



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Alter existing parking lot surface material; install curbs and medians; install new plantings

15 E Peace St

Address

Blount Street

Historic District

Peace College Main Building

Historic Property

COA-0106-2025

Certificate Number

8/1/2025

Date of Issue

2/1/2026

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:		
Applicant name: Peace College of Raleigh, Inc.		
Mailing address: 15 E. Peace Street		
City: Raleigh	State: NC	Zip code: 27604-1176
Date: 07.21.2025	Daytime phone #: 919.508.2336	
Email address: <u>JBcranham@Peace.edu</u>		
Applicant signature: <u>[Signature]</u>		
<p>Minor work (staff review) – one copy</p> <p>Major work (COA committee review) – ten copies</p> <p style="padding-left: 40px;">Additions > 25% of building sq. footage</p> <p style="padding-left: 40px;">New buildings</p> <p style="padding-left: 40px;">Demolition of building or structure</p> <p style="padding-left: 40px;">All other</p> <p>Post approval re-review of conditions of approval</p>	<p style="text-align: center;">Office Use Only</p> <p>Transaction #: _____</p> <p>File #: COA-0106-2025</p> <p>Fee: _____</p> <p>Amount paid: _____</p> <p>Received date: _____</p> <p>Received by: _____</p>	
Property street address: 15 E. Peace Street, Raleigh, NC 27604-1176		
Historic district: HOD-G (General Historic Overlay District) Blount Street		
Historic property/Landmark name (if applicable):		
Owner name: Peace College of Raleigh, Inc.		
Owner mailing address: 15 E. Peace Street, Raleigh, NC 27604-1176		


For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input checked="" type="radio"/> No <input type="radio"/>	Office Use Only Type of work: <u>53</u>
Did you consult with staff prior to filing the application? <input checked="" type="radio"/> Yes <input type="radio"/> No	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
1.5	Off-Street Parking	Converting an existing gravel parking lot to a paved parking lot consistent with others on site

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>02/01/2026</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u></u>	Date <u>08/01/2025</u>

July 24, 2025

William Peace University Parking Lot #9

Project Description

The proposed project is located at the northwest corner of the subject site. The project includes the conversion of an existing gravel parking lot to a paved parking lot that will be consistent with other paved parking lots on the subject site. The proposed project has been designed to:

1. Retain and preserve the topography and drainage patterns of the existing site.
2. Maintain a similar footprint to the existing gravel parking lot.
3. Provide a paved parking lot that is consistent with dimensions and materials of other existing parking lots on the subject site.
4. Enable the preservation of existing trees and landscaping in and around the subject parking lot.
5. Protect and maintain existing walkways and driveways.



4909 Liles Road
Raleigh, NC 27606

www.grounded-engineering.com
919.438.3694

grounded
ENGINEERING











EMERGENCY

EMERGENCY

EMERGENCY

LiveGreen
Live Better.

919-453-6411
Livegreeninc.com



FORREY
HIMPSTERS
919-512-6200
Franklin Group









DO NOT
ENTER

DO NOT
ENTER

GRFENLEE

HERMANN
ATHLETIC CENTER
WINTHROP, NC

BARRINGER





COMMUTER
STUDENT
FACULTY &
STAFF
PARKING
ONLY

EXIT
←

SKYU 349276 0
2261
NO GROSS WEIGHT UP
TO 10,000 LBS
NO OVERSIZED LOADS
NO FLAMMABLE LIQUIDS
NO HAZARDOUS MATERIALS
NO LIQUID GASES
NO SOLID GASES

United
Storage
Units
www.united-storage.com
800.456.7890



Piedmont Service Group
Building Efficiency and Sustainability
A Service Logic Company

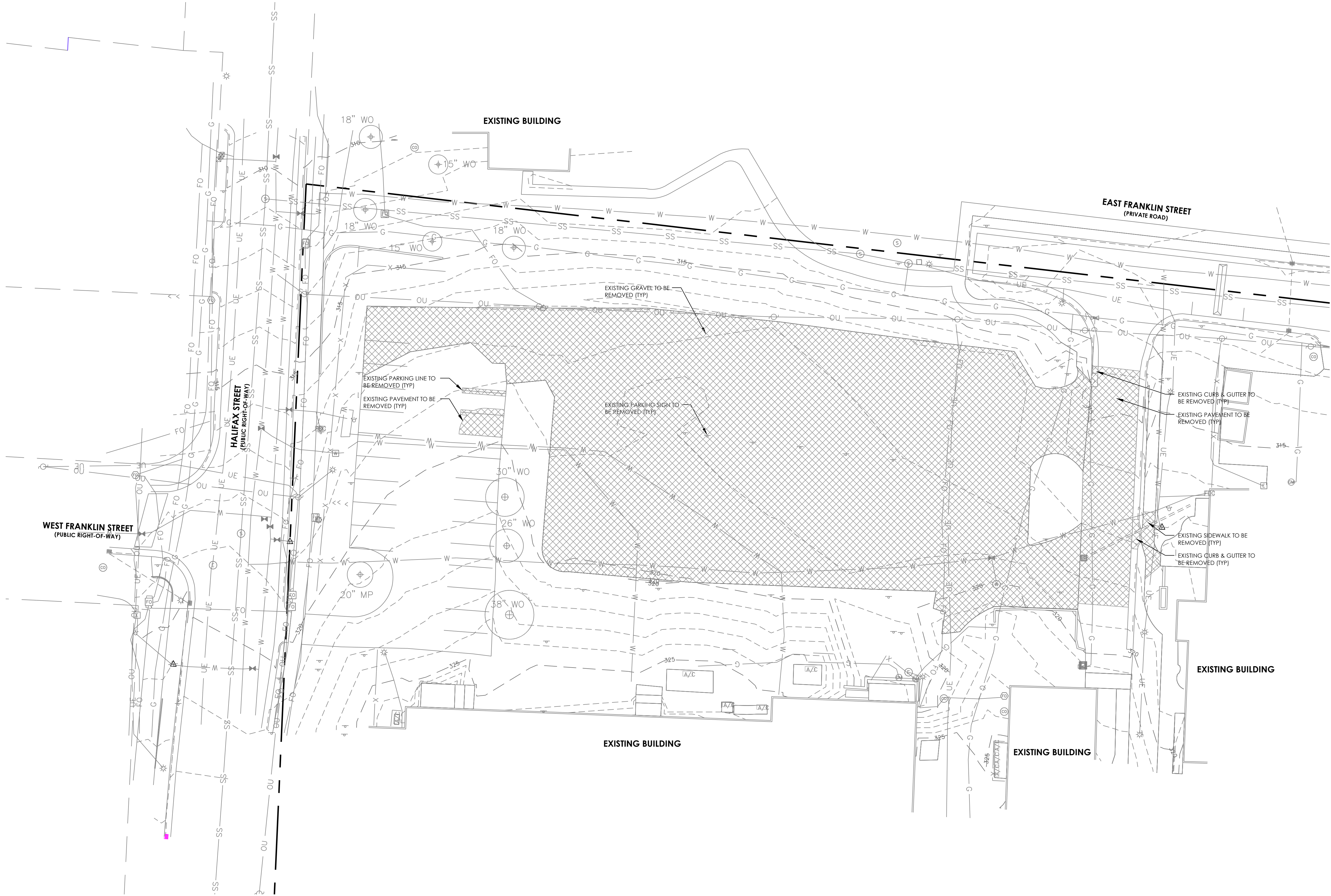
919-851-5800
piedmontservicegroup.com

SILVERADO

1624

WEIGHTED
VC-9739
NORTH CAROLINA





ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
REFER TO SHEET C-002 FOR PROJECT AND SHEET SPECIFIC NOTES.

LEGEND

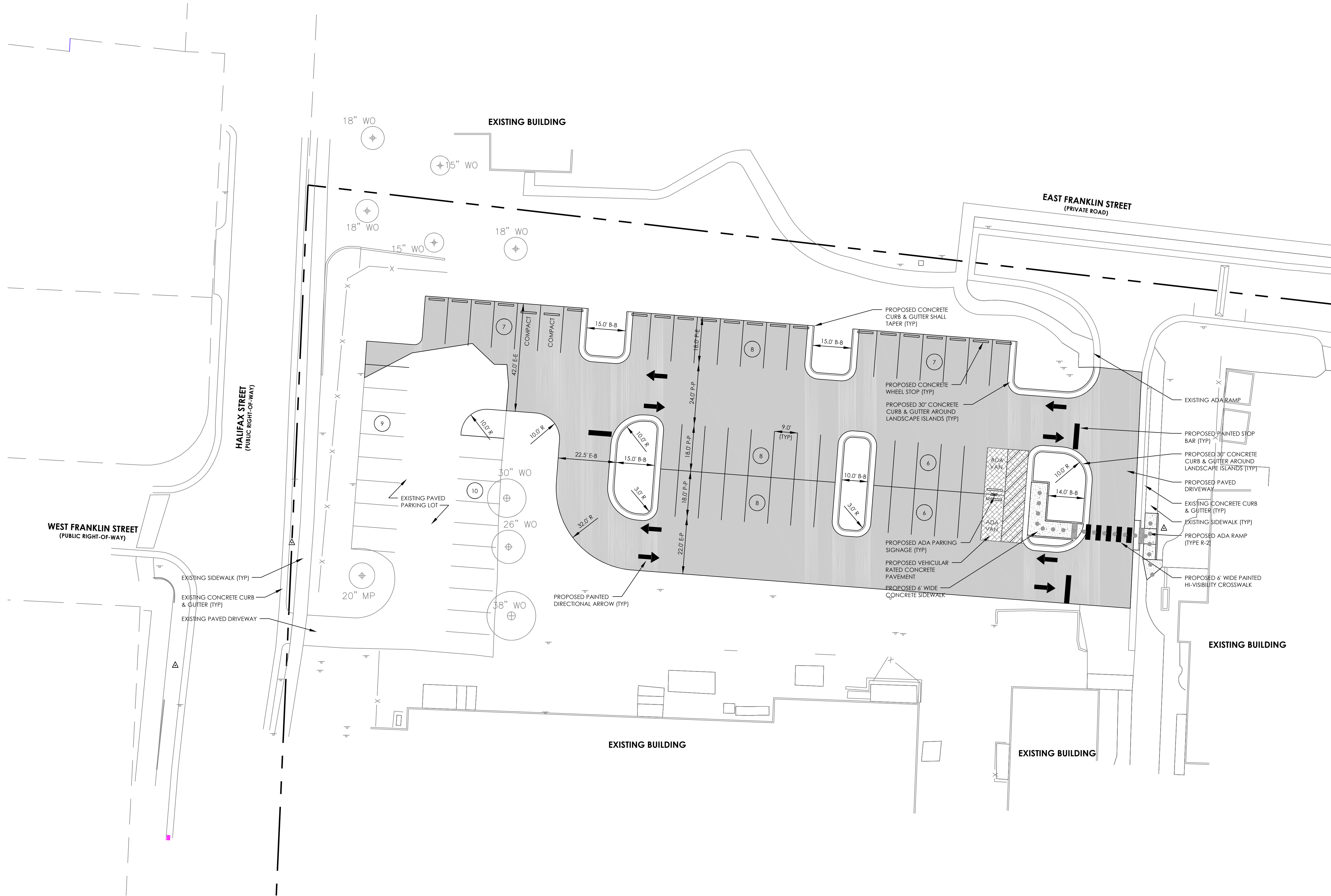
---	XXX	EXISTING CONTOUR (MAJOR)
---	XXX	EXISTING CONTOUR (MINOR)
---	W	EXISTING WATERLINE
---	SS	EXISTING SANITARY SEWER
---		EXISTING STORM DRAINAGE
---	OU	EXISTING OVERHEAD UTILITY LINE
---	UE	EXISTING UNDERGROUND UTILITY LINE
---	- - -	EXISTING PROPERTY LINE
---	X	EXISTING CHAIN LINK FENCE
○	PP	EXISTING UTILITY POLE
⊕	LP	EXISTING LIGHT POLE
⊕		EXISTING FIRE HYDRANT
⊕		EXISTING WATERLINE VALVE
⊕	S	EXISTING SANITARY SEWER MH
⊕	CO	EXISTING CLEANOUT
⊕	D	EXISTING STORM DRAINAGE MH
⊕		EXISTING IMPROVEMENTS TO BE REMOVED



WILLIAM PEACE UNIVERSITY
PARKING LOT #9
SITE DEMOLITION PLAN

ISSUE DATE	05/16/2025				
SUBMITAL DESCRIPTION	0 - INITIAL SUBMITAL TO CITY OF RALEIGH				

PROJECT #	25018
SHEET #	C-210



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
REFER TO SHEET C-002 FOR PROJECT AND SHEET SPECIFIC NOTES.

