



# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

**Project Description:**

Remove rear deck, patio, driveway, walkways, and retaining wall; construct rear painted wood deck; construct concrete driving strips and steps; install generator

10 N Bloodworth St

Address

Oakwood

Historic District

Historic Property

COA-0120-2023

Certificate Number

9/20/2023

Date of Issue

3/20/2024

Expiration Date

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

*Sein Morton*

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*



Type or print the following:

Applicant name: Meghan Calichman

Mailing address: 10 N Bloodworth Street

City: Raleigh

State: NC

Zip code: 27601

Date: September 16 2023

Daytime phone #: 201.874.4440

Email address: mcalichman@comcast.net

Applicant signature:



5808814AB3F14C2...

Minor work (staff review) – one copy

Major work (COA committee review) – ten copies

Additions &gt; 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of approval

**Office Use Only**

Transaction #: \_\_\_\_\_

File #: COA-0120-2023

Fee: \_\_\_\_\_

Amount paid: \_\_\_\_\_

Received date: \_\_\_\_\_

Received by: \_\_\_\_\_

Property street address: 10 North Bloodworth Raleigh NC 27601

Historic district: Oakwood

Historic property/Landmark name (if applicable):

Owner name: Meghan Calichman

Owner mailing address: 10 North Bloodworth Raleigh NC 27601

**For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.**

Property Owner Name & Address	Property Owner Name & Address



**I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.**

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: <u>26, 28, 33, 34, 50, 82</u>
Did you consult with staff prior to filing the application? Yes <input checked="" type="radio"/> No <input type="radio"/>	

Design Guidelines: please cite the applicable sections of the design guidelines ( <a href="http://www.rhdc.org">www.rhdc.org</a> ).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
#24	alteration add to deck	Remove the current deck and brick patio, concrete driveway and concrete walk ways in the rear of the house and replace with a deck smaller in scope

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>03/20/2024</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u><i>Erin Menter Pugh</i></u>	Date <u>09/20/2023</u>

10 N Bloodworth

Replace the rear deck and patio and drive

Remove the rear deck, brick patio, retaining walls, concrete walk ways and concrete driveway. Replace the deck slightly larger (less than the deck and brick patio is now) with railing on the sides and some on the rear. Deck is 36" in height at Edenton side and 12" on the opposite side. Material will be treated wood with pickets and hand railing to match the front porch original work. paint will match the existing front porch (grey floor with white pickets and railings).

Deck will be anchored to the house with through bolts

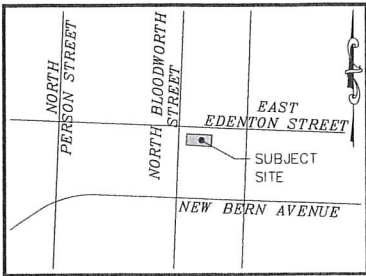
Concrete strips and walking pads will be broom brushed finished with grass infill between the strips







[illegible]



VICINITY MAP N.T.S.

BEARINGS SHOWN HEREON ARE  
BASED ON NAD83(EPOCH2011)

