

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

613 Wills Forest St

Address

Renew COA #079-18-CA

Glenwood-Brooklyn

Historic District

Historic Property

COA-0122-2019

Certificate Number

10/29/2019

Date of Issue

10/29/2020

Expiration Date


This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette R. Kinne

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:		
Applicant name: Michael Powell		
Mailing address: 711 West Lane St.		
City: Raleigh	State: NC	Zip code: 27603
Date: 9/24/19	Daytime phone #: 919-829-5610	
Email address: mpowell@archwoodbuilding.com		
Applicant signature: 		
Minor work (staff review) – one copy Major work (COA committee review) – ten copies Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval		Office Use Only Transaction #: _____ File #: <u>COA-0122-2019</u> Fee: _____ Amount paid: _____ Received date: _____ Received by: _____
Property street address: 613 Wills Forest St.		
Historic district: Glenwood-Brooklyn		
Historic property/Landmark name (if applicable):		
Owner name: <u>Uleys Jasper Beard, Jr.</u>		
Owner mailing address: 613 Wills Forest St., Raleigh, NC 27605		

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.	
Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? <input checked="" type="radio"/> Yes No Did you consult with staff prior to filing the application? <input checked="" type="radio"/> Yes No	Office Use Only Type of work: <u>91</u>
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Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
		This is a renewal request for COA #079-18-CA which was approved on August 31, 2018.
		There are recent photos attached showing no work has been done.
		A tree protection plan will be submitted soon.

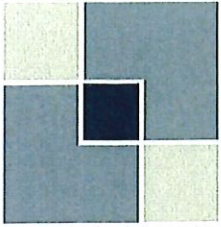
Minor Work Approval (office use only) Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>10/29/2020</u> . Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Collette R K</u>	Date <u>10/29/2019</u>

COA Application Minor Work Description

Address: 613 Wills Forest St.

Owner: Uleys Jasper Beard, Jr.

This is a renewal request for COA #079-18-CA which was approved August 31, 2018. There are recent photos attached to show that no work has been done. A tree protection plan will be submitted soon.



RHDC
RALEIGH HISTORIC
DEVELOPMENT COMMISSION

August 31, 2018

David Cole
Inclusion Studio PLLC
206 New Bern Place
Raleigh, NC 27601

RE: 079-18-CA (613 Wills Forest Street)— Approved with Conditions

Dear Mr. Cole:

Your application, 079-18-CA, which was presented at the August 23, 2018, meeting of the Certificate of Appropriateness (COA) Committee of the Raleigh Historic Development Commission, was approved with conditions:

1. That a tree protection plan for the trees in the right-of-way be implemented and remain in place for the duration of construction.
- ✓ 2. That details and specifications for the following be provided to and approved by staff prior to issuance of the COA blue placard: *Approved 10/29/19 CRK*
 - a. A tree protection plan for the trees in the right-of-way prepared by an arborist certified by the International Society of Arboriculture or by a North Carolina licensed landscape architect that addresses the critical root zones and provides staging areas for construction activity and material storage.
3. That details and specifications for the following be provided to and approved by staff prior to installation or construction:
 - a. Manufacturer's specifications for doors, showing both section and elevation views, and material descriptions;
 - b. Manufacturer's specifications for exterior lighting, and locations on building;
 - c. HVAC location and screening;
 - d. Gutters and downspouts, and locations on building.

A draft Certified Record that describes the committee's action is enclosed. The draft will become final when the committee votes at its next meeting to approve the August minutes. Please note that you and aggrieved parties have a 20-day window for notification of intent to appeal or to file a petition to submit a request for reconsideration. *Commencement of work within the appeal period is at your own risk.*

In order to complete your application, you must contact the commission staff when you have met the conditions. You will then be issued the blue placard form of the certificate which is valid through February 23, 2019. Please note that all items for fulfillment of

Post Office Box 829
Raleigh, North Carolina 27602
(919) 832-7238 ph
(919) 516-2682 fax
www.rhdc.org





4214 Wingate Drive, Wilson, North Carolina 27896 (252) 289-6044
John Sugg, Certified Arborist # SO-1235A, Tree Risk Assessment Qualified
johnsugg@coastalnet.com
www.treefullcommunities.com

October 10, 2019

Jasper Beard
613 Wills Forest Street
Raleigh, NC 27605

This tree assessment is conducted at the request of Jasper Beard at 613 Wills Forest Street in Raleigh and is in response to tree preservation requirements by the City of Raleigh.

Allow this to confirm my visit of the property on October 9, 2019 upon which I created a sketch in conjunction with the site visit. Please reference this accompanying sketch to verify that the Critical Root Zones (CRZ's) of all trees with a DBH of 8" or greater, on and adjacent to the property, will be not be affected as a result of the home addition.

If there are future concerns or questions regarding trees on this or surrounding properties, please contact me promptly.