LEGEND

- (XX) PROPOSED # OF PARKING SPACES
- PROPOSED ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ADA PATHWAY
- PROPOSED SIGN
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED # OF PARKING SPACES
- PROPOSED PAINTED STOP BAR (TYP)
- PROPOSED 30" CONCRETE CURB & GUTTER AROUND LANDSCAPE ISLANDS (TYP)
- PROPOSED PAVED DRIVEWAY
- EXISTING CONCRETE CURB & GUTTER (TYP)
- EXISTING SIDEWALK (TYP)
- PROPOSED ADA RAMP (TYPE R-2)
- PROPOSED 4' WIDE PAINTED HI-VISIBILITY CROSSWALK



WILLIAM PEACE UNIVERSITY
PARKING LOT #9
SITE LAYOUT PLAN

ISSUE DATE	SUBMITAL DESCRIPTION
05/16/2025	0 - INITIAL SUBMITAL TO CITY OF RALEIGH

PROJECT #
25018
SHEET #
C-310

4909 Lies Road
Raleigh, NC 27606
919.438.3694 (o)
Firm License C-3898

grounded
ENGINEERING

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
REFER TO SHEET C-002 FOR PROJECT AND SHEET SPECIFIC NOTES.

4909 Lies Road
Raleigh, NC 27606
919.438.3694 (o)
Firm License C-3898

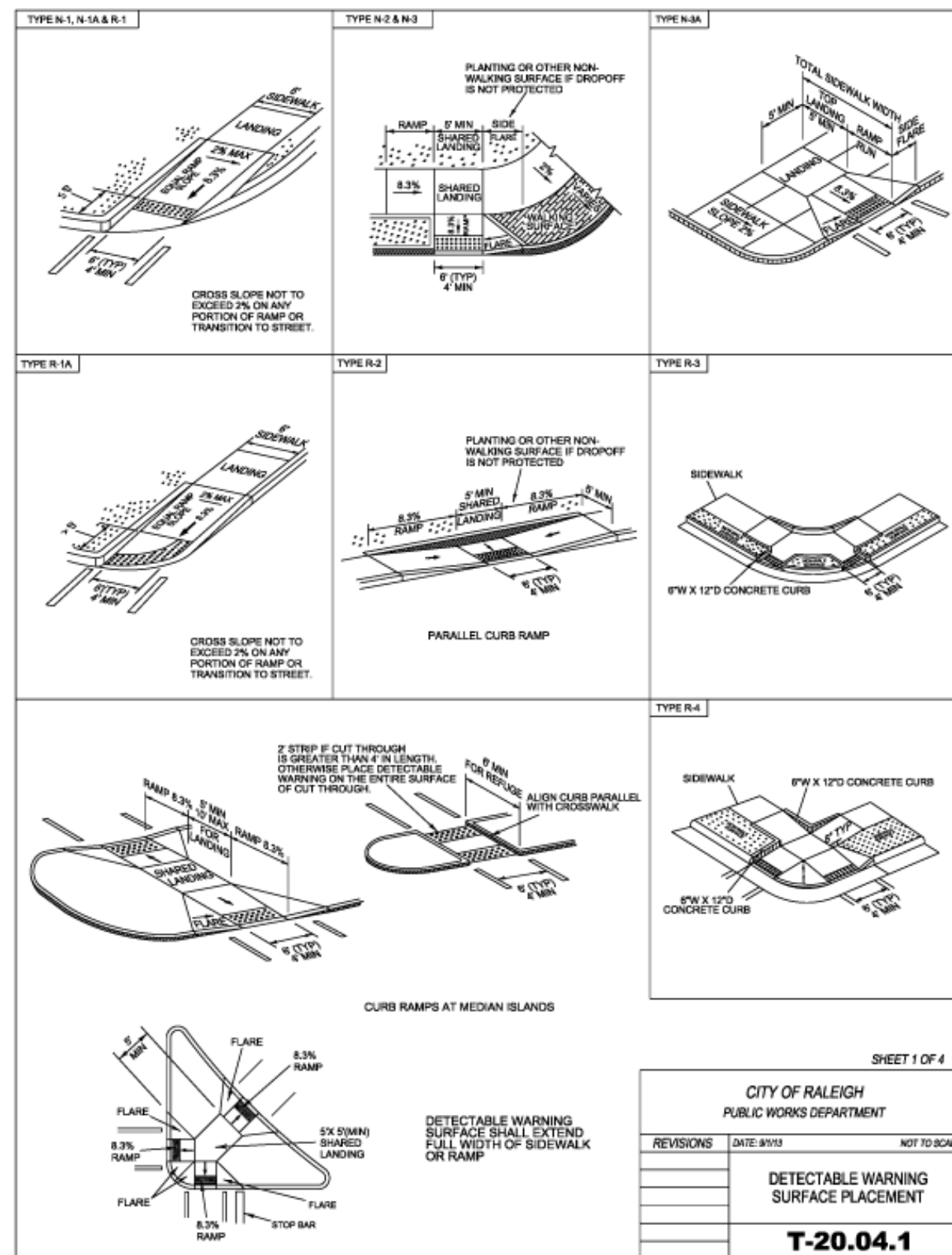
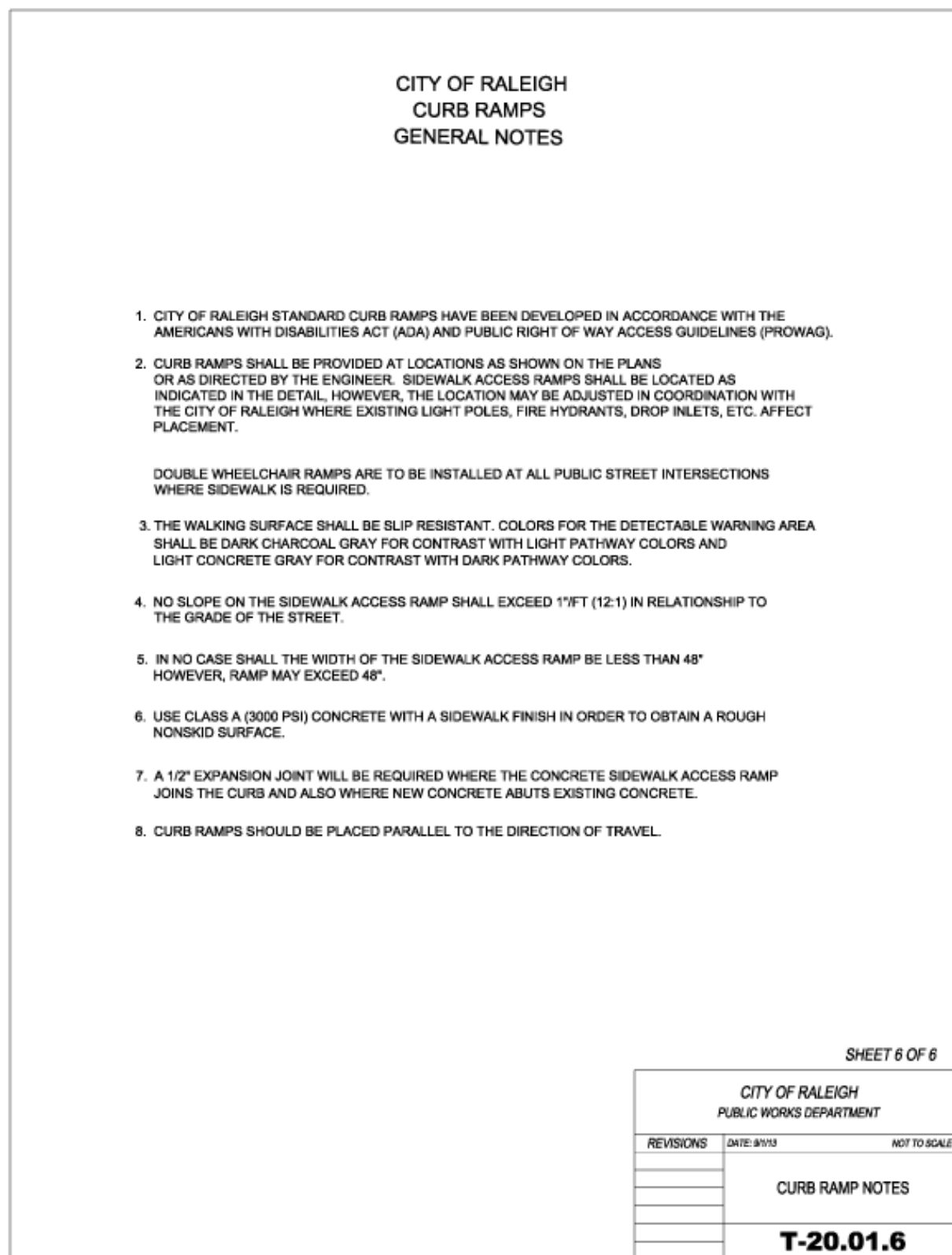
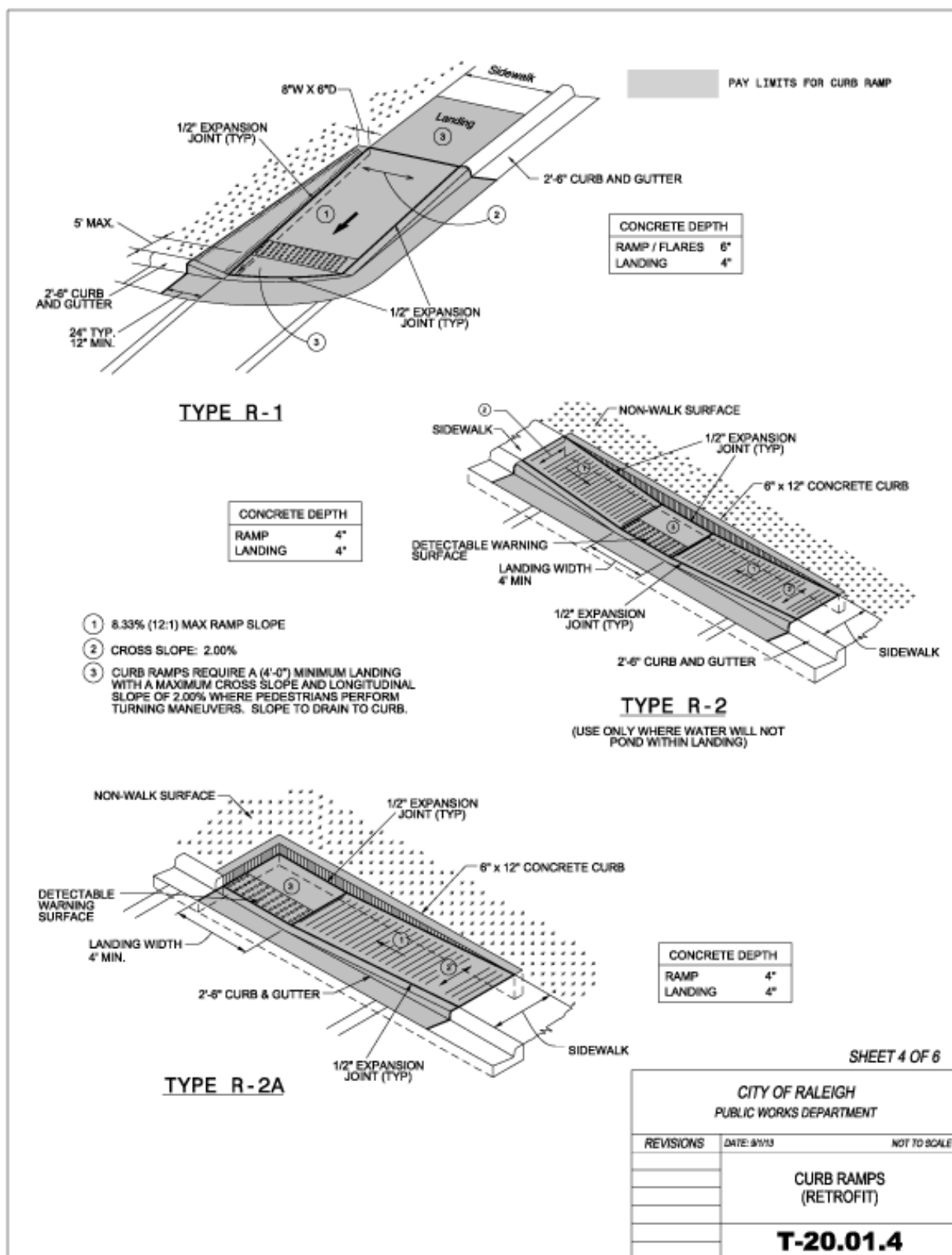
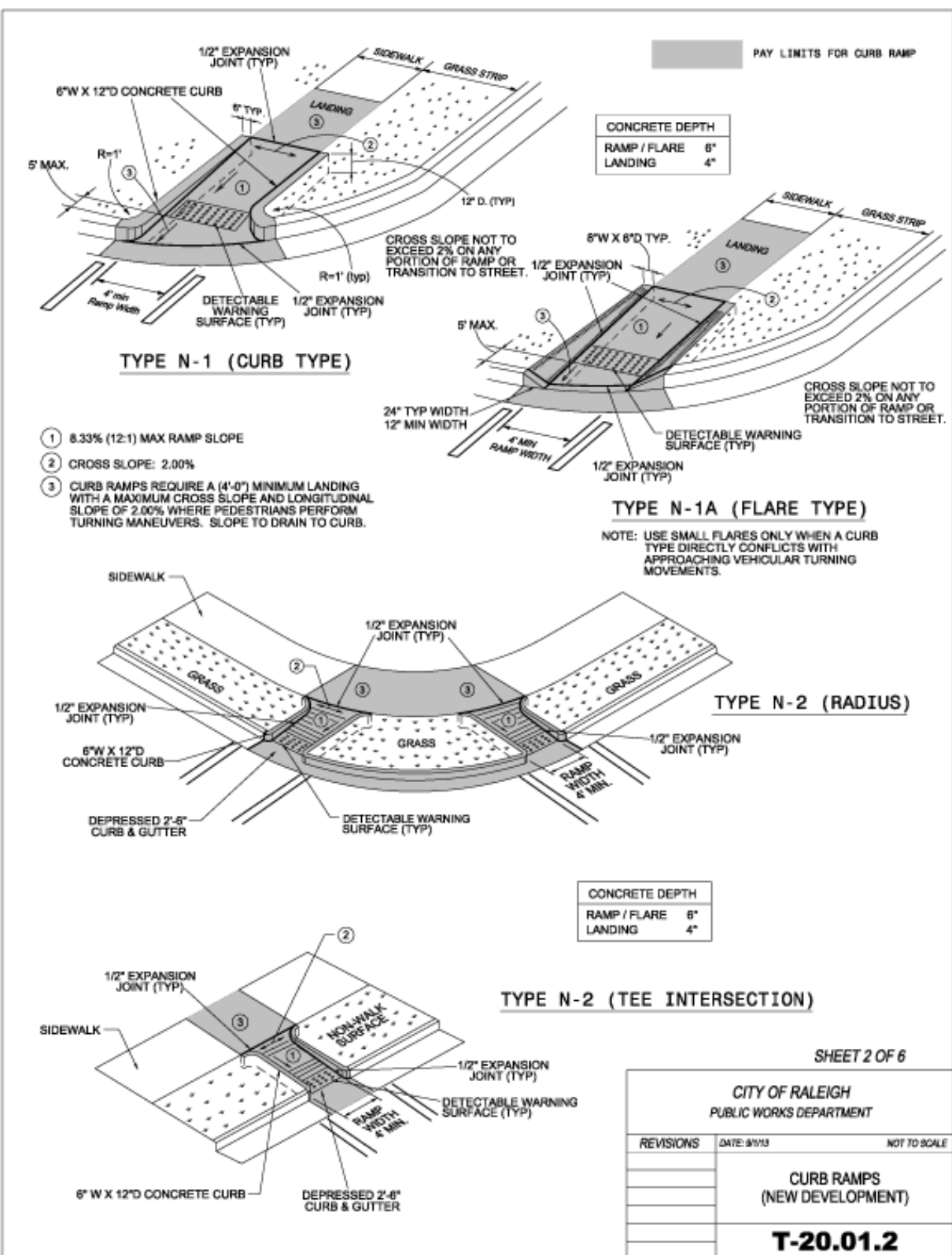
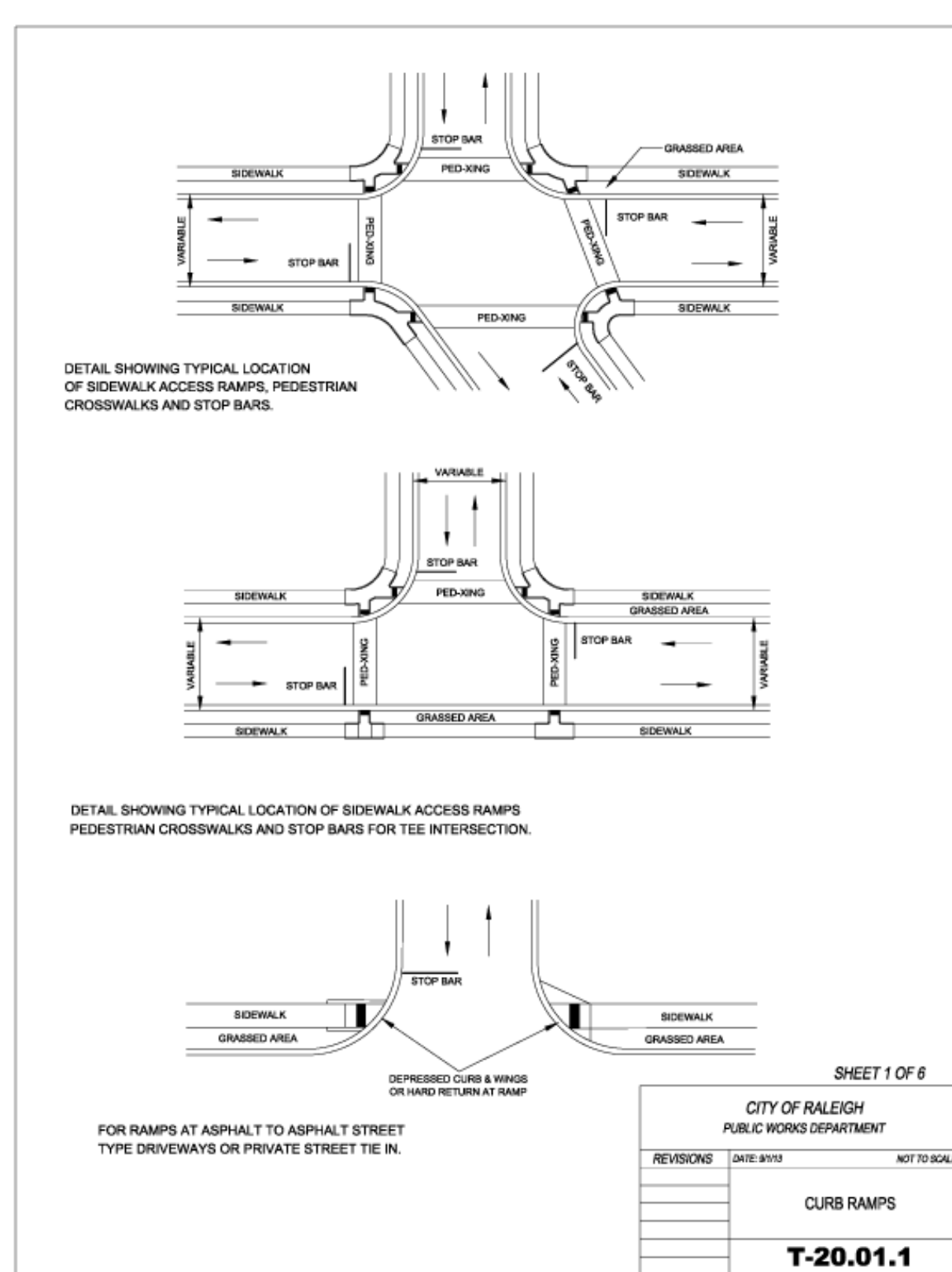
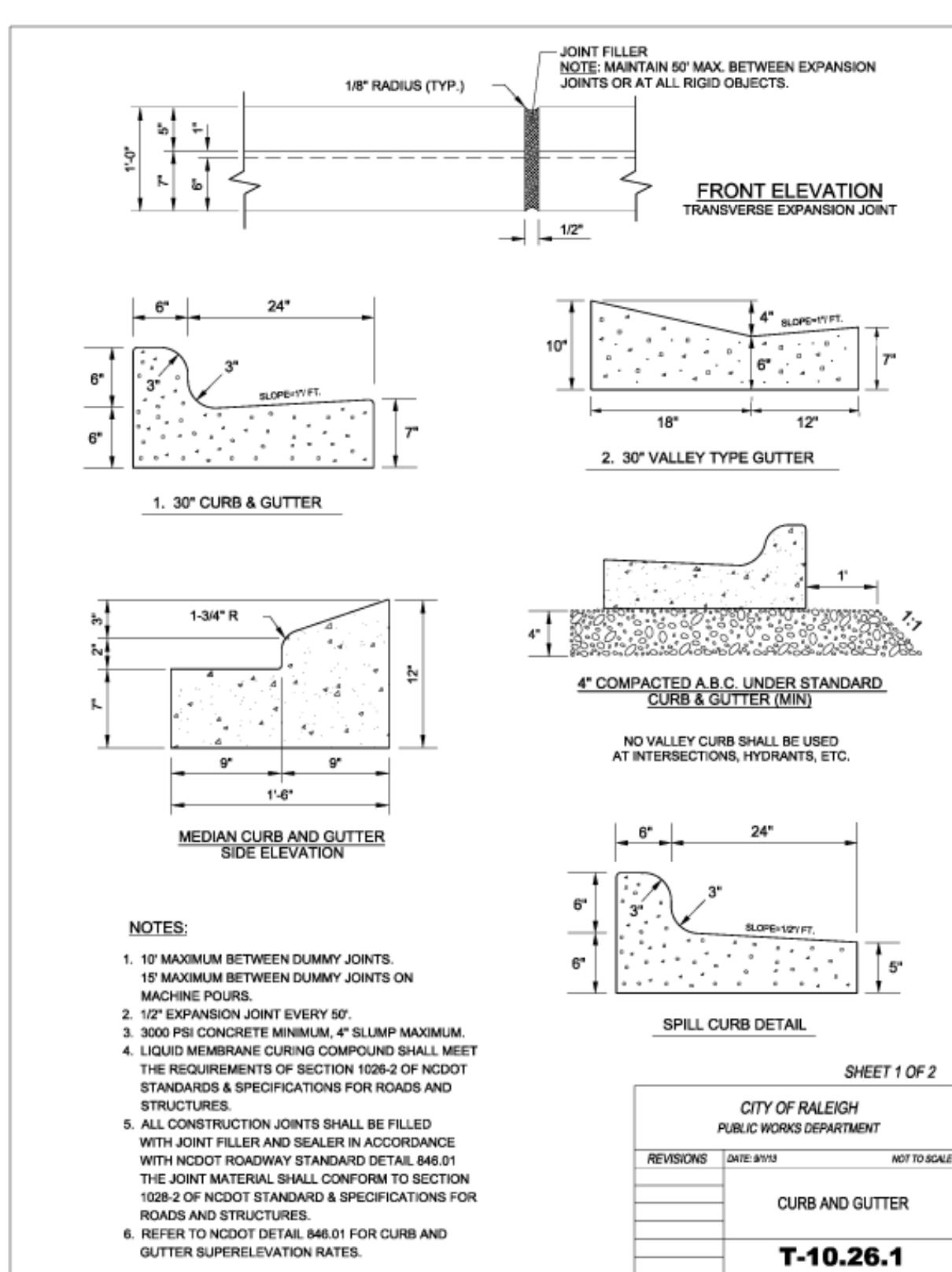
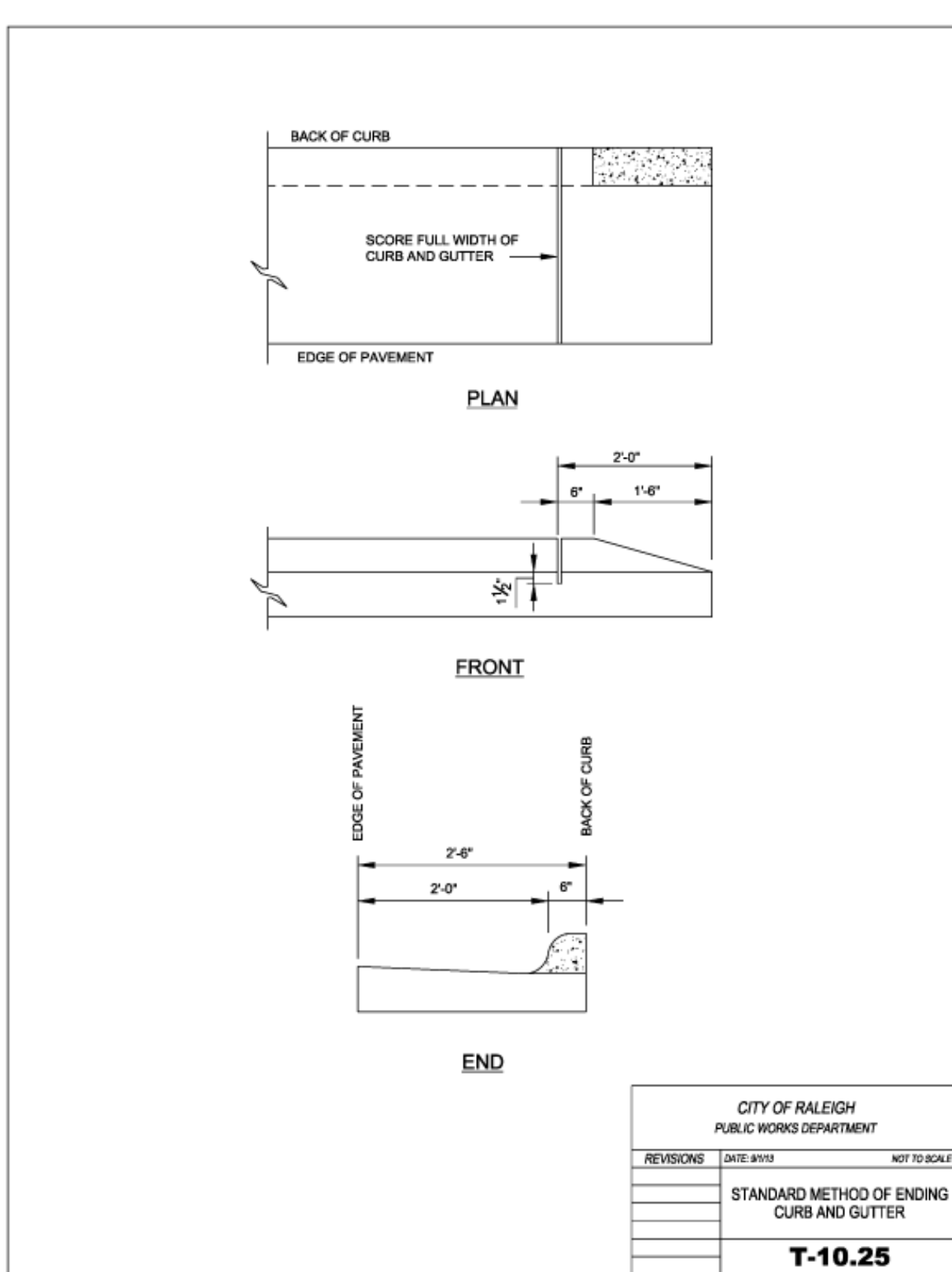
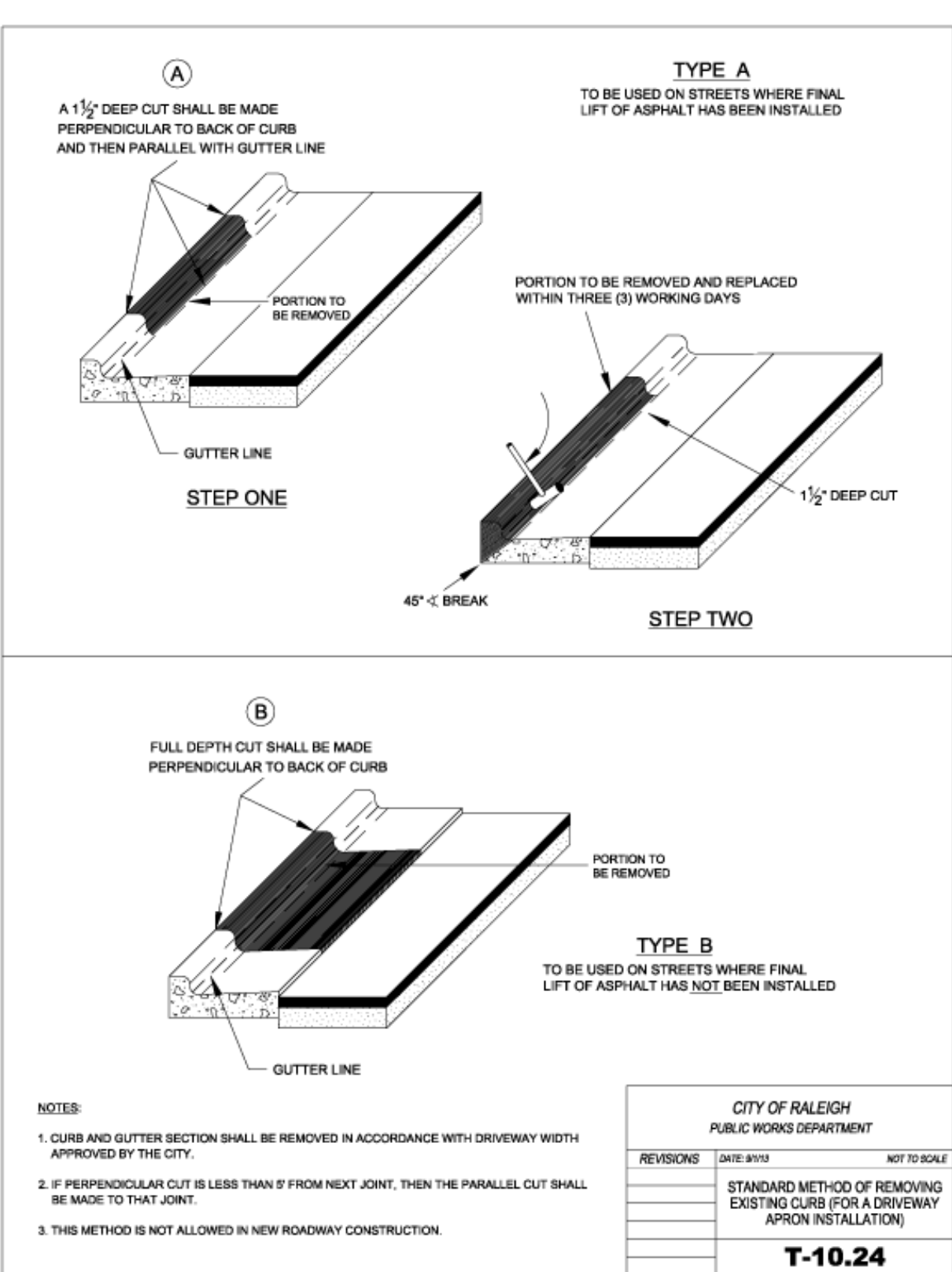
grounded
ENGINEERING