#### TITLE AND BOUNDARY NOTES

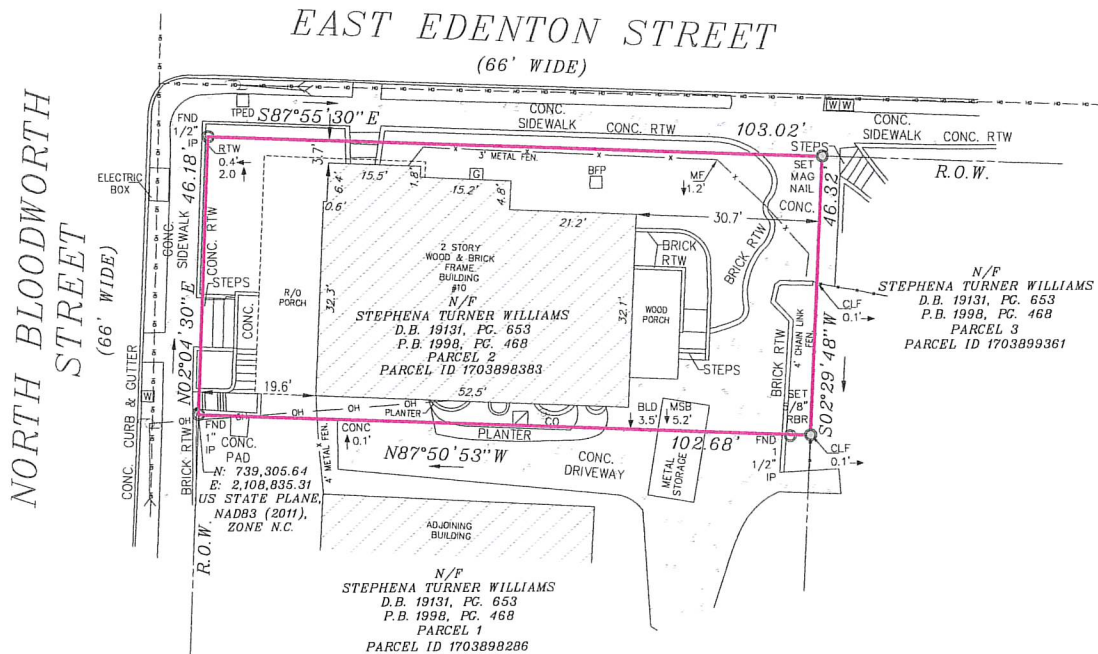
1. THE SURVEYOR WAS NOT PROVIDED A TITLE REPORT FOR THIS PROJECT. THIS SURVEY IS SUBJECT TO ALL RESTRICTIONS, RESERVATIONS, RIGHT-OF-WAYS, EASEMENTS, UTILITIES, COVENANTS, EXCEPTIONS, CONVEYANCES, LEASES AND EXCLUSIONS PREVIOUSLY IMPOSED AND APPEARING OF RECORD THAT A TITLE REPORT MAY DISCLOSE.
2. THIS SURVEY WAS PERFORMED USING A TRIMBLE ROBOTIC TOTAL STATION BASED ON CONTROL ESTABLISHED USING A TRIMBLE R10 GPS UNIT UTILIZING THE NORTH CAROLINA GNSS CORS REAL TIME NETWORK WITH A RELATIVE PRECISION OF .04' AT THE 95% CONFIDENCE LEVEL.
3. DISTANCES SHOWN HEREON ARE GROUND DISTANCES UNLESS OTHERWISE NOTED AS GRID.
4. COMBINED FACTOR = 0.99990398866154
5. GEOID MODEL IS CONUS GEOID18
6. CLASS A SURVEY

#### SURVEYORS CERTIFICATE

"I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN D.B. 19131, PG 653; AND P.B. 1998, PG. 468, PARCEL 2); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION DERIVED FROM RECORD SOURCES REFLECTED ON THIS MAP; AND THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS REFLECTED HEREON; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600)."

#### PREPARED FOR AND GUARANTEED TO:

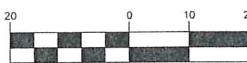
Robert Armstrong Calichman  
and Meghan M Calichman



