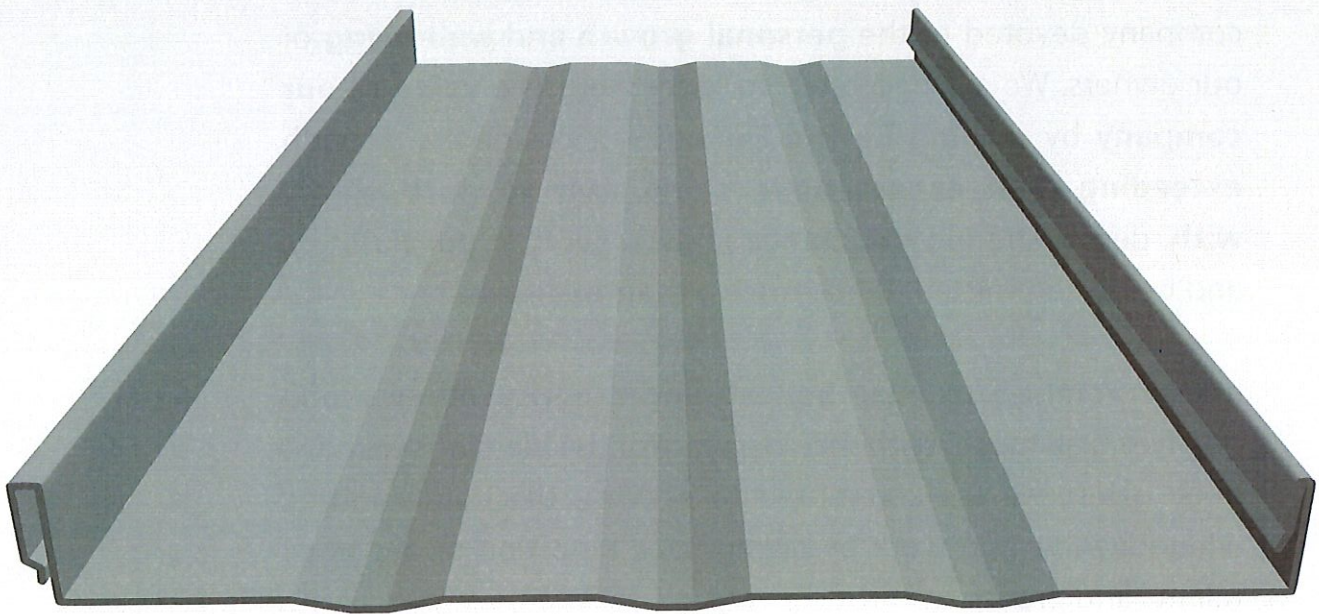




Central Snap[®]

Product Guide

HELPFUL INFORMATION ON PANELS, TRIMS, GUTTERS AND ACCESSORIES



METAL BUILDING COMPONENTS

OUR MISSION

The men and women at Central States Manufacturing, Inc. would like to welcome you.

Central States Manufacturing, Inc. is a **100% employee-owned** company devoted to the **personal growth and well-being** of our owners. We are dedicated to **increasing the value of our company** by **making Raving Fans** of our customers through **exceeding their expectations**, being **easy to do business with**, demonstrating **excellence** in all aspects of our business and being committed to **improving their business**.

It is our promise to maintain **honesty and integrity** with everyone our lives may touch. With thanksgiving for the blessings we have been given, we are committed to **serving the communities** where we live and work by giving back a portion of our time, talents and profits.



Right.
On Time.
Every Time.

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*Information in the catalog may vary by plant location.
Please call your salesperson to verify product availability.*

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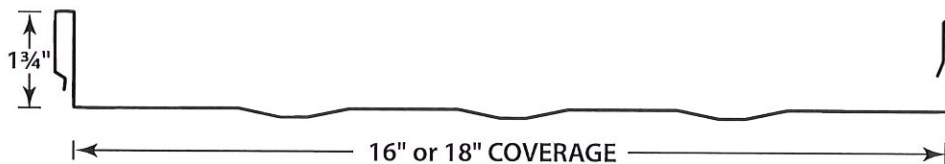
Notice: The application and detail drawings in this manual are strictly for illustration purposes and may not be applicable to all building designs or product installations. Projects should conform to local building codes. Central States Manufacturing is not responsible for the performance of the material if it is not installed correctly.

Information contained in this booklet was in effect at the time of publication and is subject to change without notice.

CENTRAL SNAP®

Central Snap® is a performance rated non-structural, architectural standing seam roof system. It has an easy to install 1¾" high snap-lock joint making it ideal for architectural and light commercial applications. Central Snap® is available in net coverage widths of 16" or the economical 18". It offers an architecturally pleasing look over metal framing or wood decking.

- 1:12 pitch or greater.
- Snap-together panel, no field seaming required.
- Available in 16" or 18" coverage.
- Minimum length: 3'; maximum length: 50'.
- Factory applied sealant insures a secure lap.
- Available with a 1⅝" notch on either end of the panel for the ease of turning under; reducing installation labor and costs.
- Can be installed over solid substrates or installed over framing depending upon the panel width and support member spans.



PANEL CODES

Use the panel and color codes below to create the code you need. For example: Central Snap® 16" Autumn would be CSL16AU.

PANEL PROFILE	TYPE	CODE
Central Snap® 16"	Striated	CSL16(color)
Central Snap® 16"	Notched	CSL16(color)N
Central Snap® 16"	No Striations*	CSL16(color)NS
Central Snap® 16"	No Striations, notched*	CSL16(color)NSN
Central Snap® 18"	Striated	CSL18(color)
Central Snap® 18"	Notched	CSL18(color)N
Central Snap® 18"	No Striations*	CSL18(color)NS
Central Snap® 18"	No Striations, notched*	CSL18(color)NSN

*NOTE: Striation waiver must be signed before producing any order without striations. Panels with no striations may exhibit oil canning in the flat area of the panels. This is common to the industry and does not affect the integrity of the panel and is not a reason for rejection.

COLOR CODES

FLUROPON®	CODE
Ash	AS
Autumn	AU
Beige	BE
Brite	BT
Bronze	BZ
Dark Bronze	DB
Evergreen	EV
Galvalume®	GL
Roman	RB
Sand	SA
Slate Gray	SG
Smoke	SM
Terratone	TE
Tudor	TU
Verdigris	VE

Galvalume® is a registered trademark of BIEC International, Inc.

SECTION PROPERTIES

CENTRAL SNAP® PANEL, 24 GA.