WILLIAM PEACE UNIVERSITY
PARKING LOT #9
SITE DETAILS



Know what's below.
Call before you dig.



4909 Liles Road
Raleigh, NC 27606
919.438.3694 (o)
Firm License C-3898

grounded
ENGINEERING



WILLIAM PEACE UNIVERSITY
PARKING LOT #9

SITE DETAILS



Know what's below.
Call before you dig

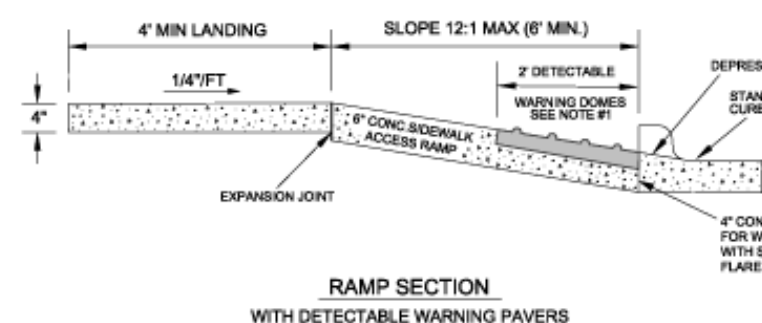
ISSUE DATE	SUBMITTAL DESCRIPTION
05.16.2025	0 - INITIAL SUBMITTAL TO CITY OF RALEIGH

PROJECT #	
-----------	--

25018

SHEET #

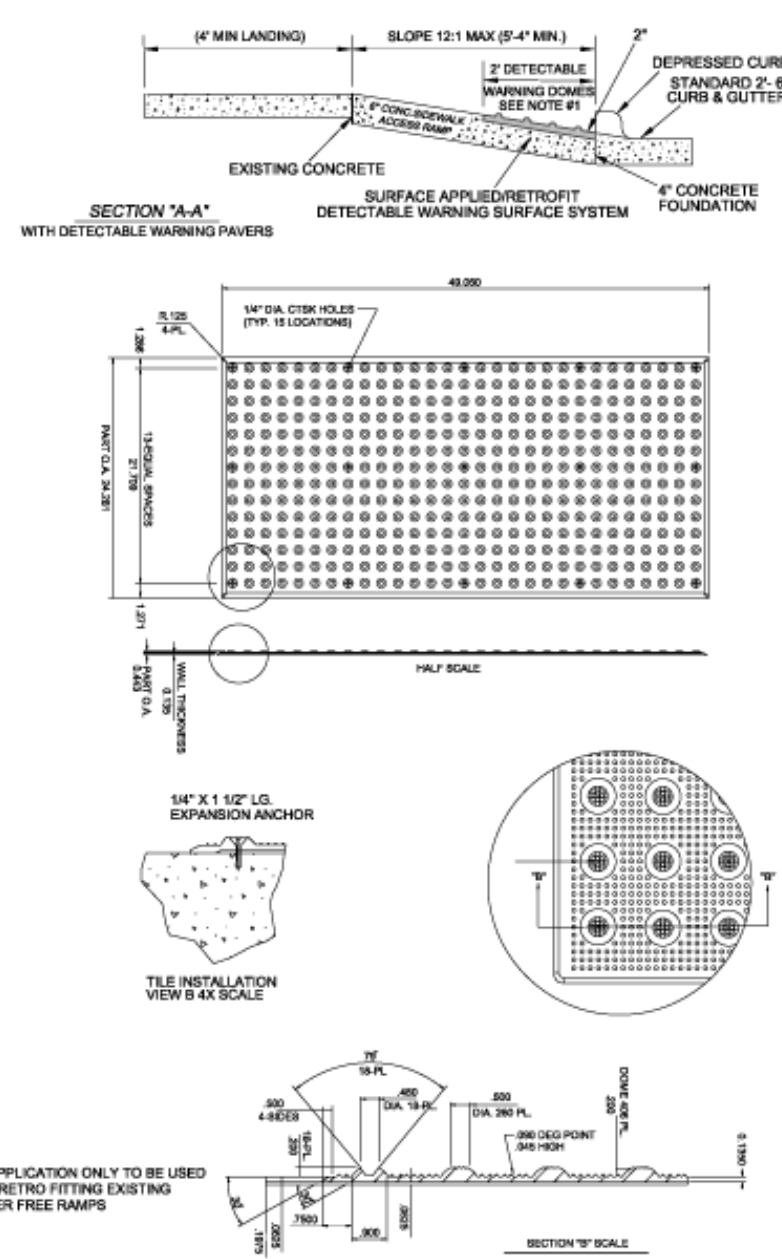
C-901



NOTES:

1. DETECTABLE WARNING DOMES SHALL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON DETAIL. SIZE OF PAVER SHALL BE 1' X 1'.
2. OBTAIN 70% CONTRAST VISIBILITY WITH ADJOINING SURFACE, EITHER LIGHT ON DARK, OR DARK ON LIGHT SEQUENCE COVERING THE DETECTABLE WARNING AREA.