#### SYMBOL LEGEND

— SURVEYED LINE	○/△ ON LINE	⚡ FIRE HYDRANT
- - - LINE NOT SURVEYED	⊕ MANHOLE	⚪ TEST HOLE
- - - EASEMENT	⊠ "A" INLET	⊙ TREE
⊙ C.P. POINT NOT SET	⊠ "B" INLET	⊙ SHRUB
⊠ MONUMENT FND	⊠ YARD INLET	⊙ BOLLARD
⊠ I.P. / I.B. FND	⊠ ELECTRIC METER	⊙ WETLAND FLAG
⊠ I.P. / I.B. SET	⊠ GAS METER	⊠ RTW RETAINING WALL
⊠ SPOT ELEVATIONS	⊠ WATER METER	⊠ FE. FENCE
⊠ UTILITY POLE	⊠ GAS VALVE	⊠ CONC. CONCRETE
⊠ GUY WIRE	⊠ WATER VALVE	⊠ PLAT. PLATFORM
⊠ LIGHT POLE	⊠ O/H OVERHANG	⊠ B/W BAY WINDOW
⊠ SIGN	⊠ R/O ROOF OVER	⊠ C/E CELLAR ENTRANCE
⊠ STOCKADE FENCE (STK)	⊠ D.C. DEPRESSED CURB	⊠ A/C UNIT
⊠ CHAIN LINK FENCE (CLF)	⊠ R.O.W. RIGHT OF WAY	⊠ STAKE
⊠ METAL FENCE (MF)		⊠ CENTERLINE

#### GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.

LOT AREA  
4,757 S.F.  
0.10 AC.



SCAN ME



**SCALICE**  
land surveying

mjslandsurvey.com P:984-240-7999  
266 W. Millbrook Road, Raleigh, NC 27609

DR.: GS

CREW.: TN

SCALE: 1" = 20'