Panel Width (inches)	Thickness (inches)	Weight (psf)	Yield Stress (ksi)	Allowable Shear (kips/ft)	Top in Compression (Positive Bending)			Bottom in Compression (Negative Bending)		
					Ixx in4/ft	Sxx in3/ft	Ma in.kips/ft	Ixx in4/ft	Sxx in3/ft	Ma in.kips/ft
16	0.0225	1.277	50	1.51	0.0840	0.0565	1.412	0.0398	0.0410	1.026
18	0.0225	1.237	50	1.34	0.0760	0.0505	1.261	0.0353	0.0365	0.913

Section properties and allowables are calculated in accordance with North American Specification for the Design of Cold-Formed Steel Structural Members (2012 & 2016 Edition). I +/- is for deflection determination, S +/- is for bending determination & M8 is allowable bending moment. Ma is allowable bending moment and v is allowable shear strength of panel web elements. All values are for one foot of panel width. Minimum deliverable bare steel thickness should not be less than 0.95 of design thickness.

THEORETICAL ALLOWABLE LIVE & WIND LOADS

ALLOWABLE LIVE LOADS - 24 Gauge Material. All loads in pounds per square foot.

Width (in)	Span Condition		Allowable Live Loads (lb/ft2)										
			Span (ft)										
			2	2.25	2.5	2.75	3	3.25	3.5	3.75	4	4.5	5
16	SS	Stress	235.4	186.0	150.6	124.5	104.6	89.1	76.9	67.0	58.8	46.5	37.7
		L/180	917.8	644.6	469.9	353.0	271.9	213.9	171.2	139.2	114.7	80.6	58.7
	DS	Stress	169.3	134.1	108.7	90.0	75.7	64.5	55.7	48.5	42.6	33.7	27.3
		L/180	2208.9	1551.4	1131.0	849.7	654.5	514.8	412.2	335.1	276.1	193.9	141.4
	TS	Stress	197.1	156.1	126.7	104.9	88.2	75.2	64.9	56.6	49.7	39.3	31.9
		L/180	1731.9	1216.4	886.7	666.2	513.2	403.6	323.2	262.7	216.5	152.0	110.8
18	SS	Stress	210.2	166.1	134.5	111.2	93.4	79.6	68.6	59.8	52.6	41.5	33.6
		L/180	830.4	583.2	425.1	319.4	246.0	193.5	154.9	126.0	103.8	72.9	53.1
	DS	Stress	150.6	119.2	96.7	80.0	67.3	57.4	49.5	43.1	37.9	30.0	24.3
		L/180	1998.5	1403.6	1023.3	768.8	592.2	465.8	372.9	303.2	249.8	175.5	127.9
	TS	Stress	175.3	138.9	112.7	93.3	78.5	66.9	57.7	50.3	44.2	35.0	28.3
		L/180	1567.0	1100.5	802.3	602.8	464.3	365.2	292.4	237.7	195.9	137.6	100.3

ALLOWABLE WIND UPLIFT LOADS - 24 Gauge Material. All loads in pounds per square foot.

Width (in)	Span Condition		Allowable Live Loads (lb/ft2)										
			Span (ft)										
			2	2.25	2.5	2.75	3	3.25	3.5	3.75	4	4.5	5
16	SS	Stress	171.0	135.1	109.4	90.4	76.0	64.8	55.8	48.6	42.8	33.8	27.4
		L/180	434.3	305.0	222.4	167.1	128.7	101.2	81.0	65.9	54.3	38.1	27.8
	DS	Stress	231.0	183.3	148.8	123.3	103.7	88.5	76.4	66.6	58.6	46.3	37.5
		L/180	1045.3	734.1	535.2	402.1	309.7	243.6	195.0	158.6	130.7	91.8	66.9
	TS	Stress	268.3	213.0	173.1	143.5	120.8	103.1	89.0	77.6	68.3	54.0	43.8
		L/180	819.6	575.6	419.6	315.3	242.8	191.0	152.9	124.3	102.4	72.0	52.5
18	SS	Stress	152.1	120.2	97.4	80.5	67.6	57.6	49.7	43.3	38.0	30.0	24.3
		L/180	386.0	271.1	197.7	148.5	114.4	90.0	72.0	58.6	48.3	33.9	24.7
	DS	Stress	206.3	163.6	132.9	110.1	92.6	79.0	68.2	59.5	52.3	41.4	33.5
		L/180	929.1	652.6	475.7	357.4	275.3	216.5	173.4	141.0	116.1	81.6	59.5
	TS	Stress	239.5	190.2	154.6	128.1	107.9	92.1	79.5	69.3	61.0	48.2	39.1
		L/180	728.5	511.7	373.0	280.2	215.9	169.8	135.9	110.5	91.1	64.0	46.6

Allowable load based on stress is the smallest load due to bending, shear and combined bending and shear. Allowable load based on deflection limit cannot exceed allowable load based on stress. These loads are for panel strength. Allowable loads do not include support/attachment conditions or load testing. Frames, purlins, clips, fasteners and all supports must be designed to resist all loads imposed on the panel. Allowable uplift loads based on stress have not been increased by 33.33 % for wind uplift. Allowable loads for deflection are based on deflection limitation of span/180. For roof panels, self weight of the panel has to be deducted from the allowable inward load to arrive at the actual 'live load' carrying capacity of the panel. SS = Simple span, DS = Double Span and TS = Three or more spans.

RECEIVING & HANDLING

MATERIAL INVENTORY

Your material is carefully inspected and crated before leaving the plant and accepted by the transportation company as being complete and in satisfactory condition. It is the carrier's responsibility to deliver the shipment intact. It is the consignee's responsibility to inspect the shipment for damages and shortages when it is delivered.

Conducting a material inventory at the time of delivery is essential. By conducting the materials inventory, the erector is able to identify any material shortage or damage and avoid stopping installation later because of such shortage or damage.

It is imperative that any shortages or damage of the delivered materials be noted at once and clearly marked on the bill of lading before signature of acceptance. Notify Central States immediately of any conflicts. Central States will not be responsible for shortages or damages unless they are noted on the bill of lading.

In the case of packaged components (such as clips, fasteners and sealants, etc.), the quantities are marked on their container and should be checked against the bill of materials. Central States must be notified of any shortages or concealed damage within 15 days of delivery.

EQUIPMENT FOR UNLOADING AND LIFTING

Hoisting equipment is necessary to unload and position the panels and accessory crates for site storage and installation. The equipment must have sufficient capacity and reach to place the material where it is required for efficient installation.

Slings will be required to minimize panel damage. The recommended slings are nylon straps of 6" minimum

width and of sufficient length to accommodate the panel bundle girth.

A spreader bar will be required for the longer panel crates to assure correct sling spacing and uniform lifting. The spreader bar must be large enough to handle the maximum panel bundle weight and length.

A forklift is handy for unloading and placing shorter panel and accessory crates.

