



# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

## Project Description:

Remove door and replace with window; change window pane in existing window

715 Devereux St

Address

Glenwood-Brooklyn

Historic District

Historic Property

COA-0107-2023

Certificate Number

9/5/2023

Date of Issue

3/5/2024

Expiration Date

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

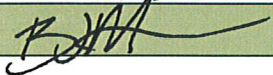
Signature, \_\_\_\_\_

*Collette R K*

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*



Type or print the following:		
Applicant name: Ben Monette		
Mailing address: 715 Devereux St.		
City: Raleigh	State: NC	Zip code: 27605
Date: 9/5/23	Daytime phone #: 215.285.9628	
Email address: bmonette@readysetmud.com		
Applicant signature: 		
Minor work (staff review) – one copy Major work (COA committee review) – ten copies Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval		<b>Office Use Only</b> Transaction #: _____ File #: <b>COA-0107-2023</b> Fee: _____ Amount paid: _____ Received date: _____ Received by: _____
Property street address: 715 Devereux St. Raleigh, NC 27605		
Historic district: Glenwood-Brooklyn		
Historic property/Landmark name (if applicable): N/A		
Owner name: Ben Monette and Emily McCoy		
Owner mailing address: 715 Devereux St. Raleigh, NC 27605		

**For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.**

Property Owner Name & Address	Property Owner Name & Address
N/A	



I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: <u>2784</u>
Did you consult with staff prior to filing the application? Yes <input type="radio"/> No <input checked="" type="radio"/>	

Design Guidelines: please cite the applicable sections of the design guidelines ( <a href="http://www.rhdc.org">www.rhdc.org</a> ).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.4/45	Paint and Paint Color	Repainting disturbed areas to match the existing paint color of the house.
2.6/49	Exterior Walls	Where changing windows and door on east elevation siding repair to match existing siding material and profile.
2.7/50	Windows and Doors	On East elevation for non-character defining wall remove two windows and door. Change layout to one door and one window which is to match the size and character of the existing window. West elevation replace window pane in one large window

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>03/05/2023</u> . Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Collette R K</u>	Date <u>09/05/2023</u>

# Minor Work Certificate of Appropriateness Application

**Contractor:**

Armature Design Build, LLC  
310 Mulberry St.  
Raleigh, NC 27604

**Project Address:**

715 Devereux St.  
Raleigh, NC 27605  
Glenwood - Brooklyn Historic District

**Description of work:**

We are doing a minor interior renovation of kitchen, laundry, and primary suite that will involve the alteration of a door and some windows on side elevations behind the original, historic home.

**List of work to be completed:**

- the existing kitchen (with minor related adjustments to a size façade)
- an interior laundry room (no exterior work related)
- the existing primary bedroom (no exterior work related)
- the existing primary bathroom (with replacement of a non-conforming window)

Areas where work is being completed on exterior are not character defining facades and there are no proposed changes to the original home.

**General Notes:**

There is no change to the historic use of this property/structure.

There is no change to the front façade of this structure.

There will be no change to the paint colors.

There will be no change to the roof or any roofing material.

There will be no change to the existing exterior wall locations, materials, details or overall character.

**Window and Door Change Information:**

At the kitchen renovation required work impacting the side elevation all occurs under the existing side porch roof. An existing window will be closed in and the existing door will be relocated a few feet to one side but still opening onto the side porch which remains unchanged.

(1)-The existing (non-historic) door will be replaced with a new door in keeping with the size and character of the existing/remaining doors.

(2)-New siding at the removed window will be filled with materials matching in size, texture and color.

(3)-There will be the replacement of a non-conforming faux stain glass window to a frosted unit. In keeping with the intent of 2.7.14 we will keep an obscured glass in its existing location, but replace it with a simple frosted material in a frame that

**Window/Door Details:**

- Primary Bath window 48" x 48" replacing glass only
- Marvin window Sizing: to be field measured to match an existing window in the kitchen.
- Marvin Door Sizing: 32" wide x 83" tall.

Printed: 8/18/2023 10:54:20 AM

DRAWING KEY

- EXISTING FOOTPRINT
- AREA OF DEMOLITION

50% envelope  
Review area for COA



REMOVE KITCHEN  
CABINETS,  
COUNTERTOPS,  
SINK AND  
APPLIANCES.  
SAVE APPLIANCES  
FOR POSSIBLE  
REUSE.



1 First Floor Demo Plan  
1/4" = 1'-0"



310 MULLBERRY ST.  
RALEIGH NC 27604

Project Status

ISSUE DATE: August 11, 2023  
PRINTED: August 11, 2023

715  
DEVEREUX

OWNER:  
BEN MONETTE & EMILY  
MCCOY  
ADDRESS:  
715 DEVEREUX STREET  
RALEIGH, NC 27605

First Floor Demo Plan

D1



DRAWING KEY

- EXISTING FOOTPRINT
- PROPOSED AREA OF RENOVATION

Window Schedule						
Type Mark	Type	Count	Manufacturer	Model	Rough Width	Rough Height
A	Window-Double-Hung	1			2' - 7 1/2"	3' - 10 1/2"
C	Fixed with Trim	1				

Door Schedule					
Door Number	Door Size	Manufacturer	Model	Function	Family
20	30" x 80"			Interior	Door-Interior-Single-Pocket-2_Panel-Wood
21	32" x 80"			Exterior	Door-Interior-Single-Full Glass-Wood
22	48" x 80"			Interior	Door-Double-Flush_Panel
23	32" x 80"			Interior	Door-Interior-Single-Pocket-2_Panel-Wood
24	30" x 80"			Interior	Door-Interior-Single-Pocket-2_Panel-Wood

GENERAL NOTES

- DIMENSIONS AND GRID LINES TO EDGE OF FRAMING UNLESS SHOWN OTHERWISE.
- DOOR AND WINDOW DIMENSIONS TO CENTER OF UNIT, UNLESS SHOWN OTHERWISE.

EXTERIOR WALLS:

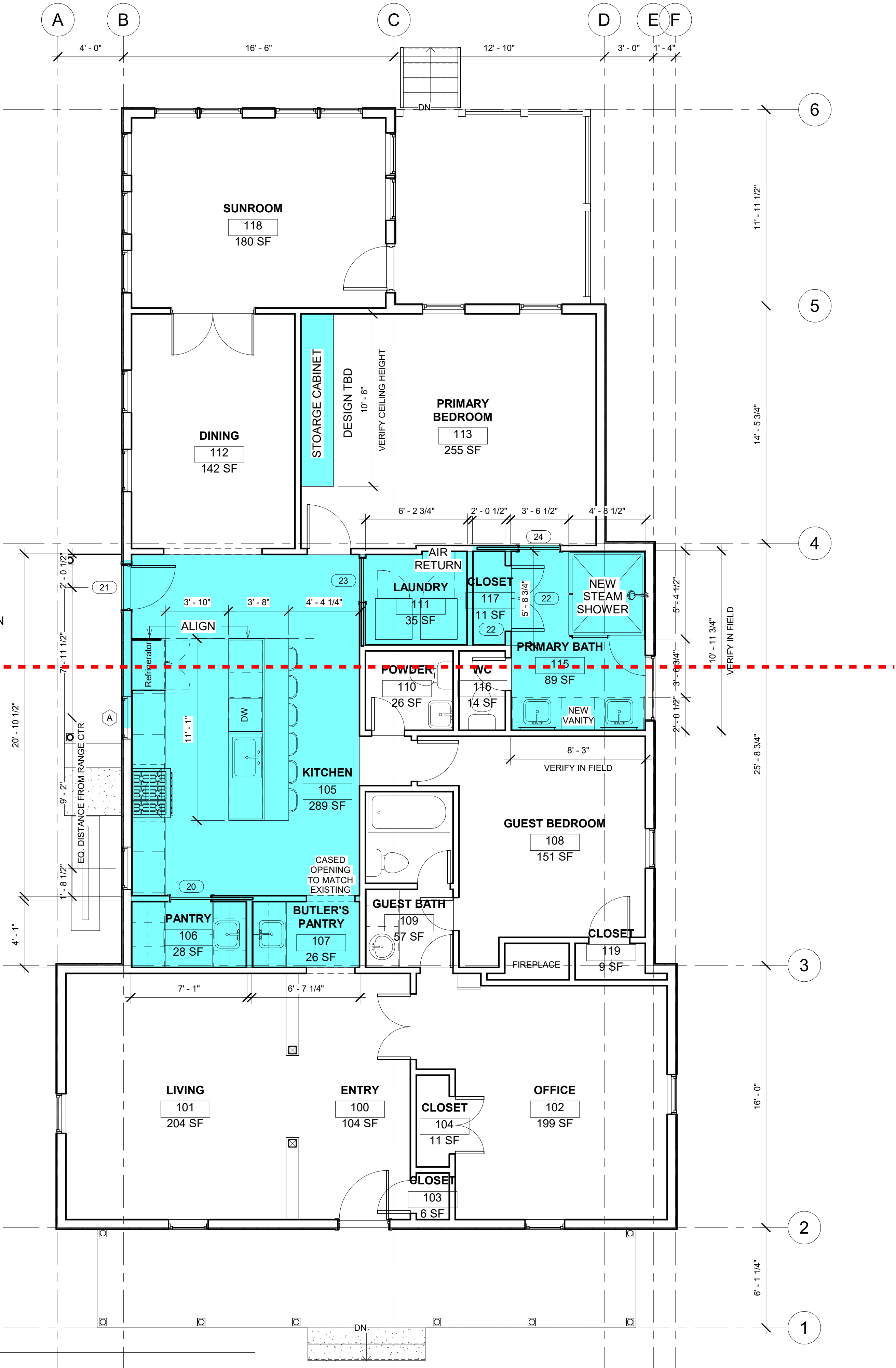
- 7/16" ZIP SYSTEM SHEATHING AND TAPE, W/ (1) 8D @ 6" EDGE & 8" @ FIELD. TYP. (PER CS-WSP)
- 2 X 4 WALL STUDS 16" O.C.
- R-15 BATT IN CAVITIES.
- 1/2" GYPSUM WALL BOARD INTERIOR FINISH WITH SHERWIN WILLIAMS PROMAR 200 - COLOR TO BE SELECTED B.O.D. "SNOWBOUND"