John Sugg, CA

Tree Risk Assessment Qualified

Garage

CR2
for
Crabapple

Fireplace

CR2
for
Privet

Ball Yard

CR2
for
Japanese
Cherry

CR2 for
Pecan

Material
Storage

CR2
for
Chinaberry

← No vehicles beyond dashed line

Footings for New Porch

House

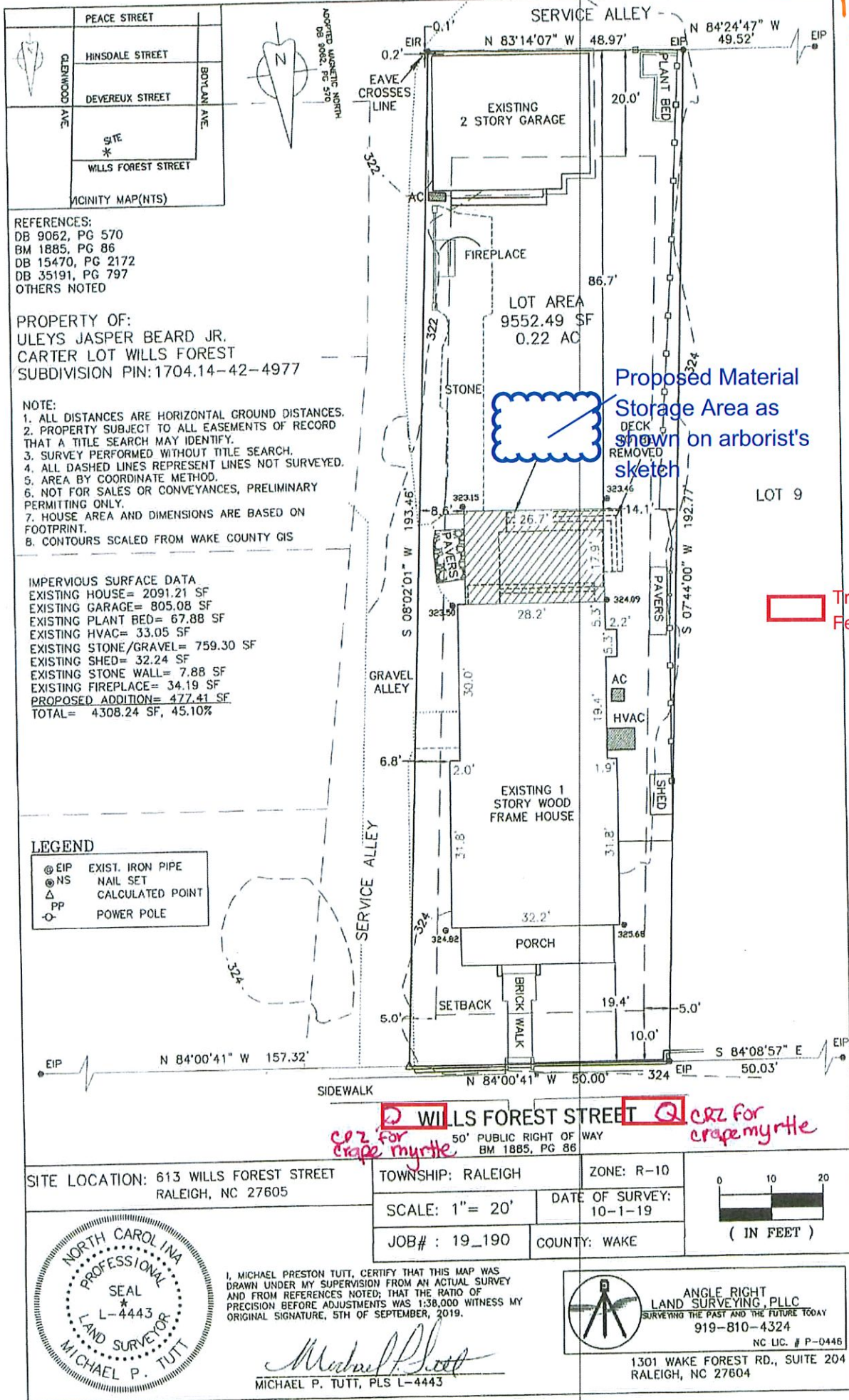
Current Parking
w/
Subdivision
Access

Driveway





Condition 2a
10/29/19
CLK







Kinane, Collette

From: cthomas@archwoodbuilding.com
Sent: Tuesday, October 29, 2019 5:06 PM
To: Kinane, Collette
Cc: Casey Thomas; 'John Sohn'; courtneybeard15@gmail.com; johnsugg@coastalnet.com; 'Michael Powell'; 'jasper beard'
Subject: RE: minor work COA - COA-0122-2019 (613 Wills Forest Street)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you verify that the attachment and content are safe. If you believe this email is suspicious, please click the 'Phish Alert' link in the banner to report this message.

Hi Collette,

Yes, we are good with the suggested locations for the tree protection fencing, and yes, they are both crepe myrtles.

The DBH for Tree #1 (left of the house when facing it and closest to the alley way) measures 20".

The DBH for Tree #2 (right of the house when facing it) diameter measures 18".

Hope that covers everything, let me know if we need to get you anything else.

Thanks so much,

Casey Thomas

> Hi, Casey
>
> Thanks for sending this. Can you also send me the DBH for each tree?
> They're both Crepe Myrtles, correct? While this plan locates the
> trees, it does not note any tree protection as stipulated in Condition 1 and 2a.
> Please see the attachment and two screen shots for suggested locations
> for tree protection fencing. If you're amenable to the suggested
> edits, I'll be able to approve condition 2 and print the placard (and
> thus approve the minor work renewal).
>
> Thanks,
> Collette
>
> Collette R. Kinane
> Preservation Planner II
>
> â€¢ Raleigh Urban Design Center
> One Exchange Plaza, Suite 300 | Raleigh, NC 27601
> 919-996-2649 | raleighnc.gov
>
> From: Casey Thomas <cthomas@archwoodbuilding.com>