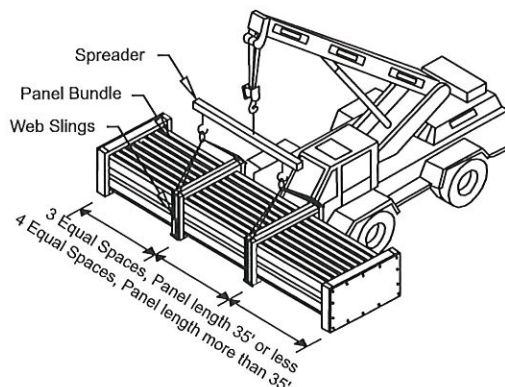
LIFTING ROOF PANEL BUNDLES

Under normal conditions, panel crates less than 35' long can be lifted with two slings spaced at third points. Panel crates longer than 35' can be lifted with three slings located at quarter points using a spreader bar to achieve correct sling spacing for uniform lift.

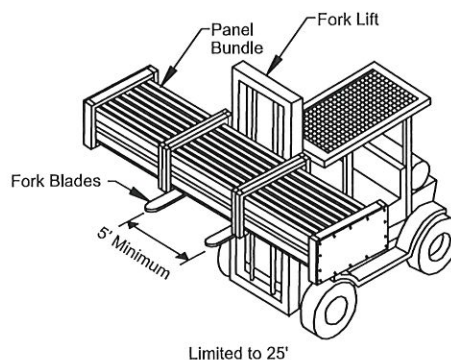
Slings should be located under the cross boards. Loads should always be checked for secure hook-up, proper

balance, and lift clearance. Tag lines should be used if necessary to control the load during lifting, especially if operating in the wind.

Panel crates less than 25' long may be lifted with a forklift only if the forks are spread at least 5' apart and blocking is used to prevent panel damage by the forks.



Panels over 25'



*For illustration only. Actual packaging may differ from drawing.

RECEIVING & HANDLING

FIELD STORAGE

Upon acceptance of the shipment, the customer or his representative is responsible for proper handling storage and security of the roof materials. Central-States is not liable for damage or loss of materials at the job site.

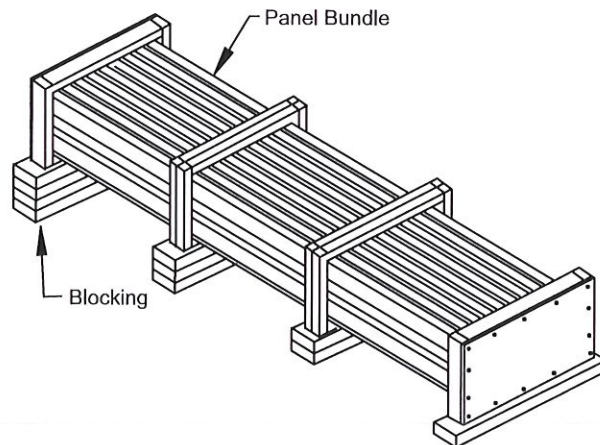
The roof panel bundles should be stored on the job site in accordance with the following recommendations:

- A. Store panels in a protected area, out of standing water and drifting snow, etc.
- B. Elevate panels with blocking to allow air circulation under the bundle.
- C. Slope panels for drainage of moisture from the panels.
- D. As necessary, cover panels with waterproof tarp, allowing for air circulation (do not wrap tarp under panel crate or restrict air movement).
- E. Inspect panels daily for moisture accumulation.
- F. If panel bundles contain moisture, the panels should be dried and re-stacked. Use care in re-stacking to avoid damage to panels.
- G. Opened or re-stacked panel bundles should be secured to prevent wind damage.

When moving panel bundles, extreme caution should be taken to prevent damage to the panel edges. Uncrated panels should be supported at each end and at 10' spaces.

All bundles or loose panels on the roof should be banded to the roof structurals at the end of each workday. On steep roofs, provisions should be taken to prevent panels and panel crates from sliding off the roof. Be sure to set panel bundles on the roof in the proper direction for the installation sequence.

Trim and accessories should be stored in a secure area and protected from damage, weather, and theft. Fasteners, sealants, closures, etc., should be stored out of the weather and protected from contamination.



*For illustration only.
Actual packaging may differ from drawing.



Stack blocking so bundle is sloped for drainage.

RECEIVING & HANDLING

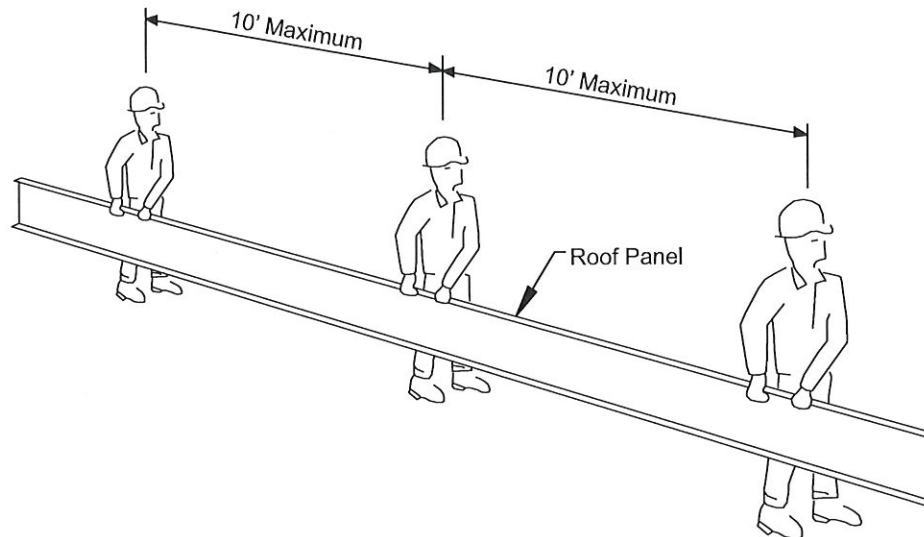
HANDLING INDIVIDUAL ROOF PANELS

To lift individual panels, lift one side of the panel by the seam letting it hang naturally to prevent buckling. Pick-up points should not be more than 10' apart.

Do not pick-up panels by the ends only, or in a flat position.

If the individual panels are to be lifted to the roof by hand line, the common method is to use the vice grip "C" clamps. Position the clamps on the flat of the panel as close as possible to one edge so the panel is lifted

in a vertical position. The jaws of the vice grips must be padded to prevent damage to the panel surface. The clamps should be uniformly spaced, no more than 10' apart and the hand lines must be pulled in unison so that uneven lifting does not buckle the panel. Be sure the clamps are tight on the panel and the line is secure to prevent dropping the panel which can result in personal injury and property damage.



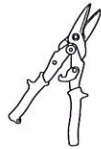
TOOLS & EQUIPMENT

- Snips
- Tape Measure
- Electric Metal Shear*
- Caulking Gun
- Cordless Drill
- Blind Rivet Tool
- Chalk Line
- 6" Hand Seamer
- Hemming Tool
- Gloves
- Notcher

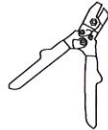
*We do not recommend the use of a power circular saw to cut panels. Use of a power saw could:

- Increase the instance of edge rust.
- Cause hot metal shavings on panel surface to damage panel finish.