INTERIOR WALLS

- 2 X 4 TYPICAL, 2 X 6 AS REQUIRED FOR STRUCTURE/PLUMBING/MECHANICAL
- SOUND ATTENUATION AT BATHROOM WALLS, BETWEEN FLOORS, AND AROUND WASTE PIPES
- 1/2" GYPSUM WALL BOARD FINISH
- TRIMS
  - BASEBOARDS - MATCH EXISTING
  - DOORS - TRIM PACKAGE TO BE CONFIRMED
  - WINDOWS - DRYWALL RETURNS W/ WOOD SILL @ NEW WINDOWS

TOTAL AREA OF RENOVATION = 530 SF

1 First Floor  
1/4" = 1'-0"



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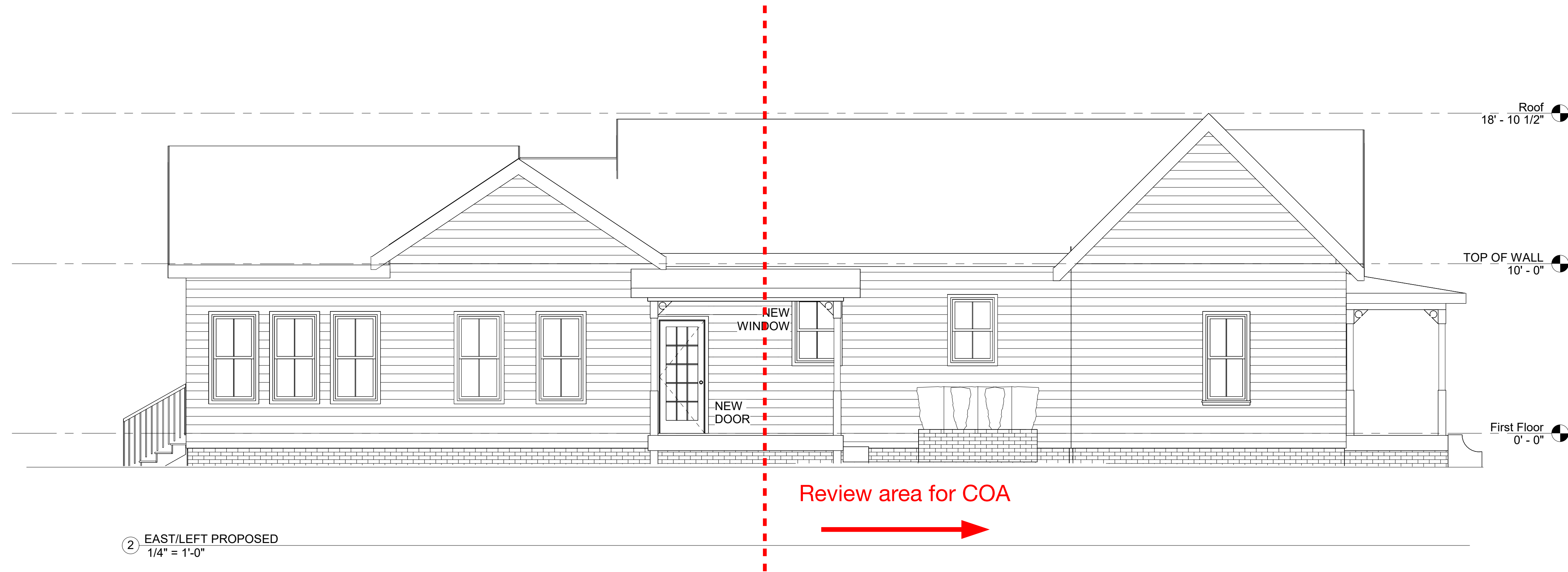
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First Floor Plan

A1



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RALEIGH NC 27604

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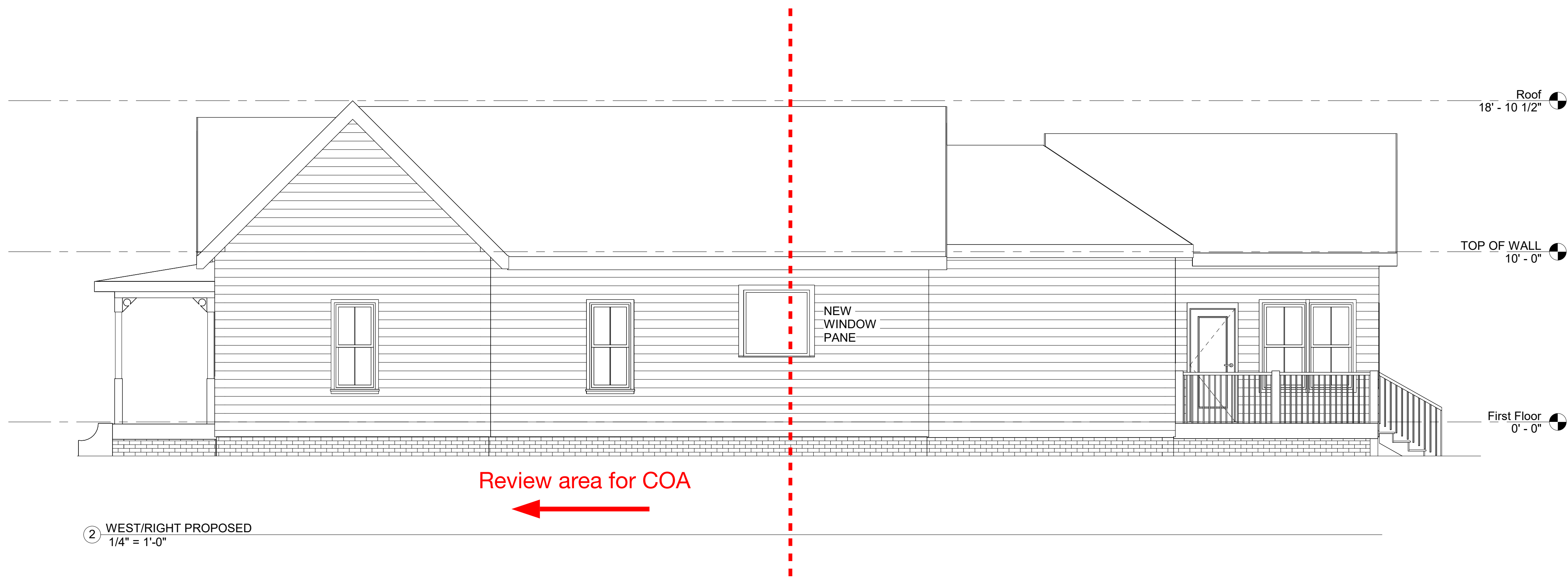
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Elevations

