



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Replace shingle roof with metal standing seam roof;
replace garage roof; install gutters and downspouts

415 Elm St

Address

Oakwood

Historic District

Historic Property

COA-0121-2025

Certificate Number

10/6/2025

Date of Issue

4/6/2026

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:

Applicant name:

Mailing address:

City:

State:

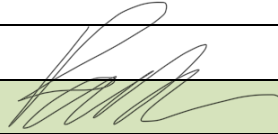
Zip code:

Date:

Daytime phone #:

Email address:

Applicant signature:



Minor work (staff review) – one copy

Major work (COA committee review) – ten
copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of
approval

Office Use Only

Transaction #: _____

File #: **COA-0121-2025**

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address:

Historic district:

Historic property/Landmark name (if applicable):

Owner name:

Owner mailing address:

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.


Property Owner Name & Address

Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: <u>40, 60</u>
Did you consult with staff prior to filing the application? Yes <input type="radio"/> No <input checked="" type="radio"/>	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.5/47	roof replacement and	Replace old shingle roof on portion of house which has failed with new

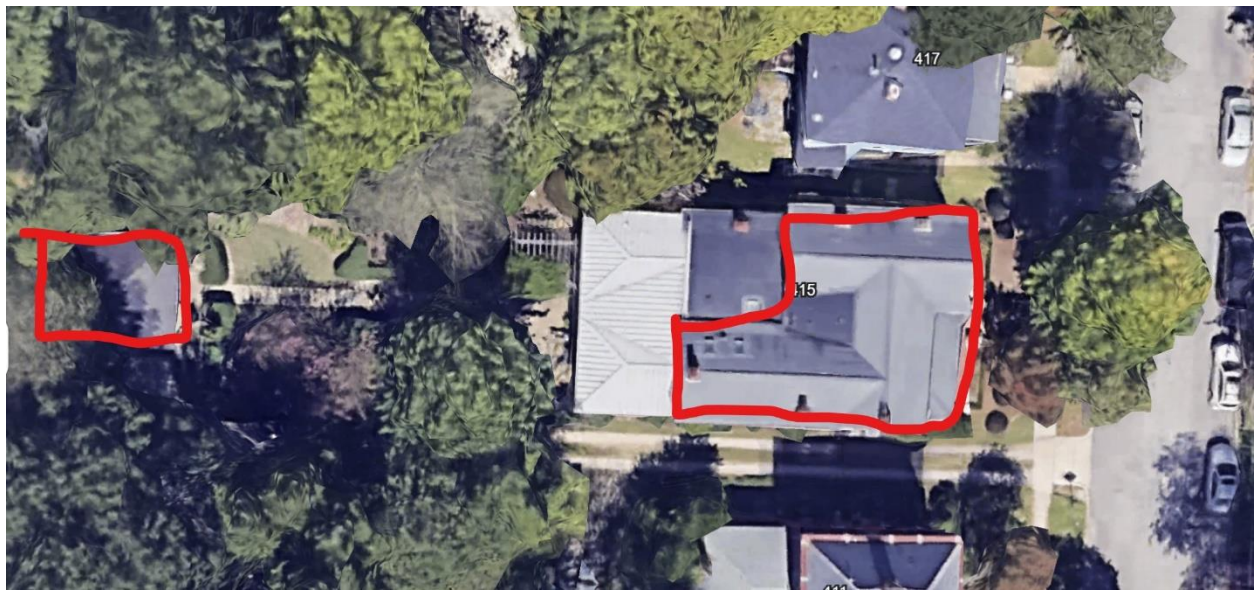
<p align="center">Minor Work Approval (office use only)</p> <p>Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>04/06/2026</u>.</p> <p>Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.</p> <p>Signature (City of Raleigh) <u></u> Date <u>10/06/2025</u></p>
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Description of work:

Replace old shingle roof on portion of house which has failed with new metal standing seam roof. Note that current roof material is not historic and installed some time after 2000 (see images). We are also replacing the garage shingle roof to match. Garage is not a historic structure, was developed in 2009. In addition to the roof replacement we are replacing the non-historic (c. 2000s) aluminum gutters and downspouts with new copper gutters and downspouts.

We believe that the original roofing material of the home was metal per attached image we have from the house taken in the 1970s.