We recommend that the installer have prior experience and knowledge of the listed tools and their uses in working with metal roofing.



Hand Snips



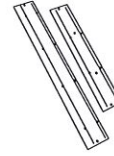
Notchers



Rivet Hole
Punch



Hand Riveter



Folding
Tools



6" Hand
Seamer

FIELD CUTTING

ABRASIVE SAW PROBLEMS

Abrasive saws (circular saws with friction disks) are not recommended for cutting roof panels or flashing. Abrasive saws create high heat that may burn away the protective coating from the panel edge, causing the edge to rust.

Also, abrasive saw dust contains fine, hot steel particles, which accumulate on panel and flashing surfaces where they rust and can cause staining and rusting of those surfaces.

Rust caused by abrasive saw damage or abrasive dust particles can be excluded from warranty claims.

When field cutting complex shapes, it is usually easier to cut out a 1" wide strip using both left and right hand shears. The 1" cutout provides clearance to smoothly cut the flats and the clearance to work the shears around tight corners.

When making repetitive cuts (such as cutting panels at a hip condition) it is recommended that a template be made from a piece of drop-off panel or flash to provide fast and accurate marking of the field cut. When using panel material for the template, cut off the top portion of the panel ribs so that the template is easily laid onto the panel being marked.

SHEARING METHODS

It is recommended that panels and flashing be cut with shears to provide a clean, undamaged cut. On shear cut edges, the protective coating extends to the edge of the cut and is often wiped over the edge to further protect the base metal.

Whenever possible, fit the material so that the factory cut edge is exposed and the field cut edge is covered.

MARKING PANELS

Avoid marking the panels for cutting, etc., in a manner that will leave visible markings and stains, etc., on the finished roof surface. Use chalk or felt tip ink markers. Do not use graphite (lead) pencils on unpainted panel surfaces, the graphite can cause rusting of the surface.

SEALANTS

TEMPERATURE EFFECTS

Temperature extremes must be considered during installation of the roof due to the sensitivity of sealants. The recommended installation temperature range is 20° F to 120° F. At colder temperatures, the sealant stiffens resulting in loss of adhesion and compressibility. At hotter temperatures, the sealant becomes too soft for practical handling. On cold but sunny days, the panel's surface may become warm enough to accept the application of a heated sealant even though the air temperature is below 20° F.

When overnight temperatures fall below freezing, the sealant should be stored in a heated room so it will be warm enough to use the following day. On hot days, the sealant cartons should be stored off the roof in a cool and shaded area. While on the roof, sealant rolls should be kept shaded until actual use.

In very cold weather, it is recommended that the fasteners be tightened slowly and only tight enough that the sealant is in full contact with the panel or flashing. Then on the next sunny day, complete the tightening process after the sun warms the panel and flashing surfaces.

CONTAMINATION

To assure proper adhesion and sealing, the sealant must have complete contact with adjoining surfaces and achieve 30% compression. Contaminants such as water, oil, dirt and dust prevent such contact. The panel and flashing surfaces must be dry and thoroughly cleaned of all contaminants. Before applying tape sealant, the sealant should be checked for contaminants. If the sealant surfaces are contaminated, it must not be used.

be easily noticed. It is recommended that sealants always be kept under protective cover and that the panel and flashing surfaces be wiped dry immediately before installation.

Tape sealant is provided with a protective paper to reduce contamination. Incomplete removal of the protective paper will prevent the sealant's adhesion to the panel or flashing surfaces. Always check that the protective paper is completely removed. Do not remove the protective paper until immediately before the panel or flashing is installed over the sealant.

During cool weather, condensation or light mist can accumulate on the panel and flashing surface and not

COMPRESSION

To assure proper adhesion and seal, the tape sealant must be compressed between the panel and flashing surfaces with firm and uniform pressure. In most cases, the required pressure is applied by the clamping action of screws pulling the adjoining surfaces together. However, the tape sealant's resistance to pressure becomes greater in cold weather.

During cold weather, the fasteners must be tightened slowly to allow the sealant time to compress. If the fasteners are tightened too fast, the fastener may strip out before the sealant compresses adequately, or the panel or flash may deform in the immediate area of the fastener, leaving the rest of the sealant insufficiently compressed.

FASTENERS

SCREW GUN

Use torque control and variable speed screw guns for driving self-drilling screws. 2000-2500 RPM screw gun speeds are necessary to attain efficient drilling speeds. High tool amperage (4 to 7 AMP) is required to achieve the proper torque for proper seating and to secure the fastener.

SOCKETS

Use good quality sockets. Good fitting sockets reduce wobble and stripping of the screw heads, especially the alloy and capped heads. They also minimize objectionable paint chipping and scuffing on colored screws and minimize damage to the protective coating on unpainted screws.

Magnetic sockets collect drill shavings, which will build up and eventually prevent the socket from seating properly on the screw heads. One method of removing

the drill shavings is to roll up a ball of tape sealant and push the socket into the sealant.

When the socket is removed from the sealant, most of the drill shavings will remain embedded in the sealant thereby cleaning the socket. This process should be repeated as often as needed to keep the socket clear of drill shavings.

SOCKET EXTENSION

A 4" or 6" socket extension is recommended for installing the panel clip screws. With the extension, the screw can be driven straight down without tilting the screw gun to clear the panel or clip. Since socket extensions are slow to wear out, it is usually more cost effective to purchase socket extensions and good quality sockets rather than purchase sockets with built-in extensions.

INSTALLATION

Before starting the screw, the materials to be joined must be pressed together with foot or hand pressure. The pressure must be maintained until the screw has drilled through all the materials and the threads have engaged.

Most self-drilling screws require 20 pounds of pressure to maintain the drilling action and to start the thread cutting action. Also, applying such pressure before starting the screw gun will usually prevent tip walking or wandering.

If too little pressure is applied, the drill point may not cut into the metal and the point will heat up and become dull. If the pressure is too heavy, the bottom material may be deflected away, causing a standoff condition, or the drill tip may be broken or split.

Screws must be held perpendicular to the panel or flashing surface during starting and driving.

For proper seating of the fastener-sealing washer, the panel or flashing surface must be clean and drill shavings must be removed from under washers before seating. The fastener must be driven perpendicular

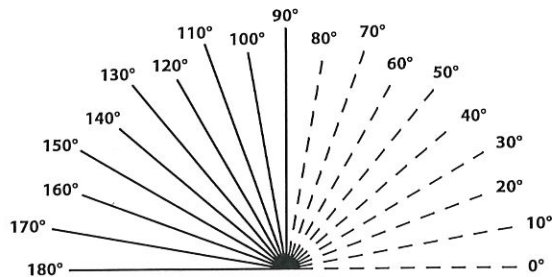
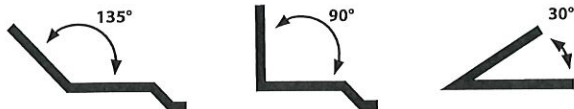
to the panel surface so that the washer can seat level without warping or cupping.