**A2**



② WEST/RIGHT PROPOSED  
1/4" = 1'-0"



① SOUTH/REAR  
1/4" = 1'-0"



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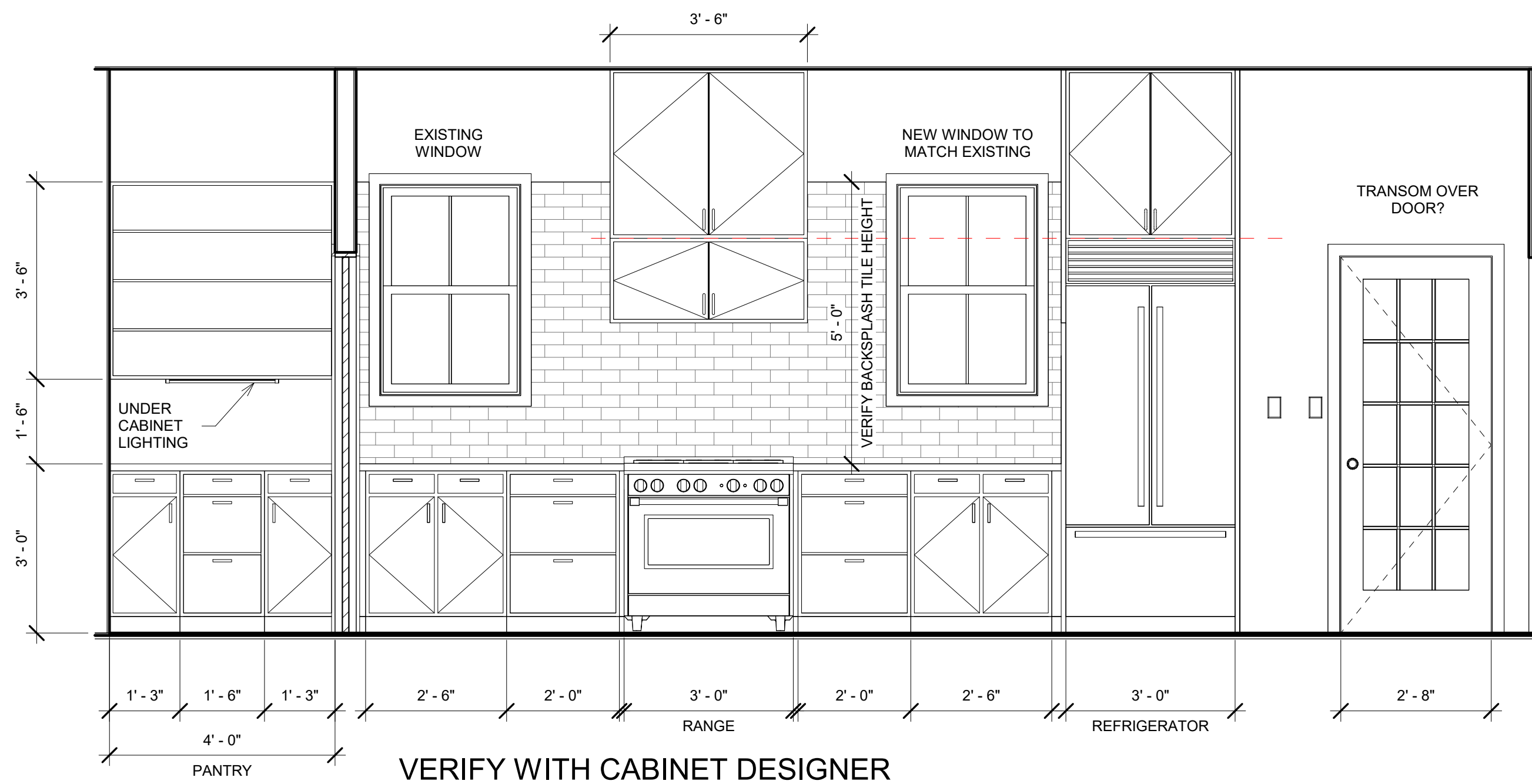
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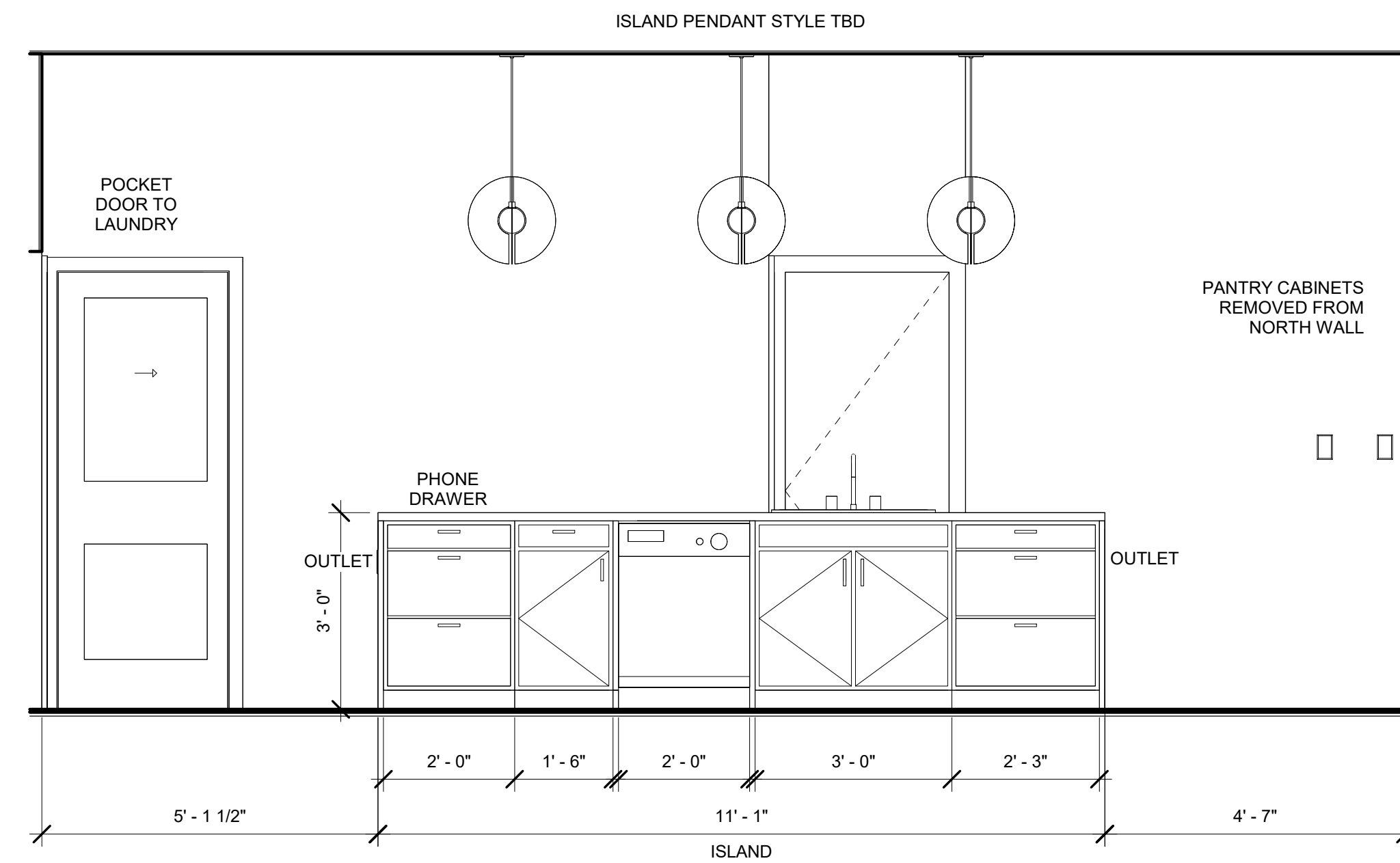
Elevations