Comment from staff: Confirmed with property owner, the pan width will be 16" with a rib height of 1". The pans should be flat or nearly flat with no striations or ridges. - crk



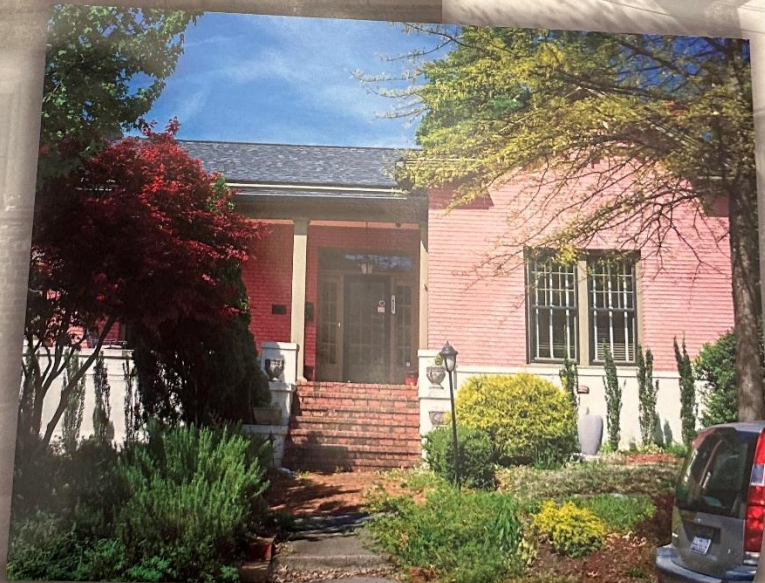
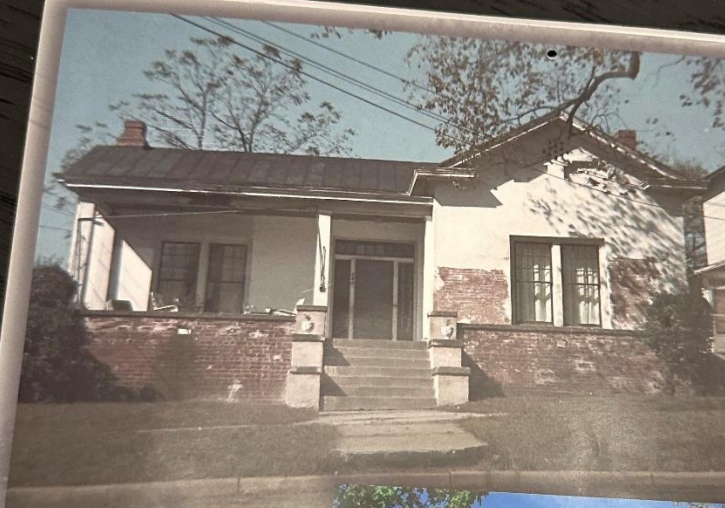












415 Elm Street c. 1970
Vallie & Archie Henderson Photo Archive

photo: W K Blaine

MAY 2025

1 2 3 4 5
6 7 8 9 10 11 12
13 14 15 16 17 18 19
20 21 22 23 24 25 26
27 28 29 30 31

1 2 3 4 5 6 7
8 9 10 11 12 13 14
15 16 17 18 19 20 21
22 23 24 25 26 27 28
29 30 31