PARCEL ID  
1703898383

FIRM LICENSE NO. C-4482

DATE SURVEYED: 06/01/2023 JOB No. 23-1854

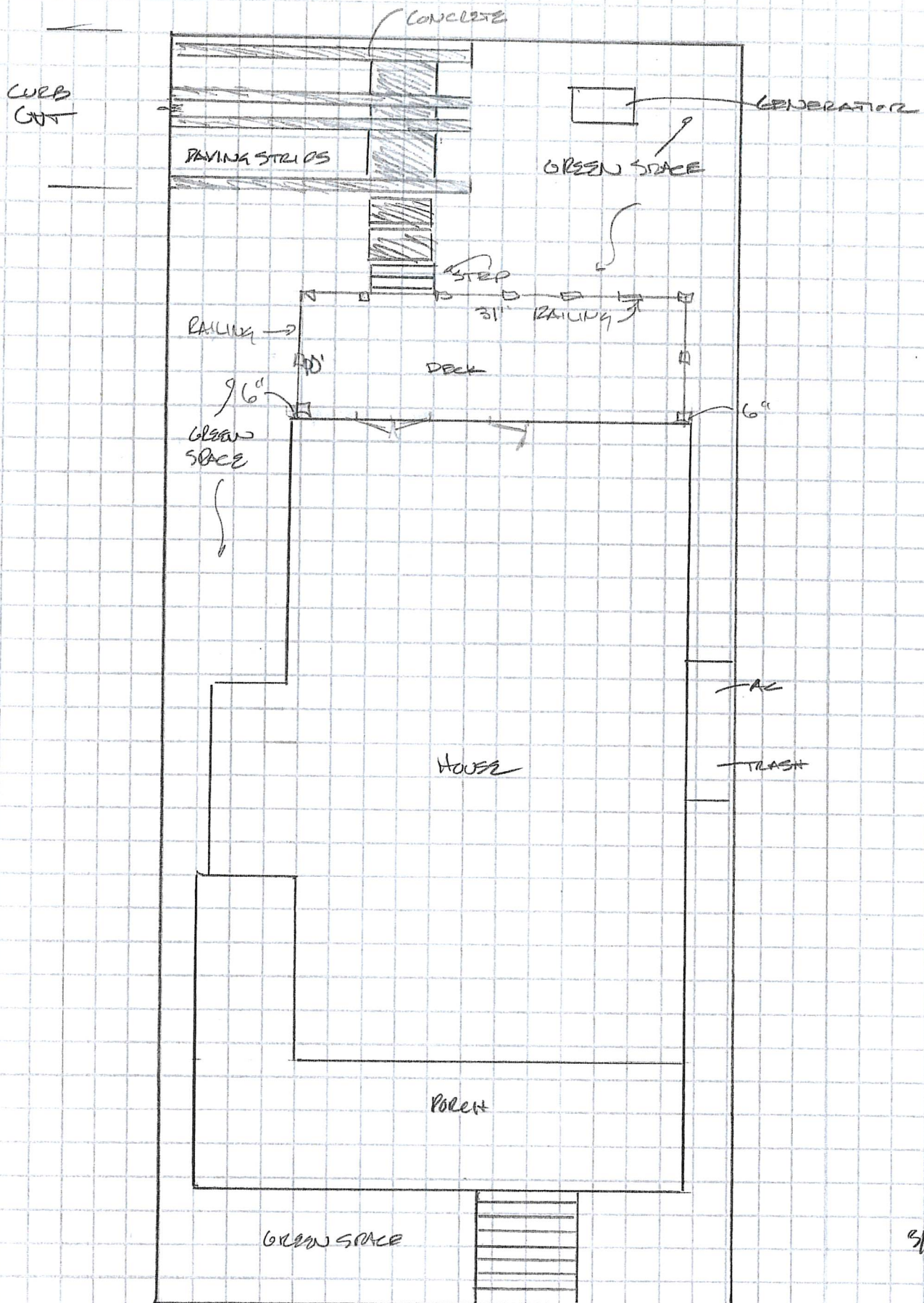
#### SURVEY OF PROPERTY

10 NORTH BLOODWORTH STREET  
RALEIGH, NC 27601  
PARCEL 2 (LOT 2)

MAP OF  
SURVEY FOR FRANK F. TURNER AND  
WIFE AUGUSTA B. TURNER  
PLAT BOOK 1998, PAGE 468  
SITUATE IN  
RALEIGH TOWNSHIP  
WAKE COUNTY, NORTH CAROLINA

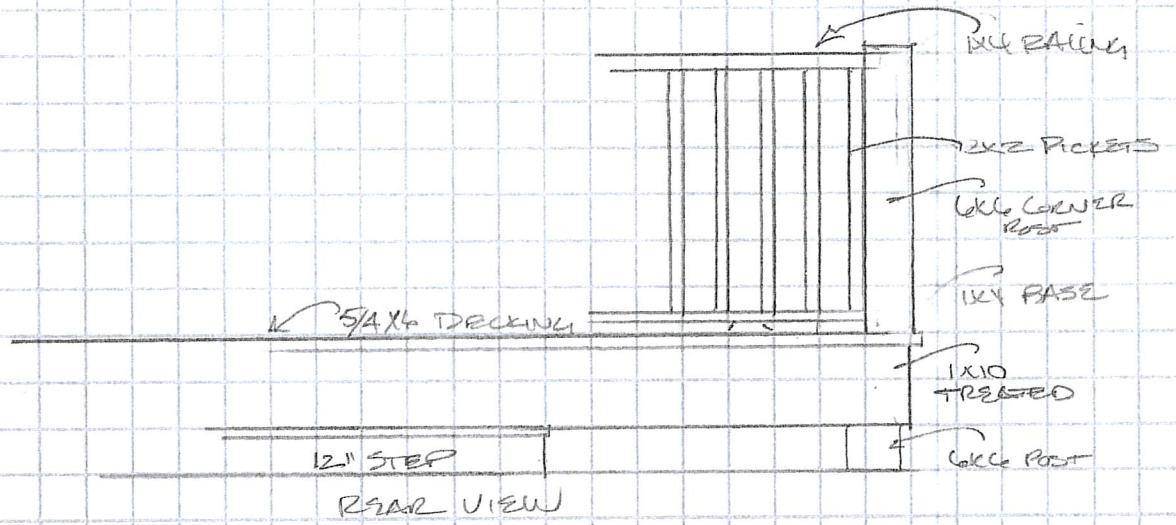
(1) UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF LAW. (2) ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S SEAL & SIGNATURE ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION. (3) CERTIFICATIONS ON THIS BOUNDARY SURVEY MAP INDICATE THAT THE MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYING ADOPTED BY THE STATE OF NORTH CAROLINA. (4) THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS EXIST OR ARE SHOWN, THE IMPROVEMENTS OR ENCROACHMENTS ARE NOT COVERED BY THIS SURVEY. (5) THE OFFSET (OR DIMENSIONS) SHOWN HEREON FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE DIRECTION OF FENCES, RETAINING WALLS, POOLS, PATIOS, PLANTING AREAS, ADDITIONS TO BUILDINGS, AND ANY OTHER TYPE OF CONSTRUCTION. (6) THE DISTANCE OF RIGHTS OF WAY AND/OR EASEMENTS OF RECORD IF ANY, NOT SHOWN ARE NOT GUARANTEED. (7) IF THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, THE EXISTENCE OF ANY COVENANTS, RESTRICTIONS, EASEMENTS AND/OR RIGHTS OF RECORD, IF ANY, MAY NOT BE SHOWN OR ADDRESSED AND ARE NOT GUARANTEED.