Do not over drive screws. Over driving can strip the threads and/or damage the sealing washer. Use a screw gun with torque control set to function properly for the combination of fastener size, hole size and material thickness.

As a good installation practice, all roof installers should carry approved oversized screws. Upon stripping or breaking a screw, the screw must be immediately removed and replaced with the appropriate oversized screw. Do not defer the screw replacement to be remembered and fixed later, or to be found by the clean-up crew. The majority of such screws will be overlooked until the customer complains of leakage.

CONVERTING PITCH TO DEGREE

Use these charts to calculate degrees when designing custom trim.
Please specify pitch when ordering.



SINGLE SLOPE PITCHES

Fascia, Eave, Endwall, Tie-In, Gutter

DOUBLE SLOPE PITCHES

Hip, Valley

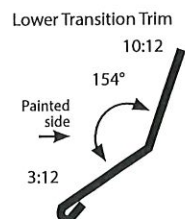
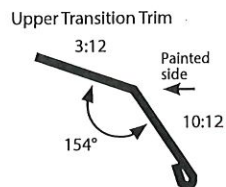
RIDGE CAP

1:12 PITCH	2:12 PITCH	3:12 PITCH	4:12 PITCH	5:12 PITCH	6:12 PITCH	7:12 PITCH	8:12 PITCH	9:12 PITCH	10:12 PITCH	11:12 PITCH	12:12 PITCH
94°	99°	104°	108°	112°	116°	120°	123°	126°	129°	132°	135°
173°	167°	160°	154°	148°	143°	138°	134°	130°	126°	123°	120°
170°	161°	152°	143°	135°	127°	120°	113°	106°	100°	95°	90°

TRANSITION TRIM

Find the box that intersects your lower and upper roof pitches.

If the intersection lands in the gray area, select an Lower Transition trim.



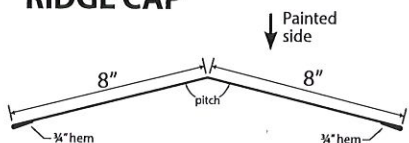
LOWER ROOF PITCH (INCHES OF RISE OVER 12" OF RUN)

	1:12 PITCH	2:12 PITCH	3:12 PITCH	4:12 PITCH	5:12 PITCH	6:12 PITCH	7:12 PITCH	8:12 PITCH	9:12 PITCH	10:12 PITCH	11:12 PITCH	12:12 PITCH	13:12 PITCH	14:12 PITCH	15:12 PITCH	16:12 PITCH	17:12 PITCH	18:12 PITCH
1:12 PITCH		175°	171°	166°	162°	158°	155°	151°	148°	145°	142°	140°	137°	135°	133°	132°	130°	128°
2:12 PITCH	175°		175°	171°	167°	163°	159°	156°	153°	150°	147°	144°	142°	140°	138°	136°	135°	133°
3:12 PITCH	171°	175°		176°	171°	167°	164°	160°	157°	154°	152°	149°	147°	145°	143°	141°	139°	138°
4:12 PITCH	166°	171°	176°		176°	172°	168°	165°	162°	159°	156°	153°	151°	149°	147°	145°	144°	142°
5:12 PITCH	162°	167°	171°	176°		176°	172°	169°	166°	163°	160°	158°	155°	153°	151°	149°	148°	146°
6:12 PITCH	158°	163°	167°	172°	176°		176°	173°	170°	167°	164°	162°	159°	157°	155°	153°	152°	150°
7:12 PITCH	155°	159°	164°	168°	172°	176°		177°	173°	170°	168°	165°	163°	161°	159°	157°	155°	154°
8:12 PITCH	151°	156°	160°	165°	169°	173°	177°		177°	174°	171°	169°	166°	164°	162°	161°	159°	157°
9:12 PITCH	148°	153°	157°	162°	166°	170°	173°	177°		177°	174°	172°	170°	167°	166°	164°	162°	161°
10:12 PITCH	145°	150°	154°	159°	163°	167°	170°	174°	177°		177°	175°	173°	170°	168°	167°	165°	163°
11:12 PITCH	142°	147°	152°	156°	160°	164°	168°	171°	174°	177°		178°	175°	173°	171°	169°	168°	166°
12:12 PITCH	140°	144°	149°	153°	158°	162°	165°	169°	172°	175°	178°		178°	176°	174°	172°	170°	169°

TRIMS

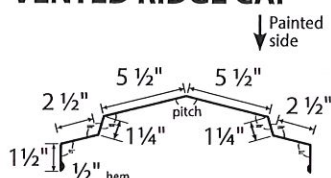
Cutoffs times can vary by product type and length. Please contact your salesperson for details. All angles are 90° or 45° unless otherwise noted.
All trims are 24 gauge, 50ksi, Fluoropon® painted Galvalume® or Galvalume® unless otherwise specified. See page 5 for color codes.

RIDGE CAP



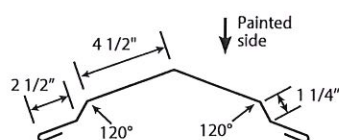
PART #	LENGTH	GIRTH	ROOF SLOPE
CSLHR102(color)	10'2"	17.5"	Specify roof slope.

VENTED RIDGE CAP



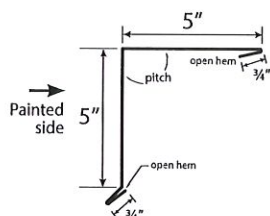
CSLVRDG102(color)	10'2"	22.5"	Specify roof slope.
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RIDGE CAP FLOATING



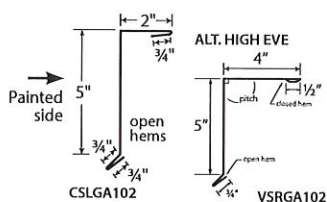
SS202RCP102(color)	10'2"	17.5"	Specify roof slope.
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HIGH EAVE/ GABLE FLASHING



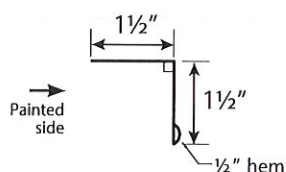
VSRGA2102(color)	10'2"	12.25"	Specify roof slope.
VSRGA2204(color)	20'4"	12.25"	Specify roof slope.

ALT. GABLE FLASHING



CSLGA102(color)	10'2"	9.25"	N/A
VSRGA102(color)	10'2"	11"	Specify roof slope.