Sunday

Monday

Tuesday

Wednesday

Thursday

Friday

Saturday

1

2

3

2.5 Roofs: Guidelines

- .1 Retain and preserve roofs and roof forms that contribute to the overall historic character of a building, including their functional and decorative features, such as roofing materials, cresting, dormers, chimneys, cupolas, and cornices.
- .2 Protect and maintain the metal, wooden, and masonry elements of historic roofs through appropriate methods:
 - Inspect regularly for signs of deterioration and moisture penetration.
 - Clean gutters and downspouts to ensure proper drainage.
 - Replace deteriorated flashing as necessary.
 - Reapply appropriate protective coatings to metal roofs as necessary.
 - Maintain adequate ventilation of roof sheathing to prevent moisture damage.
 - Ensure that roofing materials are adequately anchored to resist wind and water.
- .3 Repair historic roofs and their distinctive features through recognized preservation methods for resetting or reinforcing.
- .4 If replacement of a partially deteriorated historic roof feature is necessary, replace only the deteriorated portion in kind to match the original feature in design, dimension, detail, color, and material. Consider compatible substitute materials only if using the original material is not technically feasible.
- .5 If full replacement of a deteriorated historic roofing material or feature is necessary, replace it in kind, matching the original in scale, detail, pattern, design, material, color, and details such as ridge and hip caps. Consider compatible substitute materials only if using the original material is not technically feasible.
- .6 If a historic roof feature is completely missing, replace it with a new feature based on accurate documentation of the original feature or a new design compatible in scale, size, material, and color with the historic building and district.
- .7 It is not appropriate to remove a roof feature that is important in defining the overall historic character of a building, rather than repair or replace it.
- .8 If new gutters and downspouts are needed, install them so that no architectural features are lost or damaged. Select new gutters and downspouts that match trim color, unless they are copper. For modest postwar roofs, galvanized metal may be an appropriate choice. Retain the shape of traditional half-round gutters and downspouts if replacing them.
- .9 It is not appropriate to replace concealed, built-in gutter systems with exposed gutters.
- .10 It is not appropriate to introduce new roof features such as skylights, dormers, or vents if they will compromise the historic roof design, or damage character-defining roof materials or the character of the historic district or landmark.
- .11 Install ventilators, solar collectors, antennas, skylights, or mechanical equipment in locations that do not compromise character-defining roofs or on roof slopes not visible from the street.
- .12 It is not appropriate to install exposed tarpaper rolls as a finished roofing material or as a replacement for valley flashing.



A finial on a conical roof penetrates the roofline.



5413 Hillsborough Street
Raleigh, NC 27606
www.roofwerks.com
(919) 852-2660



SENTRICLAD FULL ARCHITECTURAL COLOR PALETTE

CORE COLORS

					
Regal White□ SR: .70 IE: .85 SRI: 85	Bone White□ SR: .68 IE: .86 SRI: 82	Stone WhiteΔ SR: .62 IE: .85 SRI: 73	AlmondΔ SR: .63 IE: .86 SRI: 75	SandstoneΔ SR: .47 IE: .86 SRI: 53	Sierra Tan SR: .30 IE: .85 SRI: 30
					
Medium Bronze SR: .26 IE: .84 SRI: 24	Mansard Brown SR: .29 IE: .86 SRI: 29	Dark Bronze SR: .26 IE: .84 SRI: 25	Extra Dark Bronze- SR: .05 IE: .89 SRI: -1	Patina Green SR: .25 IE: .87 SRI: 24	Classic Green SR: .25 IE: .86 SRI: 24
					
Hartford Green-** SR: .10 IE: .86 SRI: 4	Teal** SR: .28 IE: .87 SRI: 28	True Black SR: .05 IE: .89 SRI: -1	Slate Blue SR: .27 IE: .86 SRI: 26	Regal Blue** SR: .30 IE: .86 SRI: 30	Terra Cotta SR: .39 IE: .85 SRI: 42
					
Banner Red** SR: .44 IE: .86 SRI: 49	Colonial Red SR: .31 IE: .87 SRI: 31	Brandywine** SR: .27 IE: .87 SRI: 27	Dove Gray SR: .49 IE: .87 SRI: 56	Slate GrayΔ SR: .37 IE: .86 SRI: 39	Charcoal SR: .08 IE: .90 SRI: 33
					
Matte Black SR: .26 IE: .86 SRI: 85	SilversmithΔ S15**.* SR: .48 IE: .80 SRI: 52	Champagne S20**.* SR: .37 IE: .83 SRI: 38	Pewter S11**.* SR: .36 IE: .85 SRI: 38	Bright CopperΔ S25**.* SR: .41 IE: .85 SRI: 44	Bright SilverΔ S66**.* SR: .55 IE: .77 SRI: 61
					
Aged Copper Metallic**.* SR: .25 IE: .85 SRI: 23					

* Featuring a pearlescent mica finish; subject to premium pricing. Colors shown are as close to actual colors as allowed by the printing process. Actual metal samples are available. Colors may appear different when viewed at different angles and under different lighting conditions. Due to product improvements, changes and other factors, we reserve the right to change or delete information herein without prior notice.

Acrylic Coated Galvalume also available (not pictured).