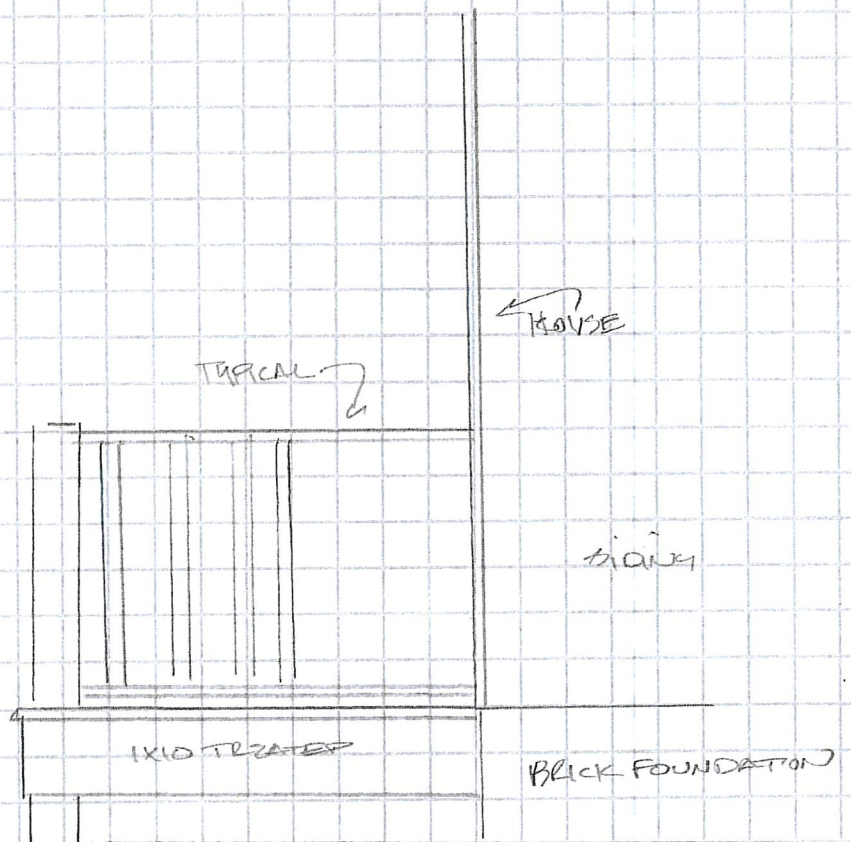


5/32





SECTION DECKING





VICINITY MAP N.T.S

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### TITLE AND BOUNDARY NOTES