**A3**

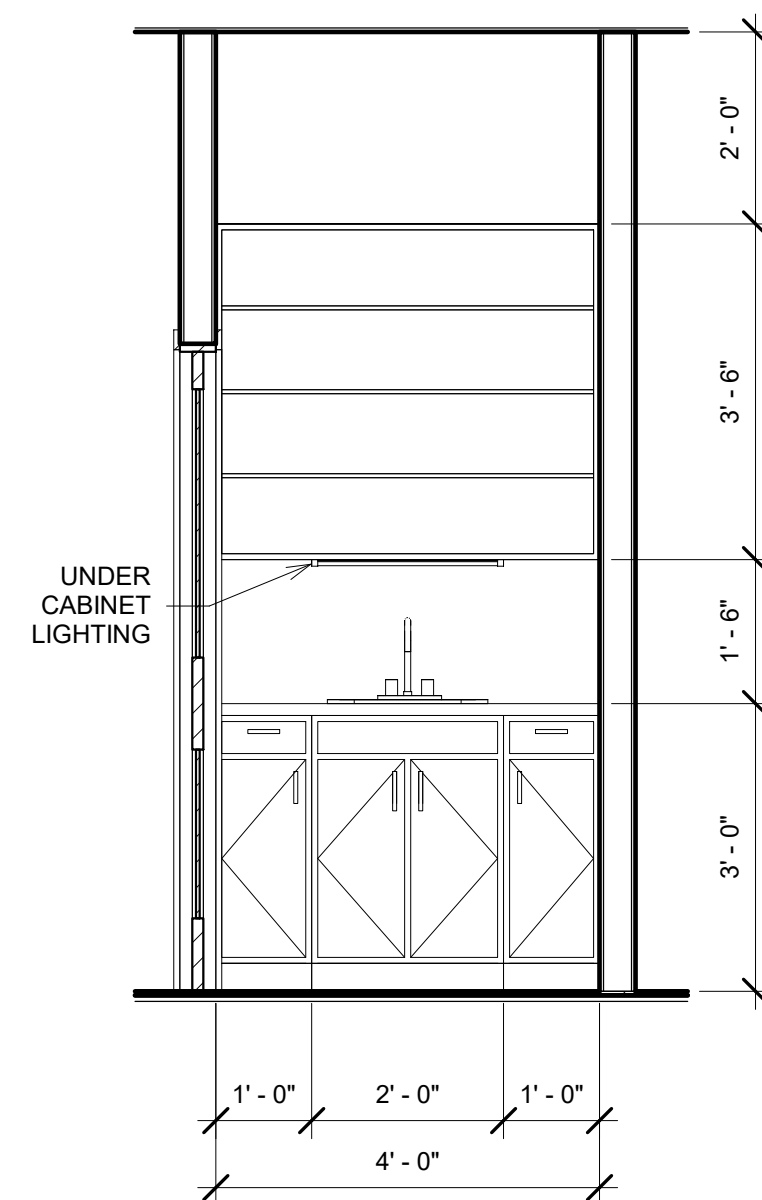




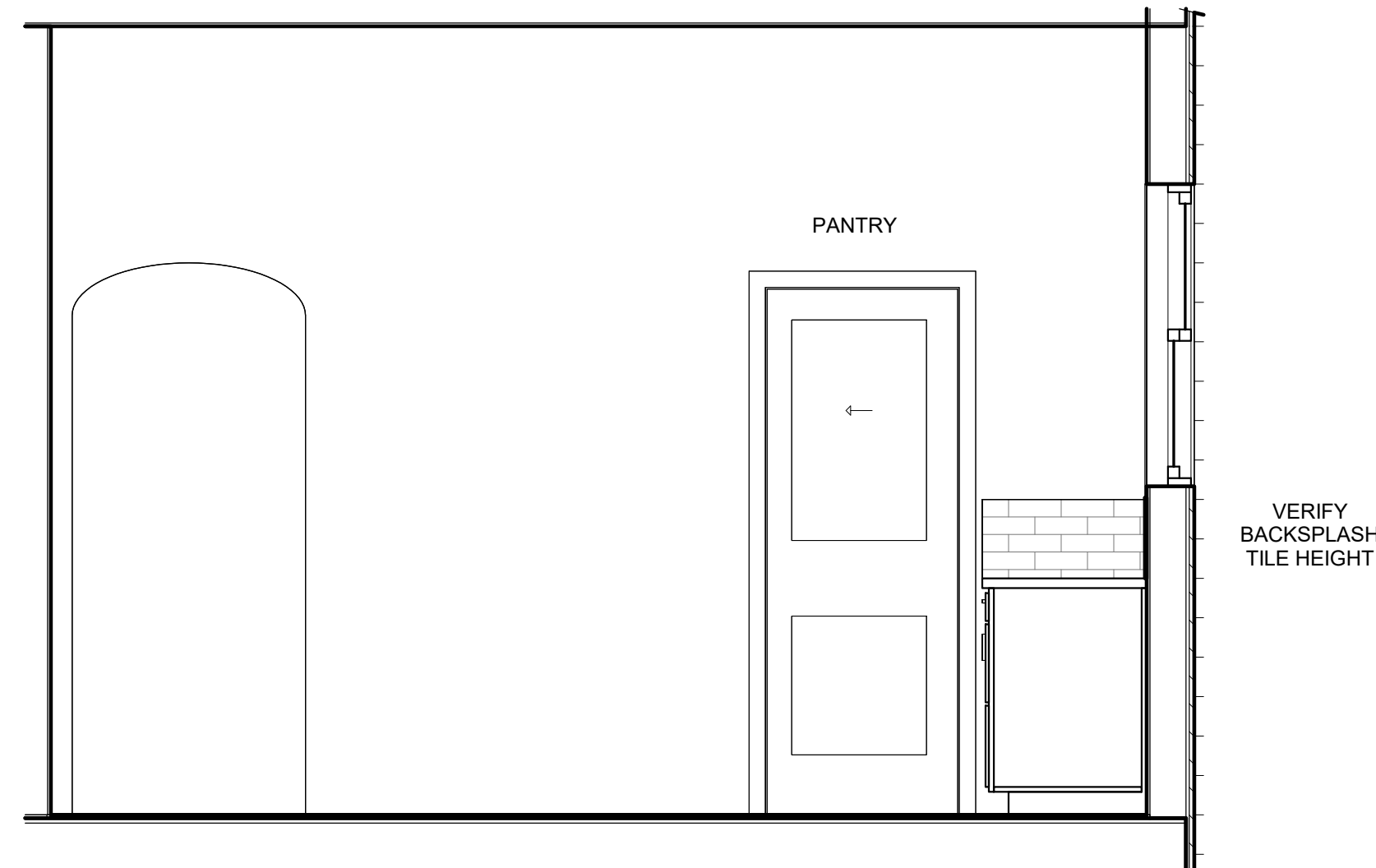
① Kitchen - Range Wall  
1/2" = 1'-0"