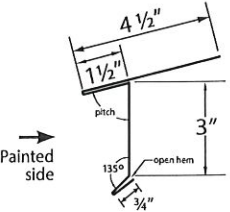
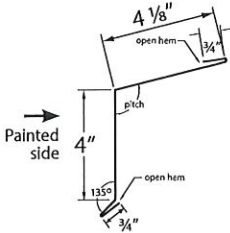
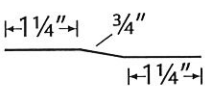
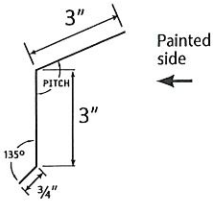
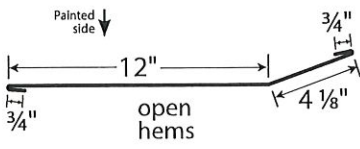
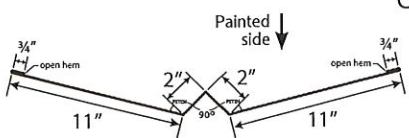
GABLE TRIM ANGLE



VSRGTA102(color)	10'2"	3.5"	N/A
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TRIMS

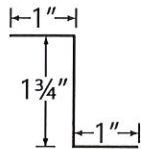
Cutoffs times can vary by product type and length. Please contact your salesperson for details. All angles are 90° or 45° unless otherwise noted.
All trims are 24 gauge, 50ksi, Fluoropon® painted Galvalume® or Galvalume® unless otherwise specified. See page 5 for color codes.

	PART #	LENGTH	GIRTH	ROOF SLOPE
EAVE FLASHING				
	CSLRDC102(color)	10'2"	10.5"	Specify roof slope.
ALT. EAVE FLASHING				
	CSLEA102(color)	10'2"	10.375"	Specify roof slope.
ROOF CLEAT				
	CSLRCL102	10'2"	3.25"	N/A
TRIM CLEAT				
	CSLTC102	10'2"	6.75"	Specify roof slope.
TRANSITION FLASHING				
	CSLTR102(color)	10'2"	17.625"	Specify roof slope.
VALLEY				
	CSLVAL102(color)	10'2"	27.5"	Specify roof slope.

TRIMS

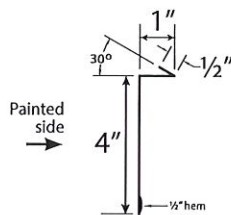
Cutoffs times can vary by product type and length. Please contact your salesperson for details. All angles are 90° or 45° unless otherwise noted.
All trims are 24 gauge, 50ksi, Fluoropon® painted Galvalume® or Galvalume® unless otherwise specified. See page 5 for color codes.

ZEE CLOSURE



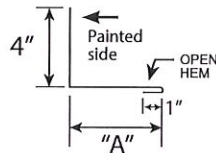
PART #	LENGTH	GIRTH	ROOF SLOPE
CSLZEE102(color)	10'2"	3.75"	N/A

COUNTER FLASHING



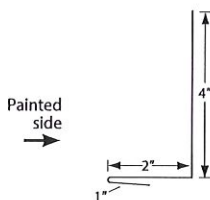
CSLCF102(color)	10'2"	6"	N/A
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RAKE FLASHING



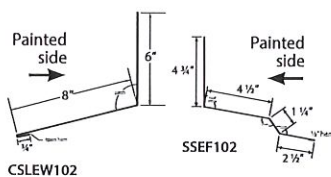
PART #	GAUGE	DIM. "A"	LENGTH	GIRTH	ROOF SLOPE
SSSF102(COLOR)	24	5"	10'2"	10"	N/A
SSPRF102(COLOR)	24	7"	10'2"	12"	N/A

ALT. RAKE FLASHING



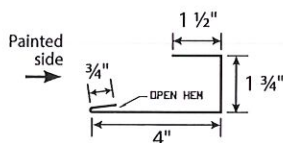
PART #	LENGTH	GIRTH	ROOF SLOPE
CSLRA102(color)	10'2"	7"	N/A

ENDWALL




CSLEW102(color)	10'2"	14.75"	Specify roof slope.
SSEF102(color)	10'2"	13.5"	Specify roof slope.

OPTIONAL J-CLOSURE

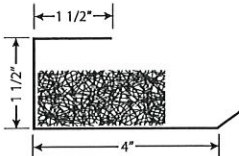


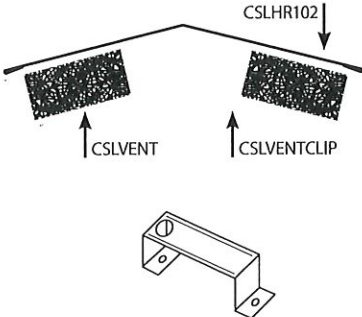
CSLJC102(color)	10'2"	8"
-----------------	-------	----

ACCESSORIES


	PART #	SIZE	NOTES
SEALANT 	GEO(color)	10.3oz tube	clear, gray, white
	MRS(color)	10.3oz tube	call for colors
	MRSCLEAR	10.3oz tube	clear

	PART #	DESCRIPTION	FINISH	GAUGE	LENGTH
RAKE SUPPORT & CLIP 	CL4680	Rake Support	Red Oxide	14	20'0"
	CSLCLP	Fixed Clip			

	PART #	LENGTH
PREVENT 	PREVENT	8' SECTION

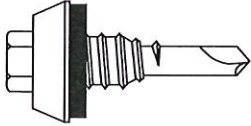
	PART #	SIZE	NOTES
PROFILE RIDGE VENT & CLIP 	CSLHR102		
	CSLVENT16	Use with 16" profile	100' per package
	CSLVENT18	Use with 18" profile	100' per package
		Net free area 48.3 sq.in/ft	
	CSLVENTCLIP	Use with CSLVENT16 or CSLVENT18	25 per box

	PART #	SIZE	GAUGE
FLAT SHEET 	FSK102(color)	10'2 48.5"	24 ga.

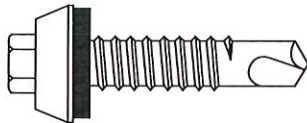
	PART #	#PER BAG
POP RIVET FOR FLASHING JOINTS 	POP(color)	100
	1/8" body diameter	

ACCESSORIES

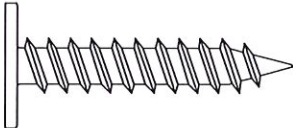
	PART #	COLOR	LENGTH	#PER BAG
LONG LIFE LAP FASTENER FOR EXPOSED TRIM FASTENING	78(color)ZACLAP	all	7/8"	250



LONG LIFE ENDLAP/EAVE FASTENER FOR PANEL ENDLAP/EAVE ATTACHMENT	114(color)ZACMM	all	1 1/4"	250
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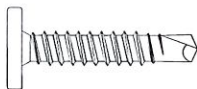


CLIP FASTENER #10 FOR PANEL CLIP & EAVE PLATE ATTACHMENT TO WOOD DECKING	VSRWFAST		1 1/2"	250
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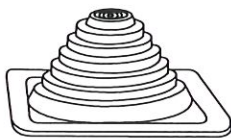


MAXIMUM TEMPERATURE 500 DEGREES

TRIM FASTENER / METAL TO METAL PANCAKE FOR TRIM TO PERIMETER PLATE	12FASTENER		1"	250
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MASTER PIPE FLASHING



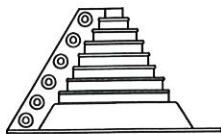
Install in a diamond shape
and not parallel to the seam.