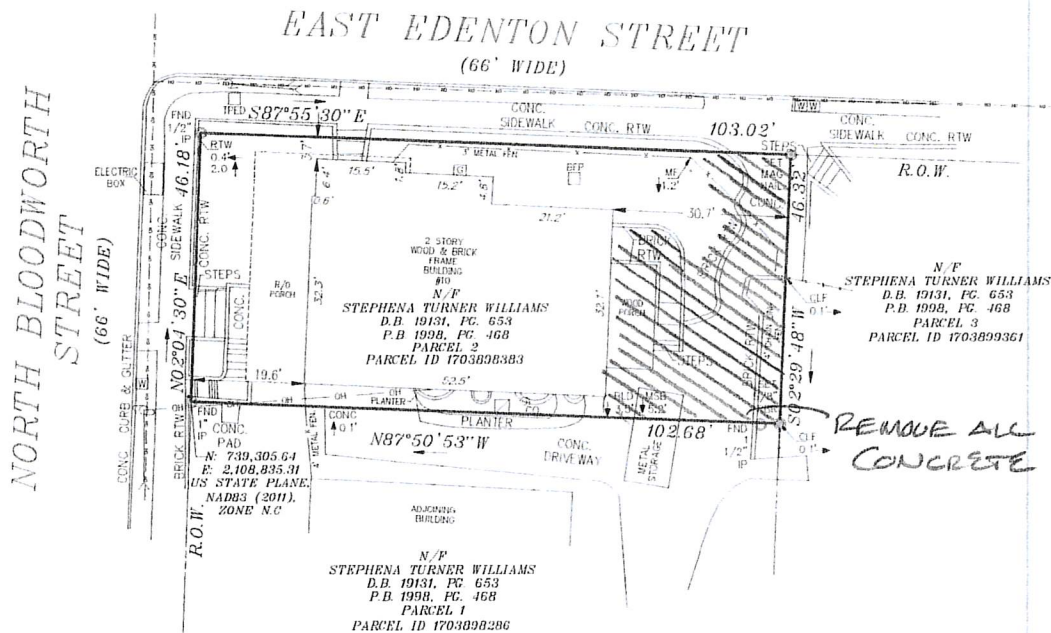
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PREPARED FOR AND GUARANTEED TO:

Robert Armstrong Calichman  
and Meghan M. Calichman



### SYMBOL LEGEND

---	SURVEYED LINE	O/A ON LINE	🔦	FIRE HYDRANT
---	LINE NOT SURVEYED	MANHOLE	🔦	FIRE HSE
---	EASEMENT	7" INSET	🌳	TREE
[ ]	CP POINT NOT SET	8" INSET	🌳	TREE
[ ]	MORUMENT FND	YARD INLET	🌳	TREE
IP. / LB FND		YARD INLET	🌳	TREE
IP. / LB SET		YARD INLET	🌳	TREE
🔦	"PO" ELEVATING	WATER METER	🌳	TREE
🔦	UTILITY POLE	EQ GAS METER	🌳	TREE
🔦	GR WIRE	WATER VALVE	🌳	TREE
🔦	LIGHT POLE	WATER VALVE	🌳	TREE
🔦	SIGN	PVC OVERHANG	🌳	TREE
🔦	PVC FENCE (PVC)	P/R OVER	🌳	TREE
🔦	STOCKADE FENCE (S/F)	CP DEF. DEPTED CURB	🌳	TREE
🔦	CHAIN LINK FENCE (L/F)	R/O N. OVER	🌳	TREE
🔦	METAL FENCE (M/F)		🌳	TREE



SCAN ME

Clifford Wagner

Digitally signed by

Clifford Wagner

Date: 2023.06.09

14:48:45 -04'00'

## GRAPHIC SCALE



( IN FEET )

1 inch = 20 ft.

LOT AREA

4.757 S.F.  
0.10 AC



**SCALICE**  
land surveying

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RALEIGH, NC 27601  
PARCEL 2 (LOT 2)

MAP OF  
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PLAT BOOK 1998, PAGE 468

RALEIGH TOWNSHIP  
WAKE COUNTY, NORTH CAROLINA