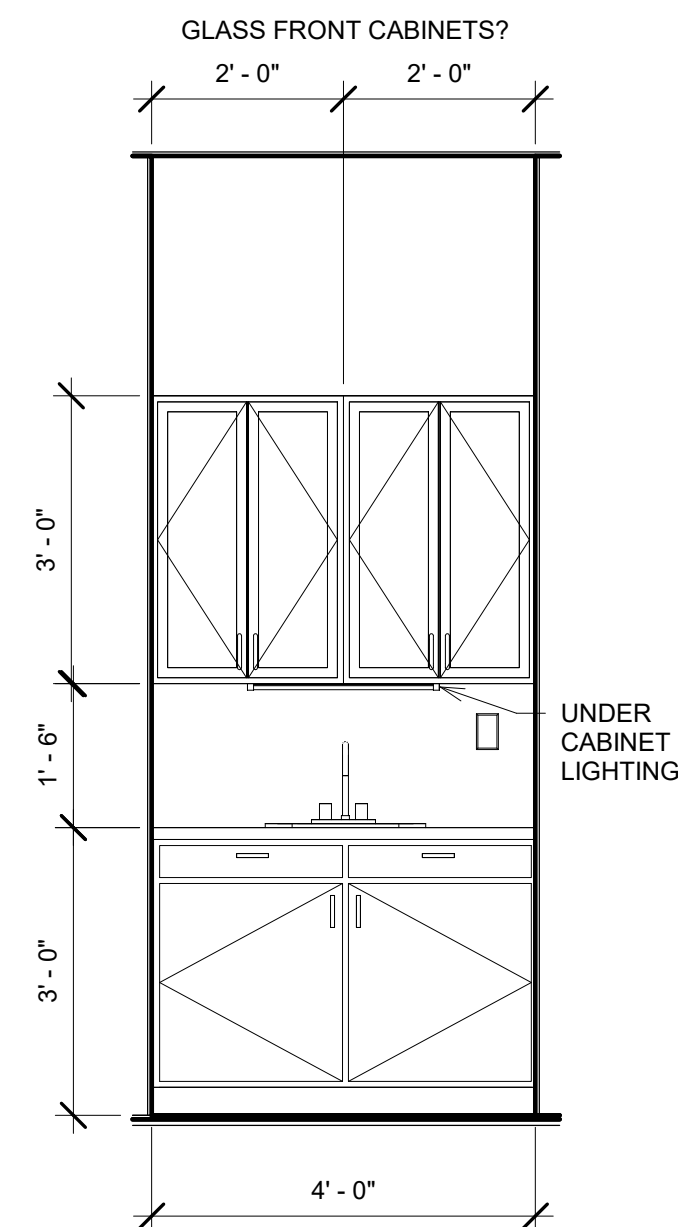
② Kitchen - Island  
1/2" = 1'-0"



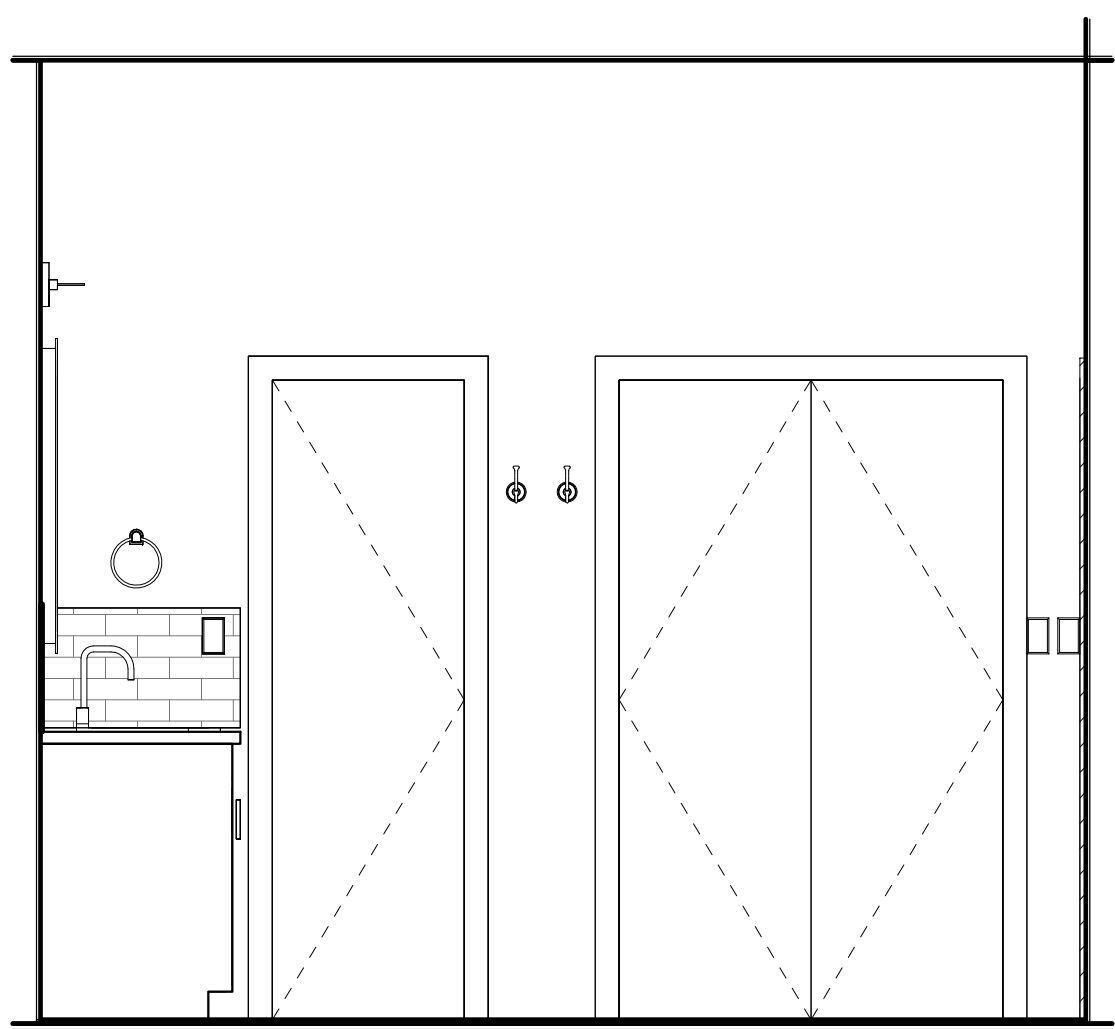
③ Pantry - Sink Wall  
1/2" = 1'-0"



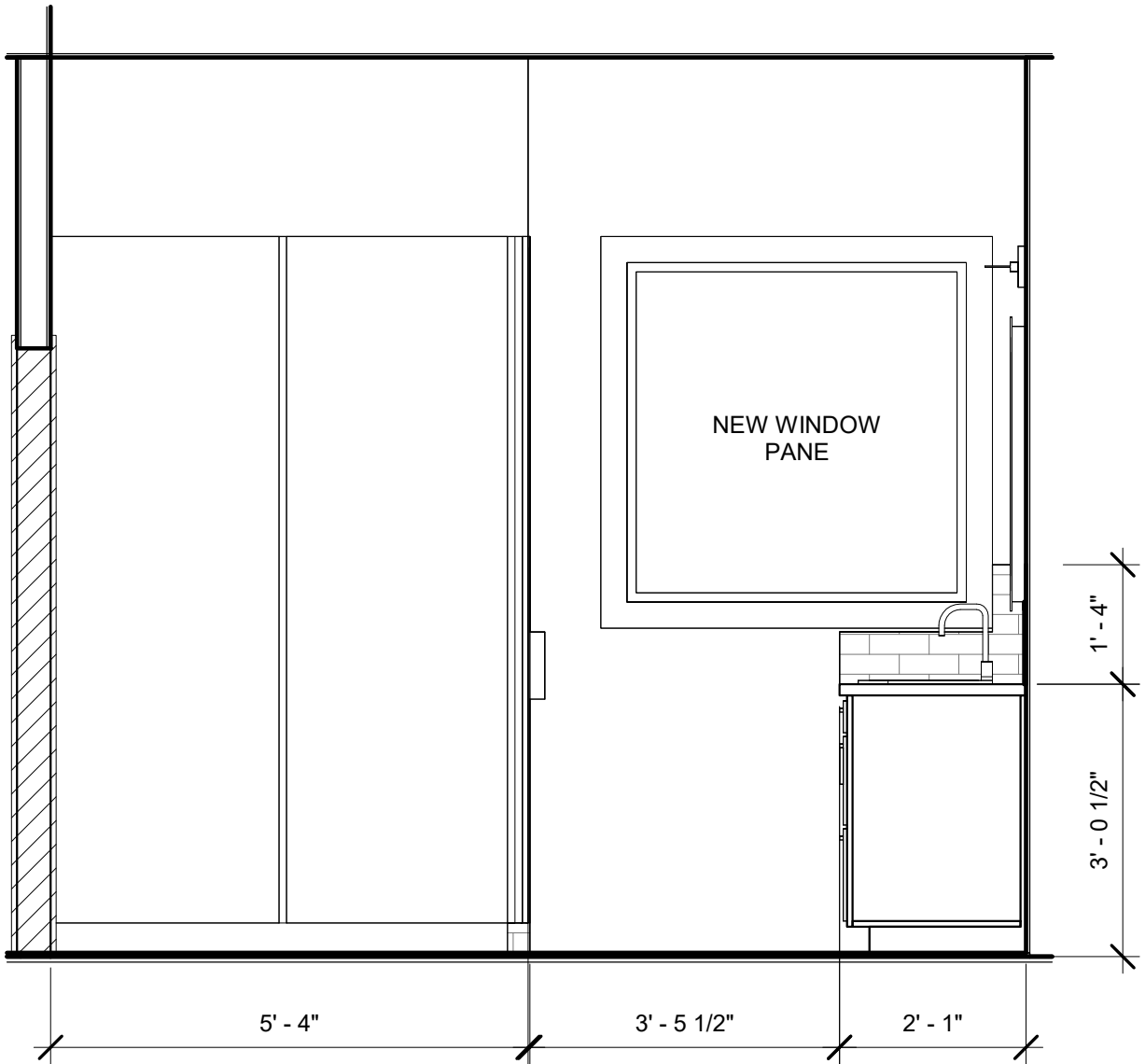
⑤ Kitchen - Pantry Wall  
1/2" = 1'-0"