PART #	PIPE SIZE	PART #	PIPE SIZE
MPF	.25" to 5.75"	3SMPF	.25" to 4"
MPF2	.875" to 4"	4SMPF	2.75" to 7"
MPF4	2.75" to 7"	6SMPF	4.75" to 10"
MPF5	4" to 7"	8SMPF	6.75" to 13.5"
MPF6	4.75" to 10"	10SMPF	12" to 28.5"
MPF7	5.5" to 11.5"		
MPF8	6.75" to 13.5"		
MPF9	9.5" to 20.5"		

MAXIMUM TEMPERATURE 250 DEGREES

ACCESSORIES

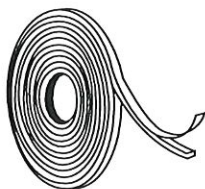
MASTER PIPE FLASHING WITH ZIPPER



PART #	PIPE SIZE
MPF1ZIP	.5" - 4" with zipper
MPF2ZIP	4" - 9.25" with zipper

Install in a diamond shape and not parallel to the seam.

BUTYL TAPE



PART #	LENGTH	WIDTH	THICKNESS	ROLLS PER BOX*
BTR	40'	7/8"	3/16"	10
BTL	45'	3/4"	3/32"	24
BT3/8	45'	3/8"	3/32"	40

Install between fastener and exposed edge.
Rolls per box may vary by location and vendor. Check with your sales person for details.

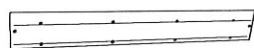
TAPE SEALER



PART #	TYPE	WIDTH	THICKNESS	LENGTH	#PER CARTON	CARTON WT.
CL504A	Tri-Bead	7/8"	3/16"	25'	8 rolls	20.0 lbs

Use to fill any voids at the minor ribs of panel for eave and valley conditions.
Sold by carton only.

TOOLS



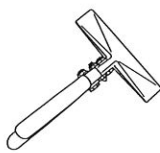
FOLD



FOLDWHANDLE



NOTCHER



SEAMER

PART #	SIZE	
18 FOLD	18"	Folding tool
24 FOLD	24"	Folding tool
18 FOLDWHANDLE	18"	Folding tool with handle
24 FOLDWHANDLE	24"	Folding tool with handle
NOTCHER		Hand notcher
SEAMER	6"	Hand seamer

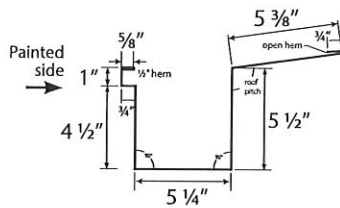
TOUCH UP PAINT

PEN(color)	0.6oz paint pen
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GUTTERS

BOX GUTTER



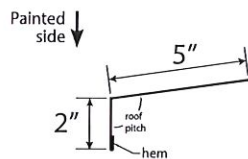
PART #
CSLGU102
CSLGU204

LENGTH
10'2"
20'4"

WIDTH
24.25"
24.25"

ROOF SLOPE
Specify roof slope.
Specify roof slope.

GUTTER EAVE TRIM



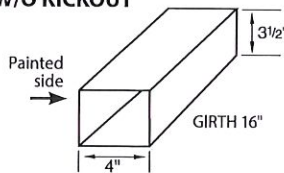
CSLGET102(COLOR)

10'2"

7.5"

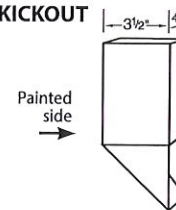
Specify roof slope.

DOWNSPOUT W/O KICKOUT



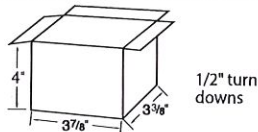
PART #
CSLDS102(color) 10'2"
CSLDS122(color) 12'2"
CSLDS142(color) 14'2"
CSLDS162(color) 16'2"
CSLDS182(color) 18'2"
CSLDS204(color) 20'4"

DOWNSPOUT WITH KICKOUT



PART #
CSLDK102(color) 10'2"
CSLDK122(color) 12'2"
CSLDK142(color) 14'2"
CSLDK162(color) 16'2"
CSLDK182(color) 18'2"
CSLDK204(color) 20'4"

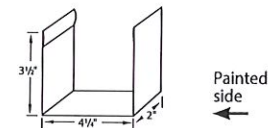
DOWNSPOUT OUTLET



DSOUTLET(color)
specify pitch.

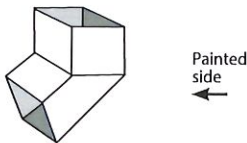
DOWNSPOUT STRAP

CSLDS(color)



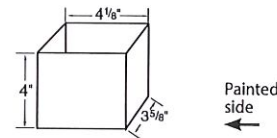
DOWNSPOUT ELBOW

CSLDSE45(color)

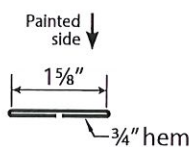


DOWNSPOUT CONNECTOR

CSLDSLVE(color)



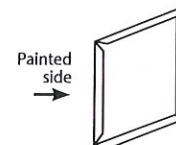
GUTTER STRAP



CSLGS102(color) 10'2"
3.125" wide
FIELD CUT TO LENGTH

GUTTER END CAP

CSLBGEND(color)
for box hang-on or
box eave gutter



This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There are approximately 20 lines visible. The paper has a slight shadow on the right side, suggesting it's part of a bound notebook. There is no handwriting or other markings on the page.



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Morton, Erin

From: Morton, Erin
Sent: Friday, July 31, 2020 7:53 AM
To: Richard Birkholz
Cc: Brian Pettersen; Stephen Ridolfi; Keely Cansler; Tully, Tania; Kinane, Collette
Subject: RE: COA-0106-2020 (724 N Blount Street) Minor Work

Richard,

Great! We will process your placard next week and let you know when it is in the mail. Thank you.

Best,
Erin

Erin Morton

Preservation Planner II

City of Raleigh

Planning and Development

■ Raleigh Urban Design Center

919-996-2632 | raleighnc.gov

For Planning and Development COVID-19 updates, [visit our information page.](#)

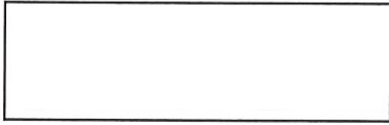
From: Richard Birkholz <richard@oakwoodvaluation.com>
Sent: Thursday, July 30, 2020 9:58 PM
To: Morton, Erin <Erin.Morton@raleighnc.gov>
Cc: Brian Pettersen <raleighroofing@att.net>; Stephen Ridolfi <ridolfi336@gmail.com>; Keely Cansler <Keely@oakwoodvaluation.com>; Tully, Tania <Tania.Tully@raleighnc.gov>; Kinane, Collette <Collette.Kinane@raleighnc.gov>
Subject: Re: COA-0106-2020 (724 N Blount Street) Minor Work

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Good evening everyone and thank you Ms. Morton for your email. Based on Raleigh Roofing's advice, we'll go ahead with the "K"-style gutters and downspouts. Please let me know if you have any other questions and have a great weekend!

