



# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

**Project Description:**

Alter exterior paint colors; replace front step railings

905 W Lenoir St

Address

Boylan Heights

Historic District

Historic Property

COA-0114-2022

Certificate Number

11/4/2022

Date of Issue

5/4/2023

Expiration Date

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area.*

*Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

*Ein Morton*

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*



Type or print the following:		
Applicant name: Kim DeCoste & Frank Sheets		
Mailing address: 905 W. Lenoir St.		
City: Raliegh	State: NC	Zip code: 27603
Date: 10/6/2022	Daytime phone #: 919-247-8022	
Email address: kldecoste0926@gmail.com		
Applicant signature:		
<p>Minor work (staff review) – one copy</p> <p>Major work (COA committee review) – ten copies</p> <p style="padding-left: 40px;">Additions &gt; 25% of building sq. footage</p> <p style="padding-left: 40px;">New buildings</p> <p style="padding-left: 40px;">Demolition of building or structure</p> <p style="padding-left: 40px;">All other</p> <p>Post approval re-review of conditions of approval</p>	<p style="text-align: center;"><b>Office Use Only</b></p> <p>Transaction #: _____</p> <p>File #: <u>COA-0114-2022</u></p> <p>Fee: _____</p> <p>Amount paid: _____</p> <p>Received date: _____</p> <p>Received by: _____</p>	
Property street address: 905 W. Lenoir St., Raleigh, NC 27603		
Historic district: Boylan Heights		
Historic property/Landmark name (if applicable): NA		
Owner name: Revocable Living Trust of Francis Sheets & Kimberly DeCoste		
Owner mailing address: 905 W. Lenoir St., Raleigh, NC 27603		

<p><b>For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.</b></p>	
Property Owner Name & Address	Property Owner Name & Address



I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: <u>51, 66</u>
Did you consult with staff prior to filing the application? Yes <input type="radio"/> No <input checked="" type="radio"/>	

Design Guidelines: please cite the applicable sections of the design guidelines ( <a href="http://www.rhdc.org">www.rhdc.org</a> ).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.4/44	Paint & Paint Colors	Repaint House Exterior with new colors
2.3/42	Architectural Metals	Replace rusted out wrought iron railing with new wrought iron railings

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>05/04/2023</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u><i>Eni Moeth</i></u>	Date <u>11/04/2022</u>

## Morton, Erin

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**From:** Kim DeCoste <kldecoste0926@gmail.com>  
**Sent:** Wednesday, October 19, 2022 11:12 AM  
**To:** Morton, Erin  
**Subject:** Re: COA-0114-2022 (905 W Lenoir St) - Minor Work  
**Attachments:** 905 W Lenoir - COAPaintSchedule-rev.pdf

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you verify that the attachment and content are safe. If you believe this email is suspicious, please click the 'Phish Alert' link in the banner to report this message.

Hello Erin,

Thank you so much for your work on our COA application.

To answer your questions:

- I have attached a photo of the front of the house. It's the best angle to actually see the house. If you take it straight on, all you see are trees.
- We do not have a photo of the previous front step railing. It was very simple black wrought iron with a square railing and square posts that were connected to the sidewalk, the porch floor and the porch column.
- The new front step railing posts would be 1" square.
- We will mail the paint samples to you today.
- We thought porch railing (5) in the paint schedule referred to the railings that go around the porch, not the new front step railings, so that's why the color was listed as the light trim color. The new front step railings would be powder coated black, as mentioned in our written description. I have attached a revised paint schedule.

I hope that answers all your questions. If you need anything else, please let us know.

Thanks again,  
Kim







Current Paint Colors:



Sample of New Paint Colors:





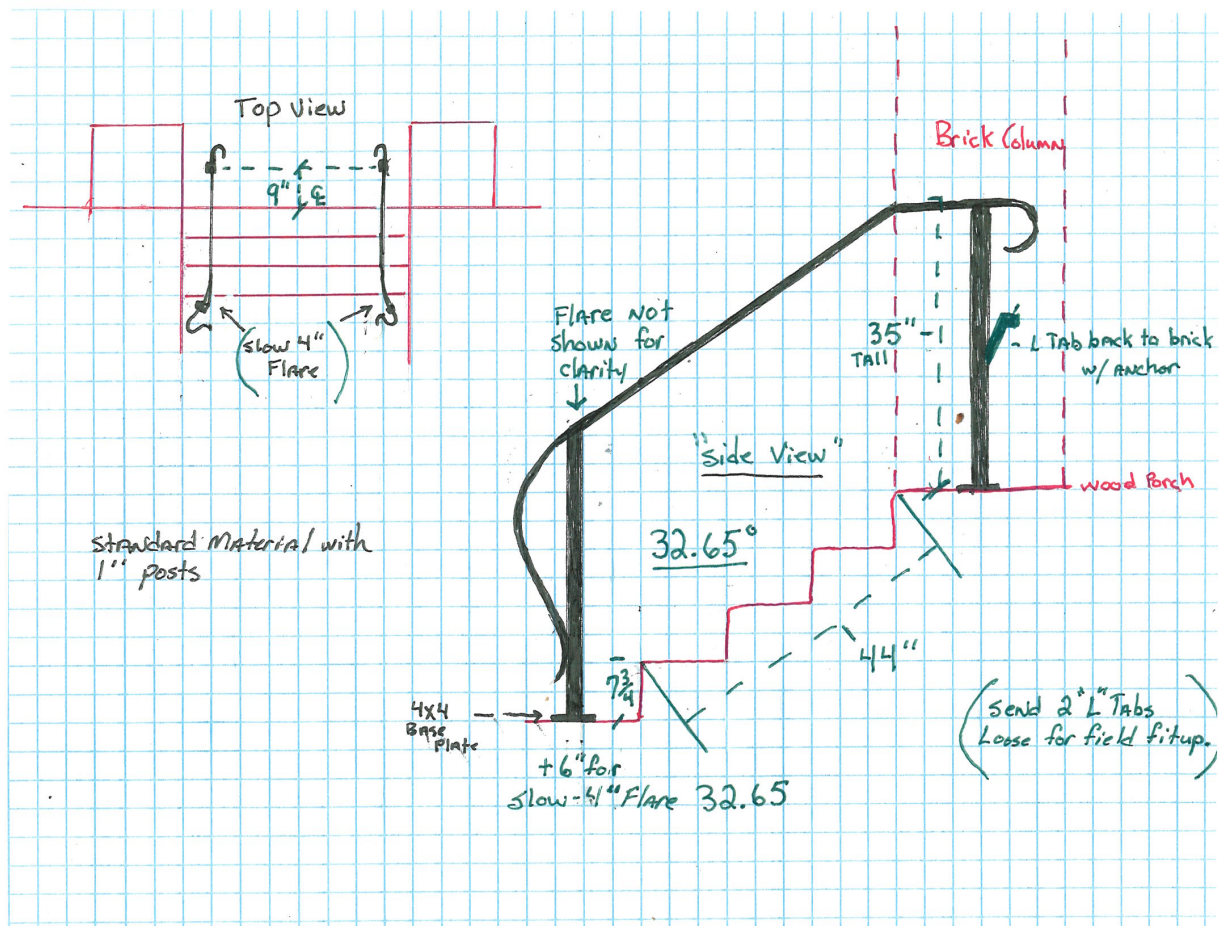
Front Porch Steps where new Railings will go:



**NOTE: Original wrought iron railing rusted out and had to be removed.**

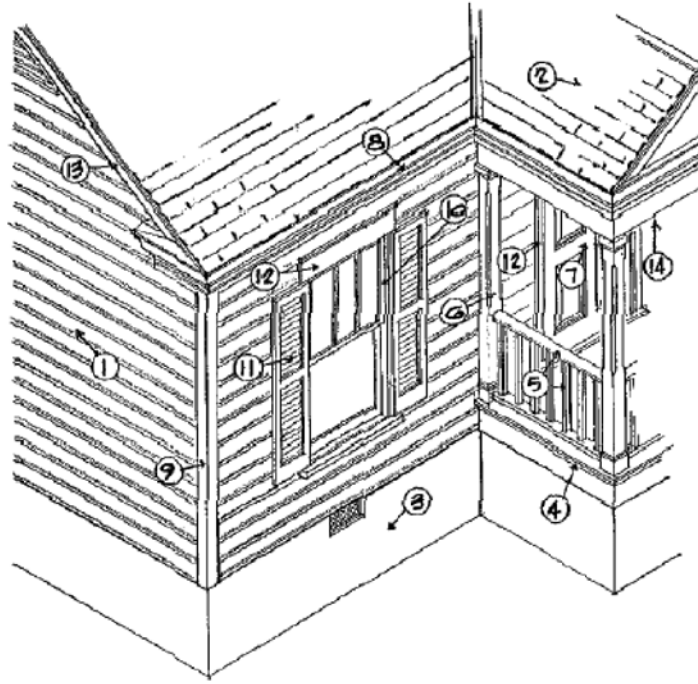
## 905 West Lenoir Street - Description of Minor Work

- 1) Repaint House Exterior with new colors
  - 1) Repaint body and trim of house with new colors (see schedule).
  - 2) Window sashes will remain the existing dark green color because that is also the color of the storm windows, which cannot be painted.
- 2) Replace Front Porch Railing
  - 1) Original black wrought iron railing on the right side of the front porch rusted out and had to be removed for safety reasons.
  - 2) Replace with simple black wrought iron railings on both side of steps (see diagram below).





# Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule



**Applicant** Kim DeCoste

**Address** 905 W. Lenoir St.

**Paint Manufacturer** (Please submit color chips with this schedule) Benjamin Moore

## Color Schedule

1	Body of House	<b>NEW - Slate Teal 2058-20 (sample on next page)</b>
2	Roofing	dark green
3	Foundation	red brick
4	Porch Floor	natural wood stain
5	Railing	<b>NEW - Cayman Islands 952 (sample on next page), Front Step Railings - Black</b>
6	Columns	<b>NEW - Cayman Islands 952</b>
7	Entrance Door	dark green
8	Cornice	<b>NEW - Cayman Islands 952</b>
9	Corner Boards	<b>NEW - Cayman Islands 952</b>
10	Window Sash	dark green
11	Shutter	NA
12	Door & Window Trim	<b>NEW - Cayman Islands 952</b>
13	Rake	<b>NEW - Cayman Islands 952</b>
14	Porch Ceiling	<b>NEW - Ashwood Gray 1654 (sample on next page)</b>
15	Other	

**NOTE:** Color of window sash cannot be changed as the windows have storm windows that are in the same color as the window sashes (dark green).



# Slate Teal

2058-20

# Cayman Islands

952

# Ashwood Gray

1654