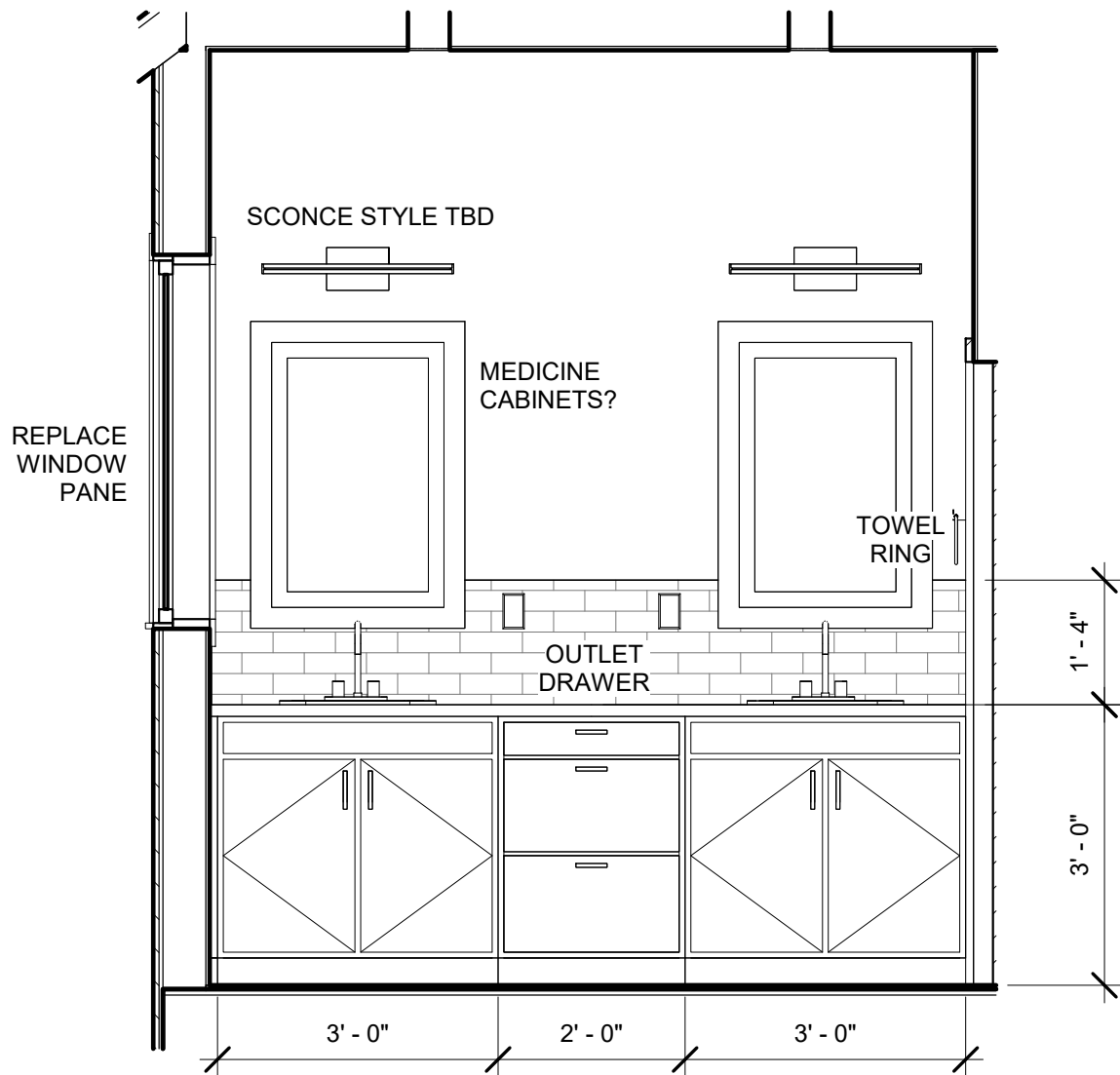
④ Butler's Pantry  
1/2" = 1'-0"



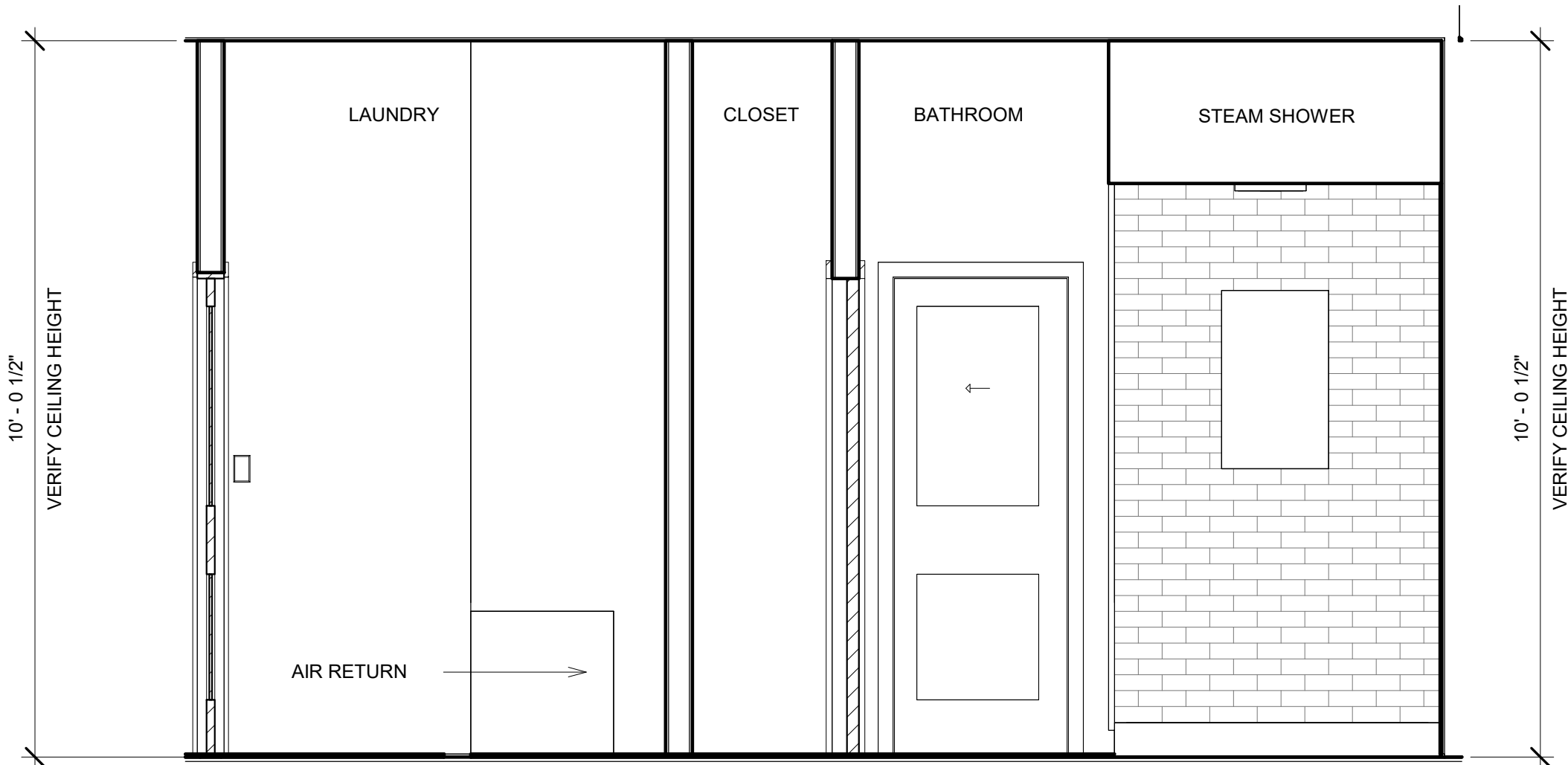
① Primary Bathroom - Closet Wall  
1/2" = 1'-0"