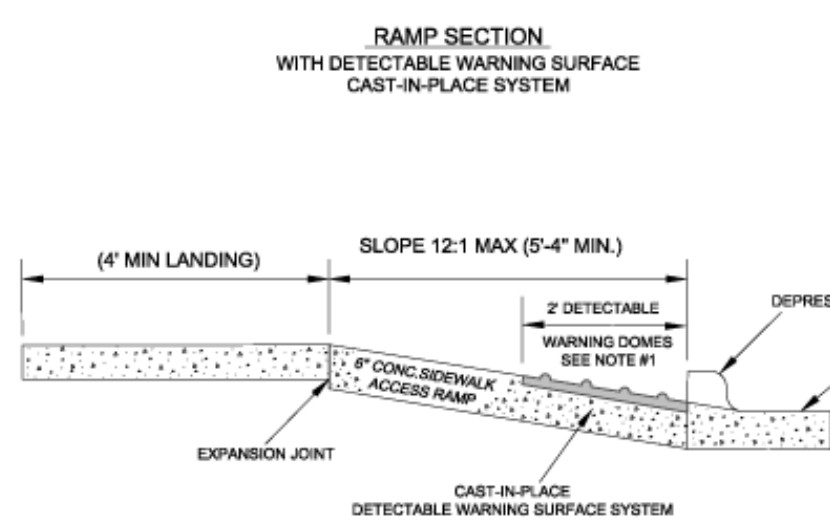
CITY OF RALEIGH PUBLIC WORKS DEPARTMENT		
REVISIONS	DATE: 9/1/13	NOT TO SCALE
	DETECTABLE WARNING SURFACE PAVERS	
	T-20.04.2	



NOTES:

1. DETECTABLE WARNING DOMES SHALL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON DETAIL.
2. OBTAIN 70% CONTRAST VISIBILITY WITH ADJOINING SURFACE, EITHER LIGHT ON DARK, OR DARK ON LIGHT SEQUENCE COVERING THE DETECTABLE WARNING AREA.

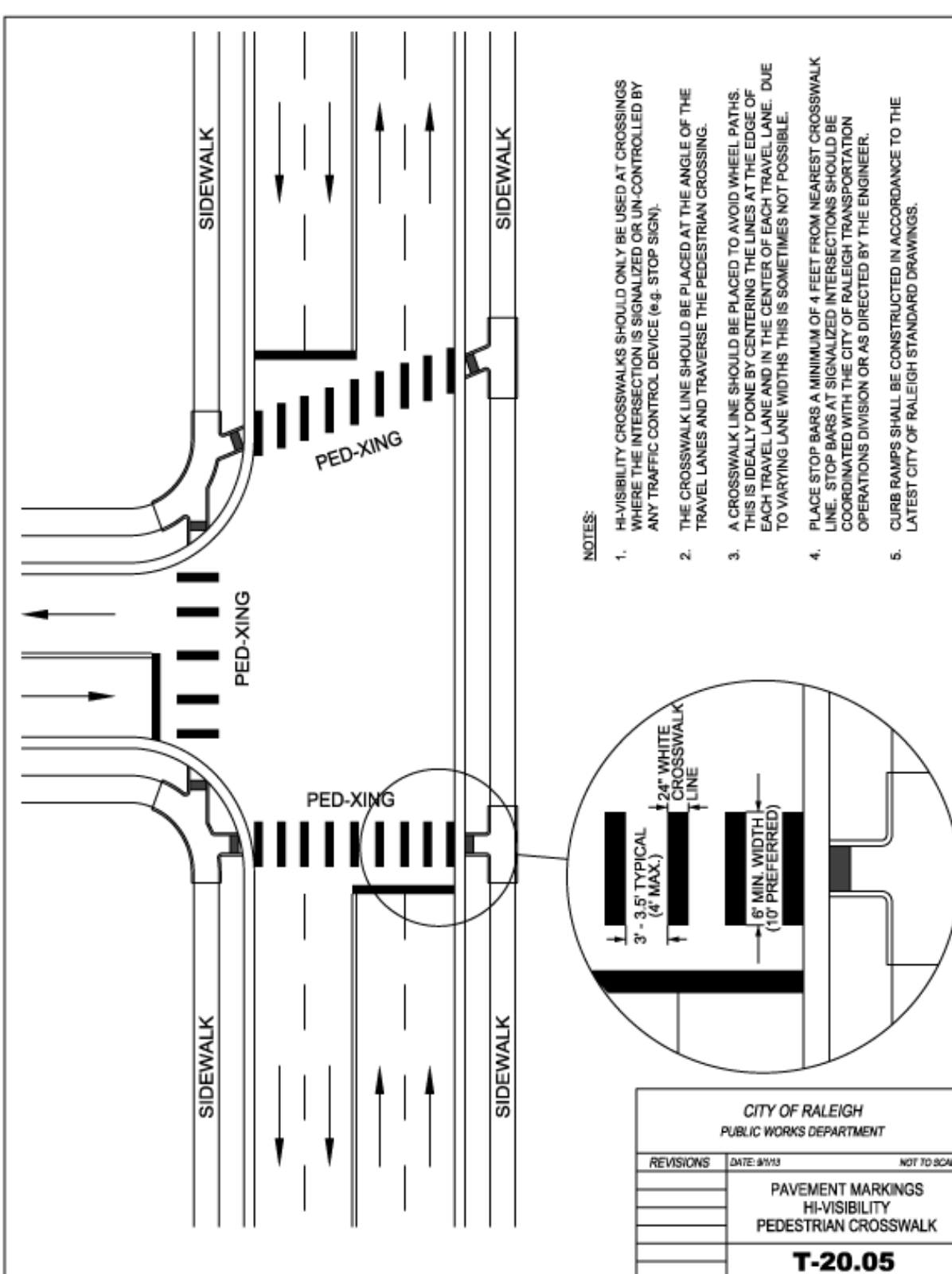
CITY OF RALEIGH PUBLIC WORKS DEPARTMENT		
REVISIONS	DATE: 8/1/13	NOT TO SCALE
	DETECTABLE WARNING SURFACE, SURFACE APPLIED (RETROFIT ONLY)	
	T-20.04.3	



NOTES:

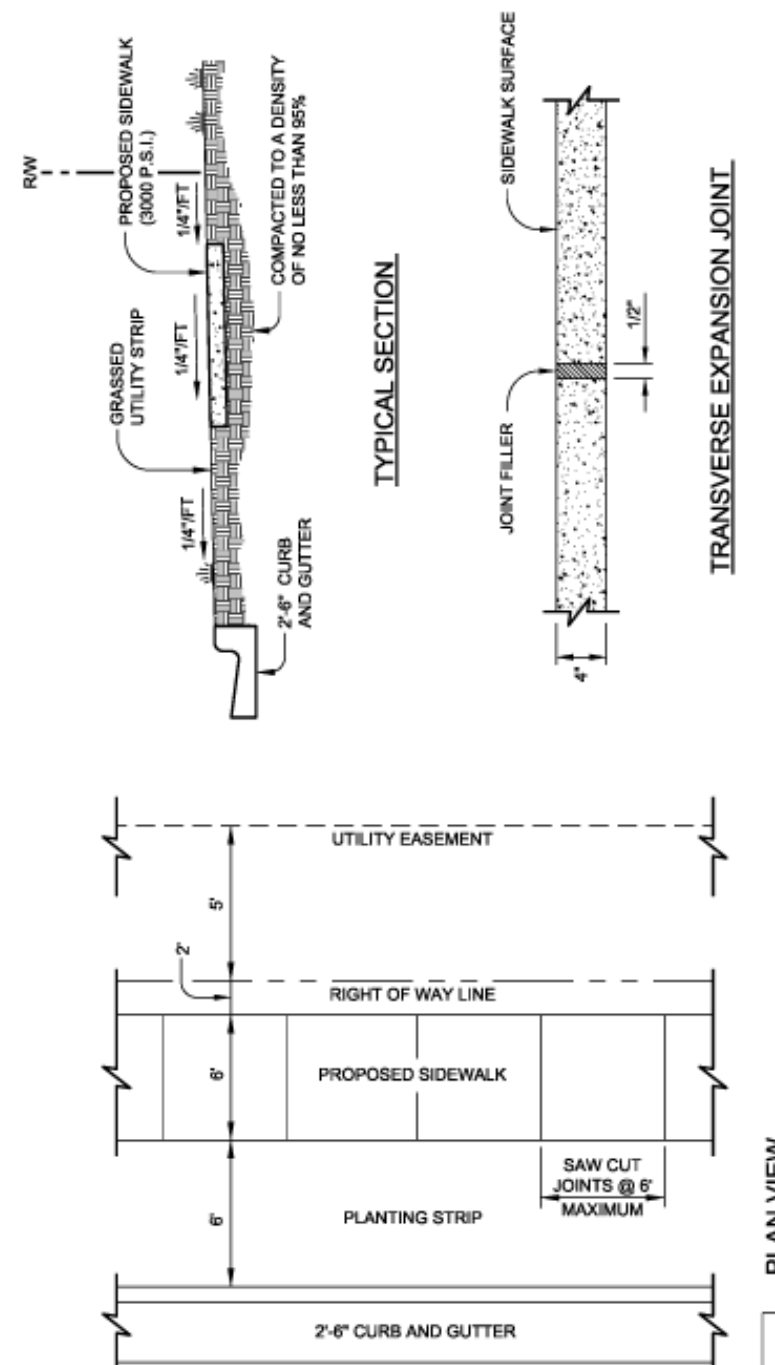
1. DETECTABLE WARNING DOMES SHALL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON DETAIL.
2. OBTAIN 70% CONTRAST VISIBILITY WITH ADJOINING SURFACE, EITHER LIGHT ON DARK, OR DARK ON LIGHT SEQUENCE COVERING THE DETECTABLE WARNING AREA.