Regards,

C. Richard Birkholz
State-Certified General Appraiser
Cert. No. A4939
(919) 455-7309



On Thu, Jul 30, 2020 at 3:55 PM Morton, Erin <Erin.Morton@raleighnc.gov> wrote:

Richard et al,

Thank you for your thoroughness in providing all this additional information. You have answer all of our remaining questions and your minor work request is approvable. We just need to know which style gutter you would like to use; K-style and half-round gutters are both regularly approved in Oakwood, we just need to know which one. Please let us know and we will work to process your placard, likely early next week. Thank you.

Best,

Erin

Erin Morton

Preservation Planner II

City of Raleigh

Planning and Development

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From: Brian Pettersen <raleighroofing@att.net>

Sent: Tuesday, July 28, 2020 9:29 PM

To: Richard Birkholz <richard@oakwoodvaluation.com>

Cc: Morton, Erin <Erin.Morton@raleighnc.gov>; Stephen Ridolfi <ridolfi336@gmail.com>; Keely Cansler <Keely@oakwoodvaluation.com>

Subject: Re: COA-0106-2020 (724 N Blount Street) Minor Work

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Yes sir. We can do that but I would warn that the 1/2 round gutter does not handle water shedding off the roof quite the same as a "K" style gutter as currently installed. With the torrential storms

we get here in North Carolina, like tonight, the water tends to slosh up and back over the the gutter due to the shape itself. The "K" style gutter restricts overflow over the top edge due to the break in the "roundness" of the gutter itself. Keeping water in the gutter. Half round gutter is very nice looking aesthetically, but has limitations with large volumes of water. You would have to increase the size to 6" half round, instead of 5", and spend/invest more money, with the possibility that it might still wash out mulch in the plant beds below. Just want to be forthright with all involved and have a pleased customer over the duration.

We will do whatever you choose to do but wanted to share my past experience over the last 20 years with this type of request.

Best regards,

Brian Pettersen

Raleigh Roofing & Exteriors, Inc.

919.427.5837

Sent from a mobile device. Please excuse brevity and/or typos.

On Jul 28, 2020, at 2:41 PM, Richard Birkholz <richard@oakwoodvaluation.com> wrote:

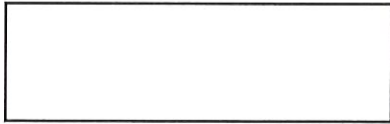
As requested, please find attached several plats and maps showing the full property enclosure including shed location. We have selected a Black metal roof covering and Dark Bronze gutters and downspouts. Brian/Allison, if the City is amenable, can we explore round downspout gutters?

C. Richard Birkholz

State-Certified General Appraiser

Cert. No. A4939

(919) 455-7309



On Tue, Jul 28, 2020 at 12:26 PM Brian Pettersen <raleighroofing@att.net> wrote:

Good afternoon all. Plumbing vent stacks will remain in the original location. There is an exhaust fan that is no longer in use that will be removed on the main building. Also there is a flu pipe on the shed that will be removed which also is no longer in use. New gutters will be added to replace the old and will remain the same as far as style and downspout location. Colors still TBD.

The 16" standing seam panels will have no striations ("ribs") between the standing seams. The profile in the product guide shows striations. In other words, the panel will be smooth between the 2 seams. Please let me know if you have any other questions.

Brian Pettersen

Raleigh Roofing & Exteriors, Inc.

919.427.5837

Sent from a mobile device. Please excuse brevity and/or typos.

On Jul 27, 2020, at 5:22 PM, Richard Birkholz <richard@oakwoodvaluation.com> wrote:

Good evening Ms. Morton, I trust you had a pleasant weekend. Sorry for the day as I've been out of the office. Our contractor has forwarded a product info guide which is attached for your reference. Brian Pettersen and Allison Morgan with Raleigh Roofing are CC'd here (one email for both) and can provide clarity on some of your questions. The panel profile is on Page 5 and, it is my understanding that the panel coverage will be 16-inches between standing seams. The ridge cap will be the floating ridge cap on page 15 and the valley is listed on page 16. I am unsure about the pipes or vents, perhaps the contractor can answer that question. I believe we are replacing all existing gutters and downspouts in their existing location but am also not certain about that. The note regarding roof form changes was left over from when we were contemplating an asphalt shingle roof. I intended to include the quote for the gutters section, sorry for the confusion. Raleigh Roofing has offered to summarize the quote to provide clarity on the scope of services. We are still mulling/obsessing over color options but will forward those as soon as we settle on a color scheme. In the meantime, feel free to call or email with any questions.

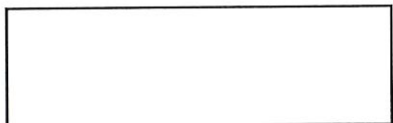
Thanks and have a great week!

C. Richard Birkholz

State-Certified General Appraiser

Cert. No. A4939

(919) 455-7309



On Fri, Jul 17, 2020 at 3:22 PM Morton, Erin <Erin.Morton@raleighnc.gov> wrote:

Stephen and Richard,

I forgot to add in the previous email that the second page of the quote seems to indicate a series of changes to the existing roof form. If roof changes are being proposed, please provide a drawing of the changes. Thank you and let us know if you have any questions. Have a good weekend!

Best,

Erin

Erin Morton

Preservation Planner II

City of Raleigh

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From: Morton, Erin

Sent: Friday, July 17, 2020 3:16 PM

To: ridolfi336@gmail.com; Richard@OakwoodValuation.com

Cc: Tully, Tania <Tania.Tully@raleighnc.gov>; Kinane, Collette
<Collette.Kinane@raleighnc.gov>

Subject: COA-0106-2020 (724 N Blount Street) Minor Work

Stephen and Richard,

Thank you for submitting your minor work for 724 N Blount Street. We see that you would like replace the asphalt shingle roof with a standing seam metal roof. Overall, this is likely an approvable request, but we need a few clarifications and additional details.

Please provide a picture of the standing seam profile you propose to use. What is the proposed pan width and finish color? We need a ridge cap spec or picture in addition to the description already provided. Will any of the pipes or vents to be removed be reinstalled – this is not a requirement, we just want to make sure we note it, if so.

Please provide a photo of the detached shed that will also be receiving new roofing, as well as a site plan showing the location of the shed on the property. An accurate site sketch is fine for this. You have noted that the full property will receive new gutters and downspouts. Will you just be replacing what is existing on the buildings now or adding new gutters/downspouts in addition to those areas? Will the new gutters/downspouts match the existing profile and color? If not, please provide details for the proposed materials. Thank you.

Best,

Erin

Erin Morton

Preservation Planner II

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<Property Plats.pdf>