④ Primary Bathroom - Shower Wall  
1/2" = 1'-0"



② Primary Bathroom - Vanity Wall  
1/2" = 1'-0"



③ Primary Bathroom - Bedroom Wall  
1/2" = 1'-0"



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Interior Elevations

A5



ELECTRICAL KEY	
	OUTLET
	3-PRONG OUTLET
	DATA PORT
	LIGHT SWITCH
	WALL-MOUNTED SCONCE
	RECESSED LED CAN LIGHT
	FAN or FANLIGHT COMBO (AS NOTED)
	PENDANT

**ELECTRICAL NOTES**

ALL ELECTRICAL TO CODE.

PROVIDE OUTLETS AND SWITCHES AS LOCATED ON PLANS.

ELECTRICIAN TO PROVIDE ADDITIONAL OUTLETS AND SWITCHES AS REQUIRED BY CURRENT NC ELECTRICAL CODE.

6" RECESSED LED CAN LIGHTS PROVIDED BY ELECTRICIAN.

CONTRACTOR TO CONDUCT WALKTHROUGH AT FRAMING PHASE WITH OWNER AND ARCHITECT TO CONFIRM SWITCH, OUTLET AND DIMMER LOCATIONS.

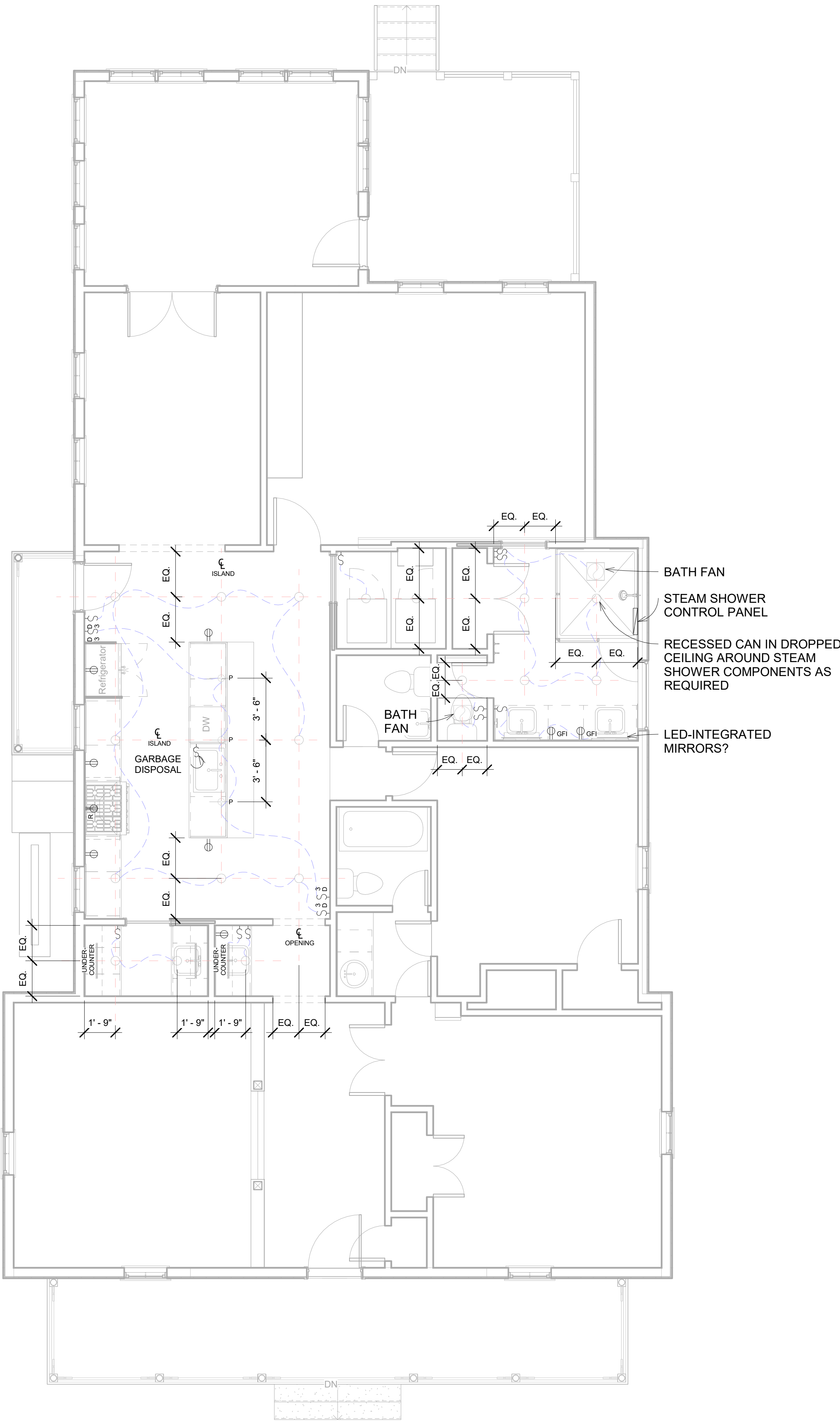
UNLESS OTHERWISE NOTED, RECESSED LIGHTS ARE TO BE LOCATED 30"-40" FROM WALLS OR CENTERED IN ROOM, SHOWER, OR CLOSET.

OUTLETS OVER KITCHEN COUNTERS TO BE SET AT 43-44" A.F.F. AND HORIZONTAL.

ALL LIGHTS TO BE ON DIMMERS UNLESS OTHERWISE NOTED. ALL BATH FANS TO BE ON TIMERS.

SPECIALTY DESIGNER LIGHTS TO BE SELECTED BY OWNERS.