CITY OF RALEIGH PUBLIC WORKS DEPARTMENT		
REVISIONS	DATE: 8/1/13	NOT TO SCALE
	DETECTABLE WARNING CAST-IN-PLACE	
	T-20.04.4	



1. VISIBILITY CROSSWALKS SHOULD ONLY BE USED AT CROSSINGS WHERE THE INTERSECTION IS SIGNALIZED OR UNCONTROLLED BY ANY TRAFFIC CONTROL DEVICE (e.g. STOP SIGN).
2. THE CROSSWALK LINE SHOULD BE PLACED AT THE ANGLE OF THE TRAVEL LANE AND TRANSVERSE THE PEDESTRIAN CROSSING.
3. A CROSSWALK LINE SHOULD BE PLACED TO AVOID WHEEL PATHS. THIS IS IDEALLY DONE BY CENTERING THE LINES AT THE EDGE OF EACH TRAVEL LANE AND IN THE CENTER OF EACH TRAVEL LANE. DUE TO VARYING LANE WIDTHS THIS IS SOMETIMES IMPOSSIBLE.
4. PLACE STOP BAR A MINIMUM OF 4 FEET FROM NEAREST CROSSWALK LINE. STOP BAR SHOULD BE PLACED IN THE CENTER OF THE TRAVEL LANE AND COORDINATED WITH THE CITY OF FALCON TRANSPORTATION OPERATIONS DIVISION OR AS DIRECTED BY THE ENGINEER.
5. CURB RAMPERS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE

CITY OF RALEIGH PUBLIC WORKS DEPARTMENT		
REVISIONS	DATE: 8/1/13	NOT TO SCALE
	PAVEMENT MARKINGS HI-VISIBILITY PEDESTRIAN CROSSWALK	
	T-20.05	

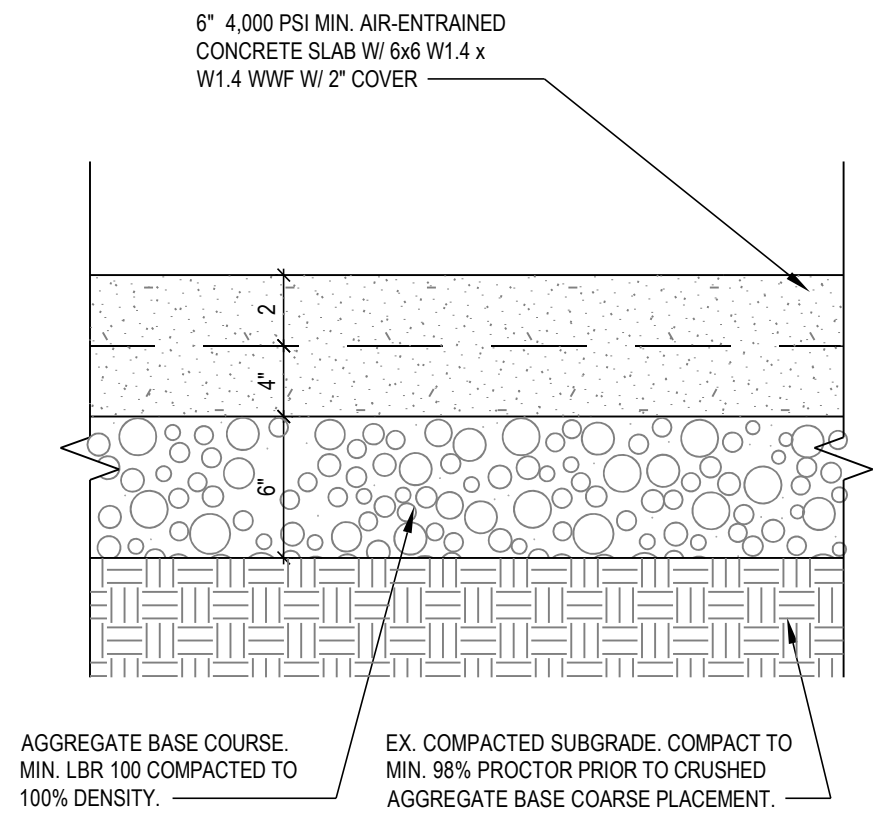


NOTES:

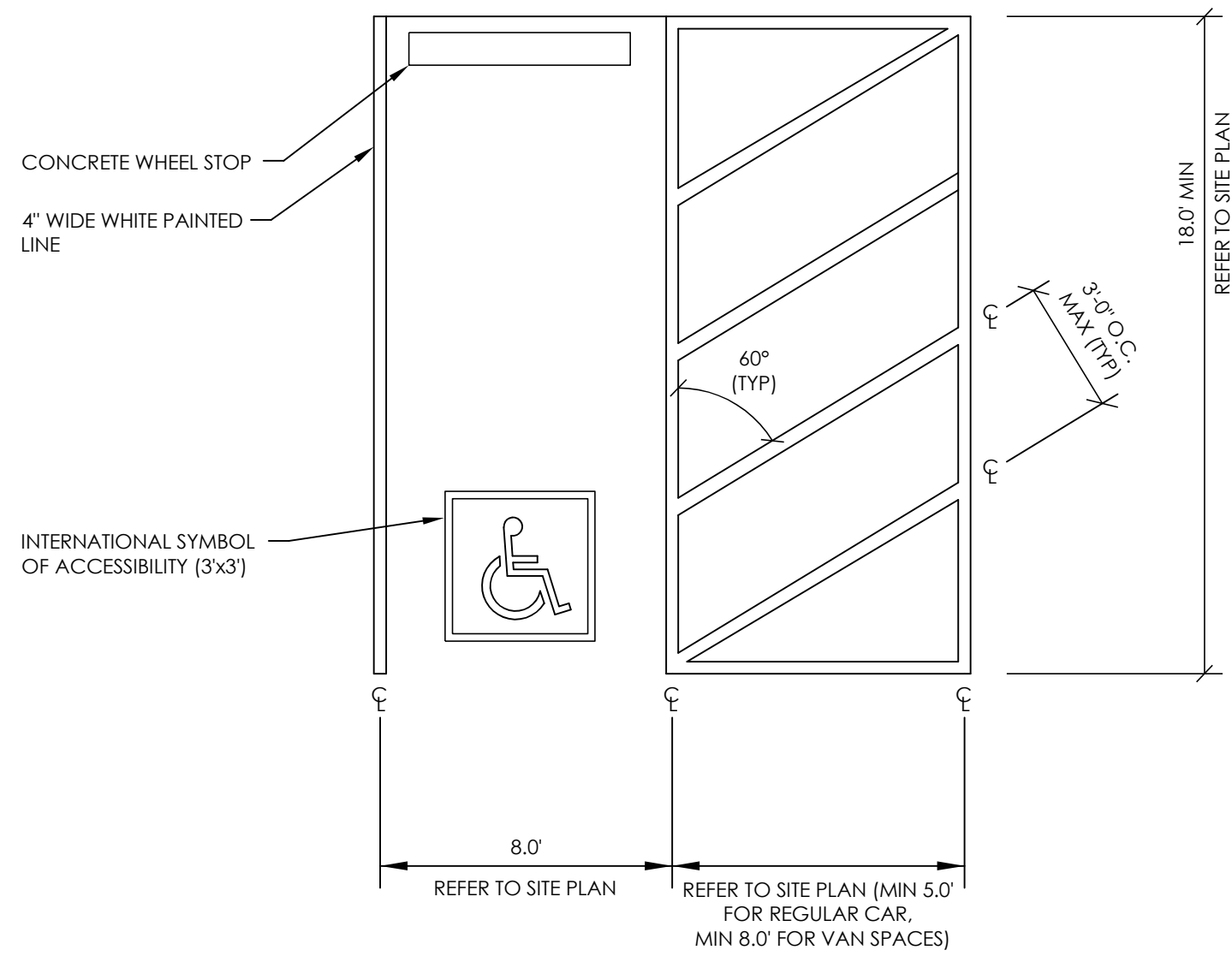
1. TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET.
2. ALL CONCRETE TO BE 3000 PSI AND FINISHED WITH CURING COMPOUND.
3. A 6 INCH DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS, AT STREET INTERSECTIONS (ALONG THE LENGTH OF RADIUS CURB RETURNS), AND IN THE HANDICAP RAMPS.

CITY OF RALEIGH PUBLIC WORKS DEPARTMENT		
REVISIONS	DATE: 8/5/13	NOT TO SCALE
	CONCRETE SIDEWALK	
	T-30.01	

- NOTES:
1. PROPER COMPACTION MUST BE ACHIEVED PRIOR TO POURING AND INSTALLATION OF THE CONCRETE. THE GEOTECHNICAL ENGINEER AND/OR CONSTRUCTION MATERIAL TESTING COMPANY SHALL ENSURE THIS IS ACHIEVED AND CAN REQUIRE ADDITIONAL MEASURES IF IT IS NOT ACHIEVED.
 2. ALL CONCRETE SHALL BE A MINIMUM 4,000 PSI AND FINISHED WITH CURING COMPOUND.
 3. THIS PAVEMENT DESIGN IS THE MINIMUM AND FINAL DESIGN SHALL BE BASED ON GEOTECH REPORT.

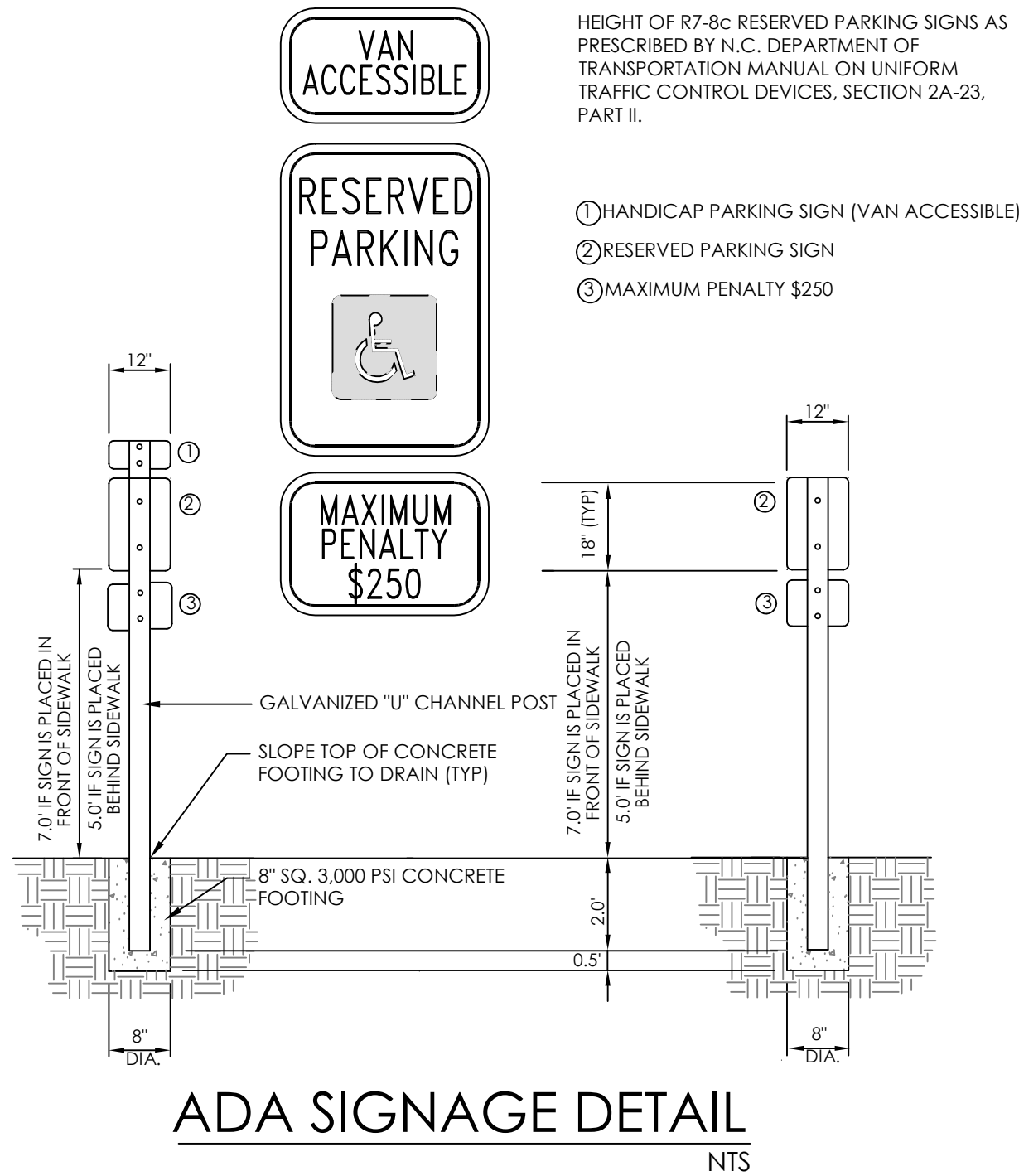


6" VEHICLE RATED CONCRETE
N.T.S.

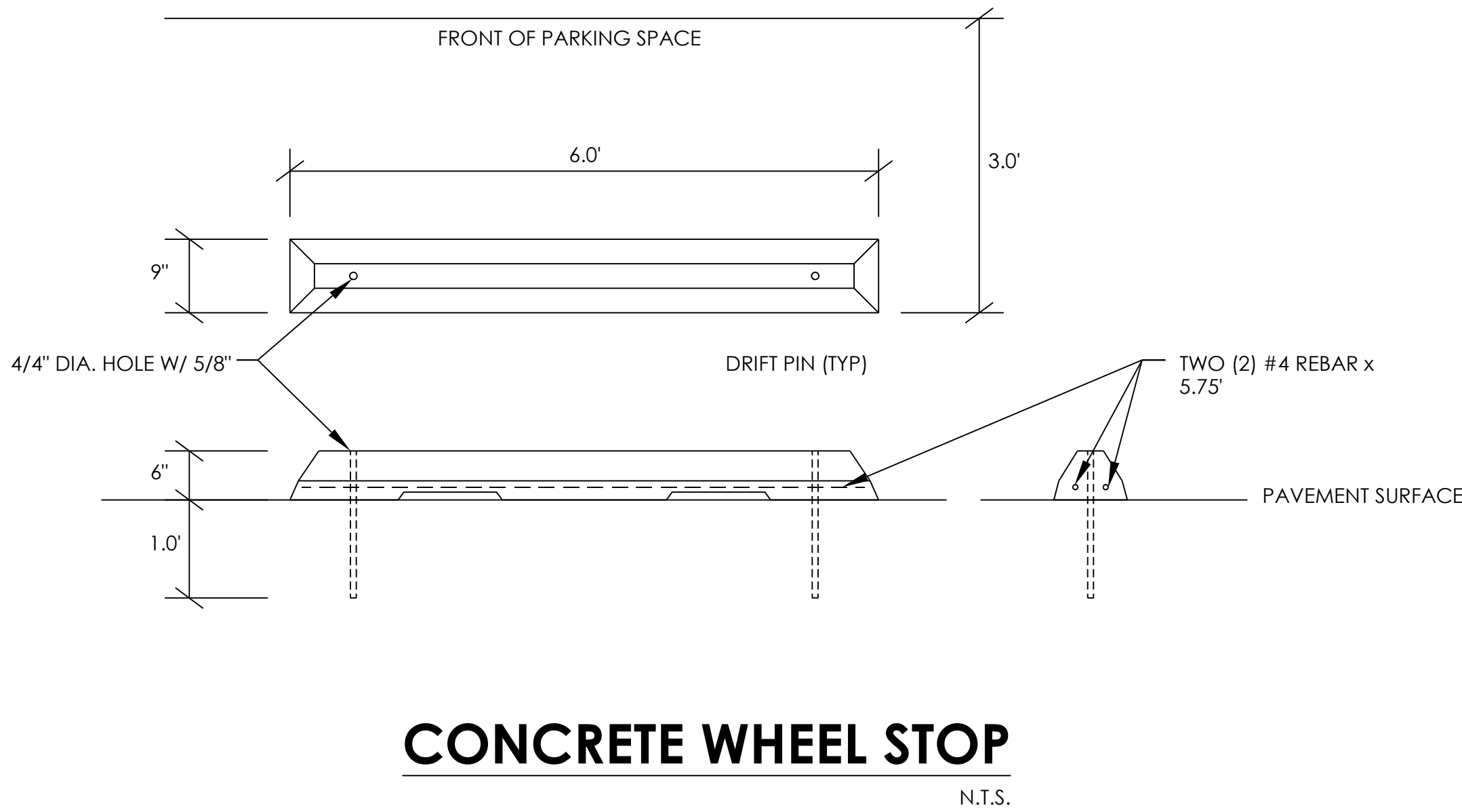


TYPICAL ADA PARKING DETAIL
N.T.S.

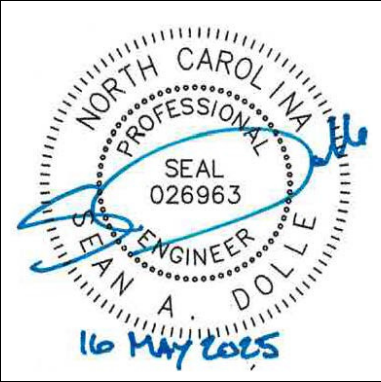
- NOTES:
1. SEE SITE PLAN FOR LOCATION OF ADA SPACE, ACCESS AISLE, ADA PARKING SIGNAGE, WHEEL STOP, AND DRIVEWAY AISLE CROSSING.
 2. ALL ACCESS, ADA SPACES, AND DRIVEWAY AISLE CROSSINGS TO BE MAX 2.0% SLOPE IN ANY DIRECTION.
 3. ALL ADA SPACES SHALL HAVE ADA REQUIRED PARKING SIGNAGE, REFER TO ADA SIGNAGE DETAIL FOR ADDITIONAL INFORMATION.



- NOTES:
1. WHEEL STOP SHALL BE GRAY CONCRETE.
 2. CONTRACTOR SHALL INSTALL WHEEL STOPS WITH DRAINAGE GAPS TO PERMIT STORMWATER FLOW UNDER THE CONCRETE.
 3. WHEEL STOP SHALL BE LOCATED THREE (3) FEET FROM THE FRONT OF THE PARKING SPACE.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
REFER TO SHEET C-002 FOR PROJECT AND SHEET SPECIFIC NOTES.

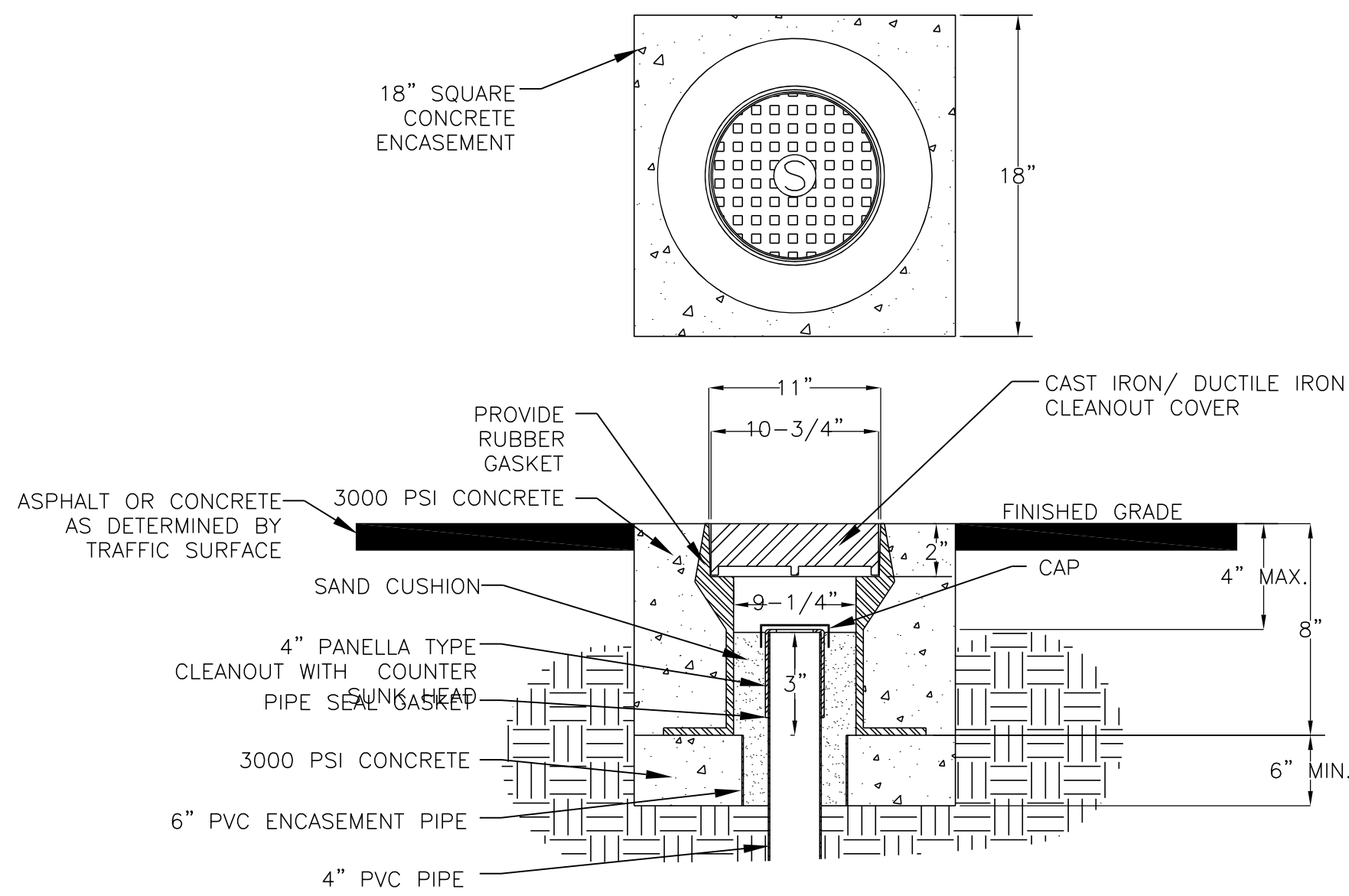
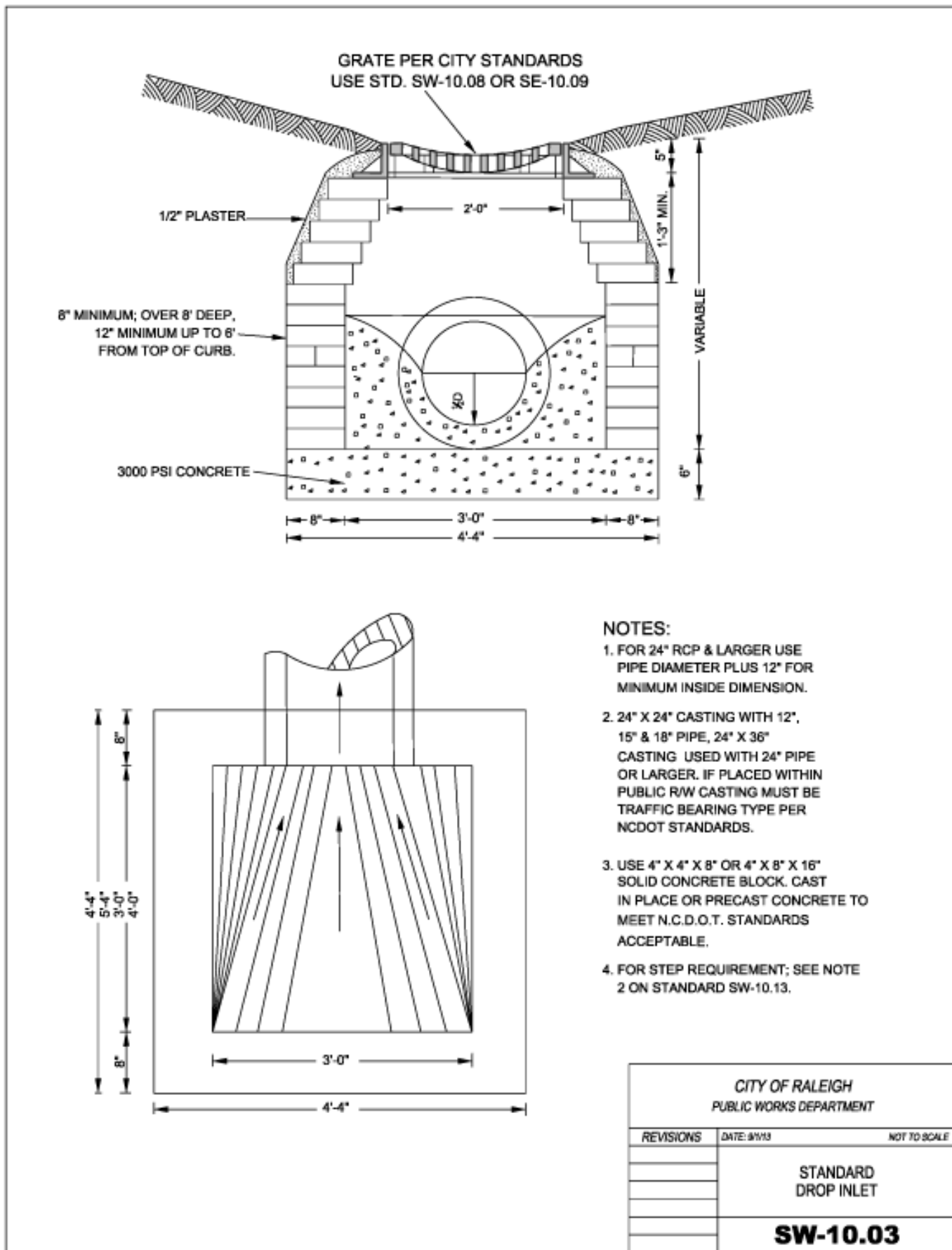