10' CEILINGS



1 First Floor Electrical  
1/4" = 1'-0"



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First Floor Electrical

**E1**









BROOKS BLDG PROD - RALEIGH  
NC  
3401 TARHEEL DRIVE  
RALEIGH,NC 27609



QUOTE

CPQ QUOTE: QQAOP000548\_1

Quote Name: 715 DEVEREUX

Bill To: ARMATURE Ship To: Same as Bill-to

SL Order	Customer PO	Date Order	Current Date
			9/1/2023

LINE #	UOM	ITEM	QTY	NET PRICE	NET EXTENDED
1	EA	ConfigurableWindow -  2-8x3-10 Dbl Hung Single Unit- Primed Wood Sash , Low-E SDL 1-1/8" White Poly Bars4-9/16 Primed Jmbs (2w1h) 2over2, Poly 5/4 x 4 Butt Joint, Primed Composite Sill and Nosing, Wht Jmb Liners White Hardware	1.00		



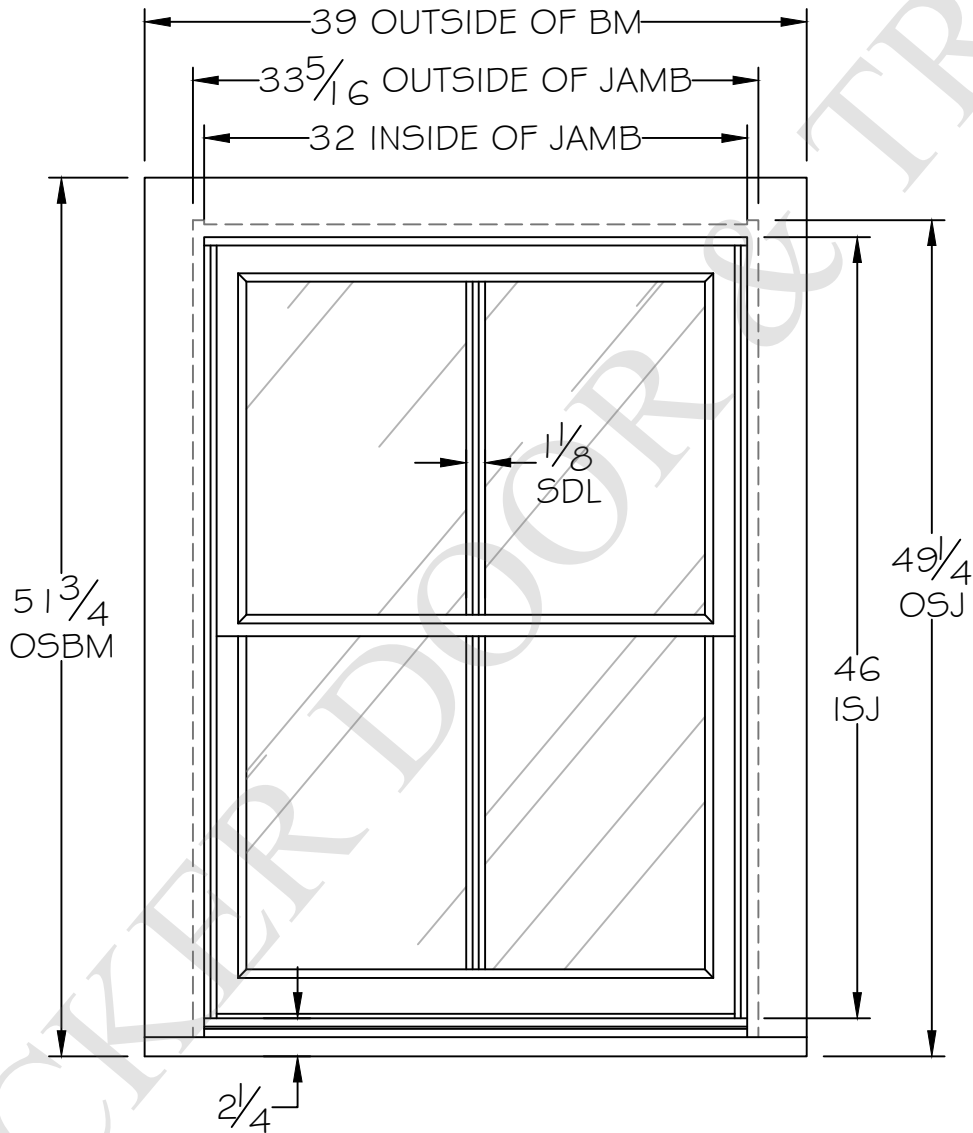
Unit Dimension: 33 5/16 X 49 1/4

DISTRIBUTED BY:





DRAWING SHOWS THE EXTERIOR VIEW



CUSTOMER APPROVAL DRAWING

OSB = OUTSIDE OF BRICKMOLD  
OSJ = OUTSIDE OF JAMB  
ISJ = INSIDE OF JAMB

ORDER No.: BROOKS BLDG 8-30-23 BW

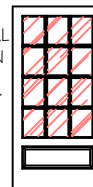
APPROVED BY:

DATE:

### BROOKS BLDG

MATERIAL: WOOD	GLASS: LOW-E IG	PROFILE
DATE: 8/30/23	DRAWN BY: CAD DEPT.	

THIS DRAWING IS BASED ON OUR INTERPRETATION OF THE INFORMATION PROVIDED TO US. SIGNED AND DATED APPROVAL SIGNIFIES THAT THE SIGNEE CONFIRMS THAT ALL INFORMATION SHOWN IS CORRECT. SIGNEE OR HIS/HER REPRESENTED COMPANY WILL BEAR FULL FINANCIAL RESPONSIBILITY FOR ANY AND ALL CHANGES SUBSEQUENT TO THE DATE OF SIGNATURE.



**TUCKER**  
DOOR & TRIM

650 HIGHWAY 83 MONROE, GA 30656  
PHONE (770) 267-4622 www.tuckerdoor.com

DRAWING SHOWS THE EXTERIOR VIEW

CUSTOMER APPROVAL DRAWING



O5B = OUTSIDE OF BRICKMOULD

O5J = OUTSIDE OF JAMB

I5J = INSIDE OF JAMB

ORDER No.: BROOKS BLDG 8-30-23 BW

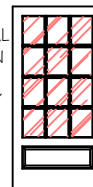
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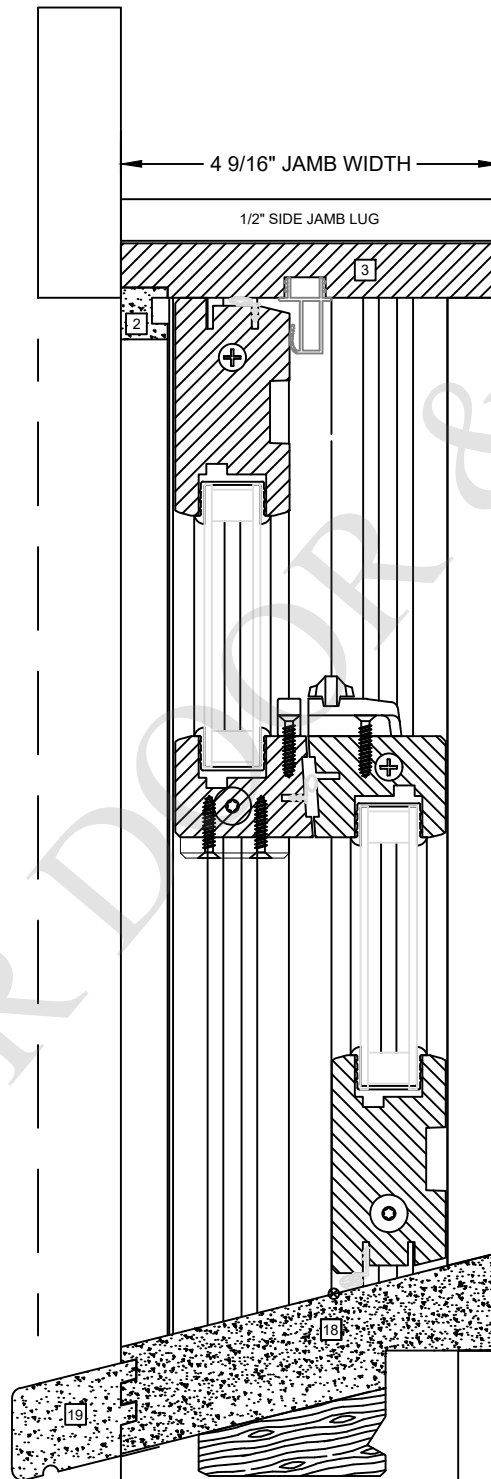


**TUCKER**  
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650 HIGHWAY 83 MONROE, GA 30656  
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DRAWING SHOWS THE EXTERIOR VIEW



CUSTOMER APPROVAL DRAWING

15J = INSIDE OF JAMB      05J = OUTSIDE OF JAMB      05B = OUTSIDE OF BRICKMOLD

ORDER No.: BROOKS BLDG 8-30-23 BW

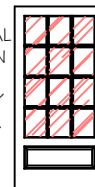
APPROVED BY:

DATE:

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MATERIAL:	GLASS:	PROFILE
WOOD	LOW-E IG	
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