WILLIAM PEACE UNIVERSITY
PARKING LOT #9
SITE DETAILS

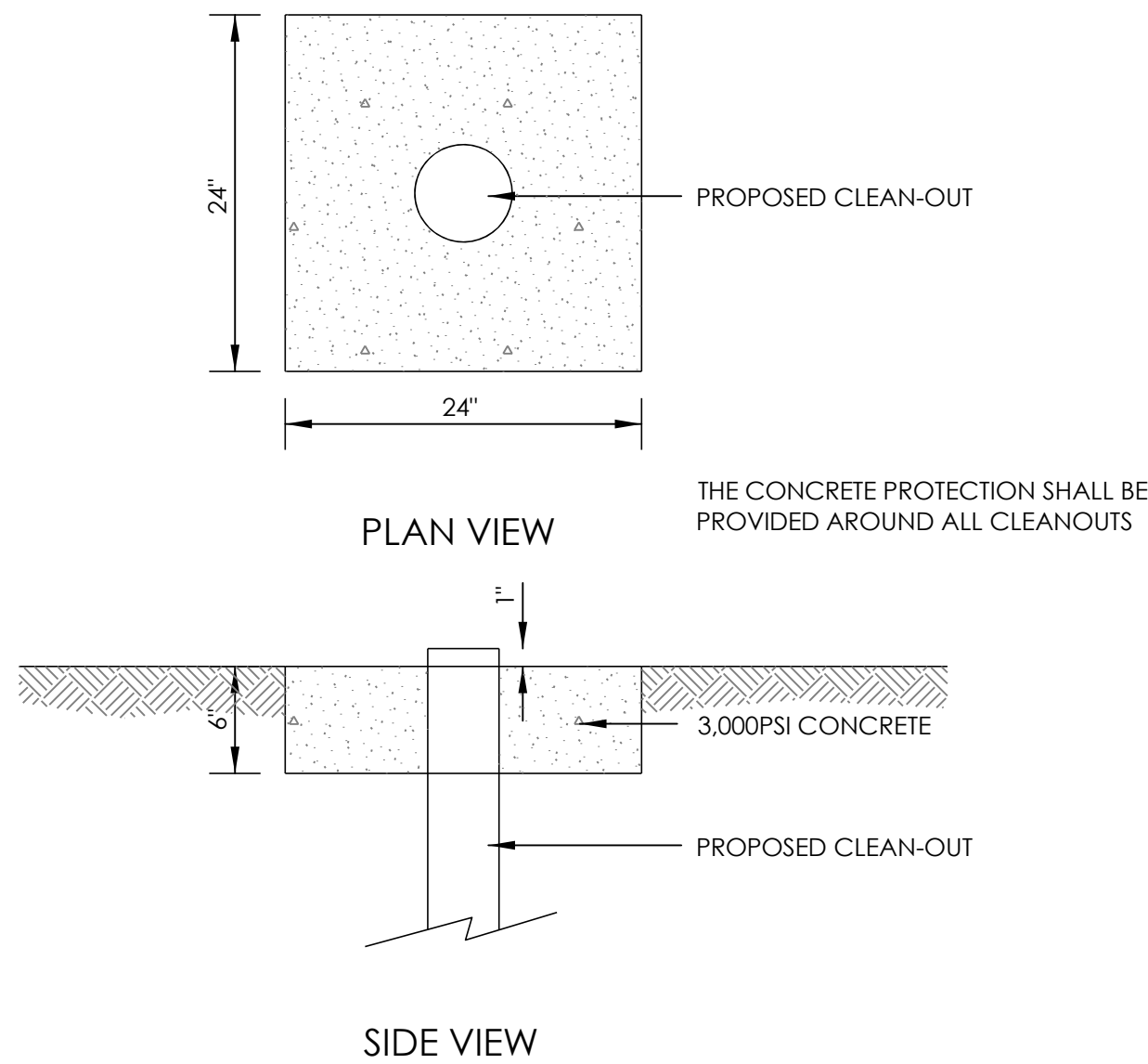
ISSUE DATE	SUBMITTAL DESCRIPTION	PROJECT #	SHEET #
05/16/2025	0 - INITIAL SUBMITTAL TO CITY OF RALEIGH	25018	C-902

4909 Lies Road
Raleigh, NC 27606
919.438.3694 (o)
Firm License C-3898

grounded
ENGINEERING



MINI-MANHOLES FOR CLEAN-OUTS



CLEANOUT CONCRETE PROTECTION
N.T.S.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF
RALEIGH STANDARDS AND SPECIFICATIONS.
REFER TO SHEET C-002 FOR PROJECT AND SHEET SPECIFIC NOTES.



4909 Liles Road
Raleigh, NC 27606
919.438.3694 (o)
Firm License C-3898

grounded
ENGINEERING

WILLIAM PEACE UNIVERSITY
PARKING LOT #9
STORM DRAINAGE DETAILS

ISSUE DATE	PROJECT #	SHEET #
05/16/2025	25018	C-920

SUBMITTAL DESCRIPTION
0 - INITIAL SUBMITTAL TO CITY OF RALEIGH

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CALIPER	INSTALL HEIGHT	B&B OR CONT.
TREES						
	2	Amelanchier laevis 'Snowcloud'	Snowcloud Allegheny Serviceberry	1 1/2" MIN.	6' MIN.	CONTAINER
	6	Ulmus americana 'Princeton'	Princeton American Elm	3" MIN.	10' MIN.	B&B
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SPACING	INSTALL HEIGHT	INSTALL SPREAD
SHRUBS						
	19	Callicarpa americana 'Atropurea'	American Beautyberry	AS SHOWN	18" MIN.	
	88	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	AS SHOWN	18" MIN.	18" MIN.
GRASSES						
	776	Nassella tenuissima	Mexican Feather Grass	AS SHOWN	10" MIN.	
TURF						
	3,888 sf	Cynodon dactylon x transvaalensis 'Tifway 419'	Tifway 419 Bermudagrass	---	SOD	

LANDSCAPE REQUIREMENTS

APPLICABILITY (UDO SEC. 7.2.2.B.2

LANDSCAPING REQUIRED FOR IMPROVED SITE AREA ONLY

VEHICULAR USE AREA

REQUIRED: (1) SHADE TREE PER 2,000 SF OF PARKING AREA

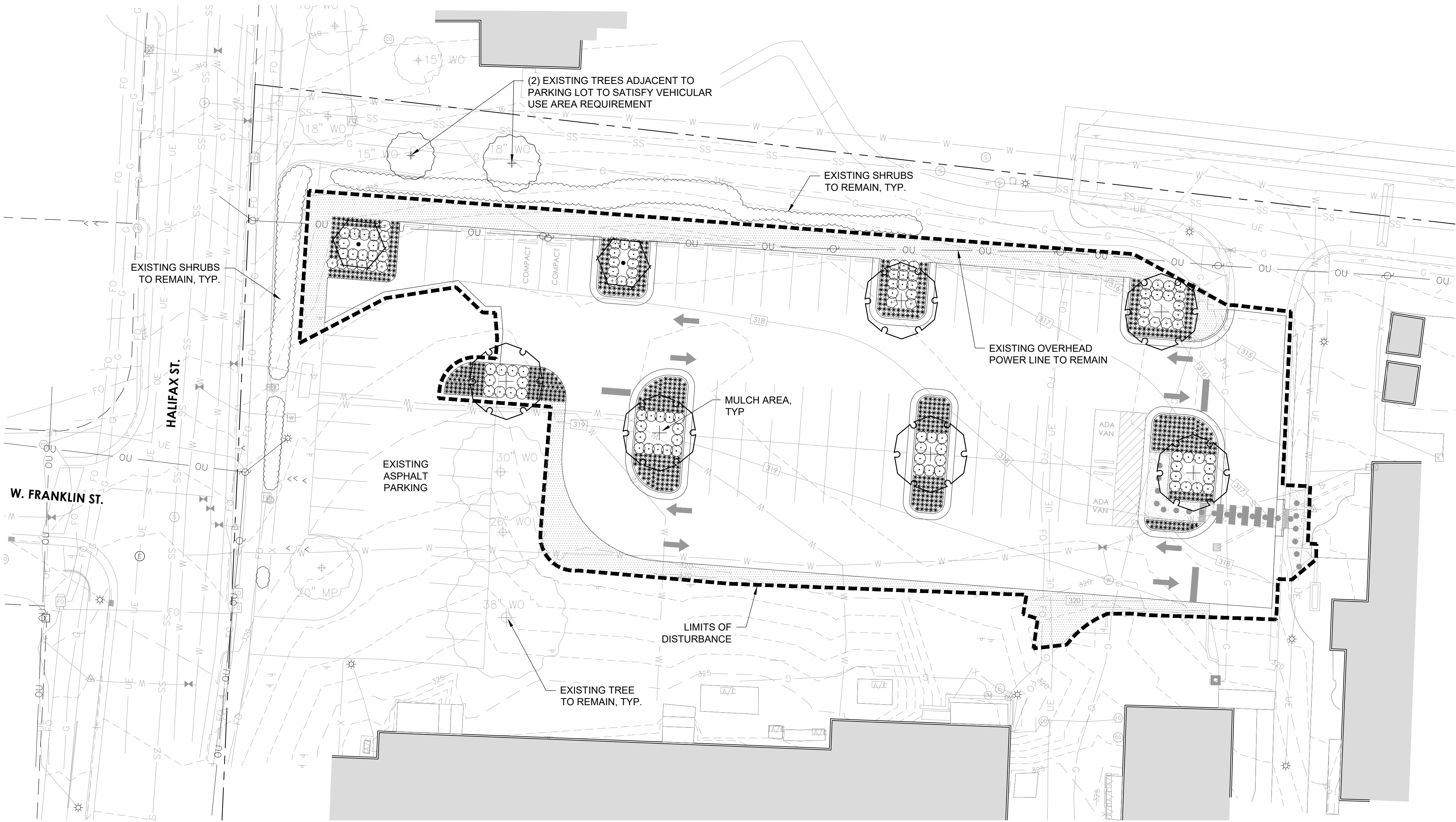
PARKING LOT AREA: 20,149 SF

REQUIRED: (10) TREES

PROVIDED: (8) PROPOSED TREES + (2) EXISTING TREES

NOTES

- 4" "V" SHAPED SPADED BED EDGE, TYPICAL OF ALL PLANTING BEDS.
- TRIPLE-SHREDDED HARDWOOD MULCH, TYPICAL OF ALL PLANTING BEDS.



SCALE: 1"=20'-0"

0 10' 20' 40'

