



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Install brick side steps and walkway with metal railing

1301 Filmore St

Address

Glenwood-Brooklyn

Historic District

Historic Property

COA-0136-2025

Certificate Number

10/10/2025

Date of Issue

4/10/2026

Expiration Date

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

A handwritten signature in dark ink, appearing to read "Collette K.", written over a horizontal line.

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:		
Applicant name: Katie Schermbeck <i>Kyle Schermbeck</i>		
Mailing address: 1301 Filmore St.		
City: Raleigh	State: NC	Zip code: 27605
Date: 12-7-2023	Daytime phone #: 919.448.8558	
Email address: katie.schermbeck@gmail.com kyle.schermbeck.kyle@gmail.com		
Applicant signature: <i>Katie Schermbeck</i> <i>Kyle Schermbeck</i>		
<div style="border: 1px solid red; border-radius: 10px; padding: 5px; display: inline-block;">Minor work (staff review) – one copy</div> Major work (COA committee review) – ten copies Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval		<div style="text-align: center;">Office Use Only</div> Transaction #: _____ File #: COA-0134-2025 Fee: _____ Amount paid: _____ Received date: _____ Received by: _____
Property street address: 1301 Filmore Street		
Historic district: Glenwood-Brooklyn Historic District		
Historic property/Landmark name (if applicable): L. Preston Brooks House		
Owner name: Katie & Kyle Schermbeck		
Owner mailing address: 1301 Filmore St. Raleigh, NC 27605		

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address
n/a	

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: _____ _____
Did you consult with staff prior to filing the application? Yes <input checked="" type="radio"/> No <input type="radio"/>	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.1.1, 2.1.2	Public Rights of Way	New standard brick paver walkway to existing sidewalk
3.3.7	Architectural Metals	New 36" wrought iron railing on new stair

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>04/10/2026</u> . Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Coleman K</u>	Date <u>10/10/2025</u>

Submitted by Brooke Tate, Maurer Architecture

COA Minor Works Application: Written Description with Guidelines

Add brick paver walkway to existing sidewalk, brick steps, and a brick paver walkway to side entry. Pavers to be standard red brick pavers in stretcher bond pattern. Add 36" high wrought iron railing to steps for safety, accessibility and compliance to building code.

2.1 Public Rights-of-Way and Alleys: Guidelines

.1 Preserve and maintain the topography, patterns, features, materials, and dimensions of streets, sidewalks, alleys, and street plantings that contribute to the overall historic character of the historic districts.

.2 If repair or construction work in the public-right-of-way is necessary, protect and retain historic features such as granite curbing, brick gutters, and street plantings. Replace in kind any damaged or deteriorated historic features. Repair or replace sidewalks, curbs, and paving where needed, to match adjacent historic materials in design, color, module, pattern, texture, and tooling.

2.5 Walkways, Driveways, and Offstreet Parking: Guidelines

.1 Retain and preserve the topography, patterns, configurations, features, dimensions, materials, and color of existing walkways, driveways, and offstreet parking areas that contribute to the overall historic character of individual building sites, the streetscape, and the historic district.

.4 If a walkway or a driveway is completely missing, replace it with a new feature based on accurate documentation of the original design or a new design compatible in location, configuration, dimension, scale, materials, and color with the historic building site, streets, and district.

.5 Design new walkways, driveways, and offstreet parking areas to be compatible in location, patterns, spacing, configurations, dimensions, materials, and color with existing walkways, driveways, and offstreet parking areas that contribute to the overall historic character of the district.

3.3 Architectural Metals: Guidelines

.7 If an architectural metal feature is completely missing, replace it with a new feature based on accurate documentation of the original design or a new design compatible in scale, size, material, and color with the historic building and district.



01- View of sidewalk looking west along Jefferson Street



02 - View from house looking south at sidewalk on Jefferson Street



01- View of future stairs and railing looking west along Jefferson Street



04- View of side entry at house



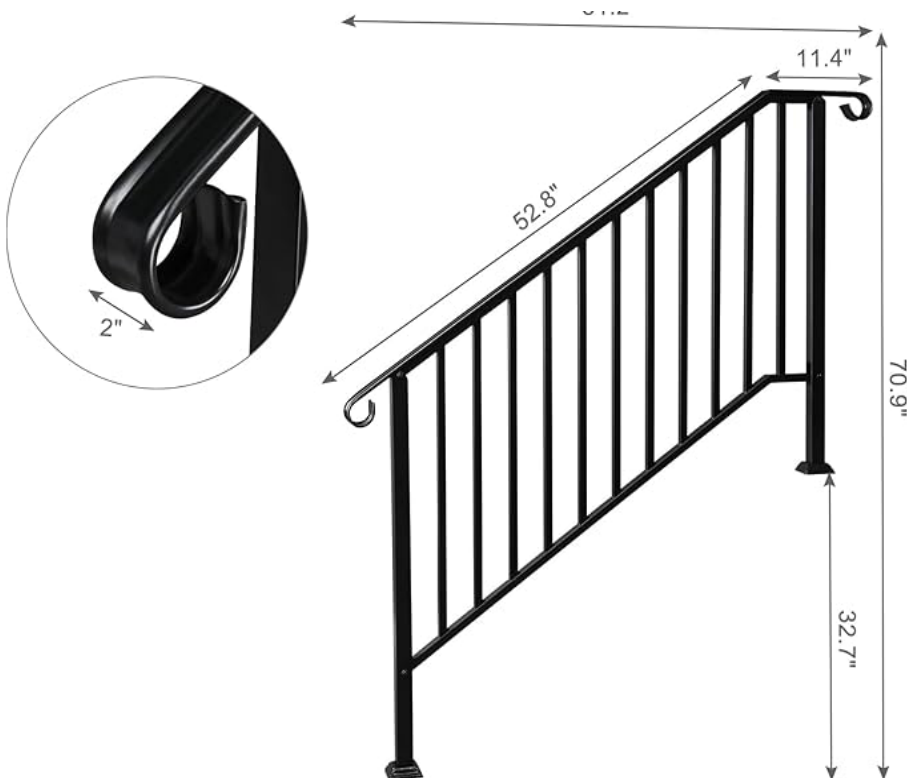
05- View of grade differential from sidewalk to entry along Jefferson Street



06 -View during Construction of bridge from sidewalk to entry



07- Railing Details



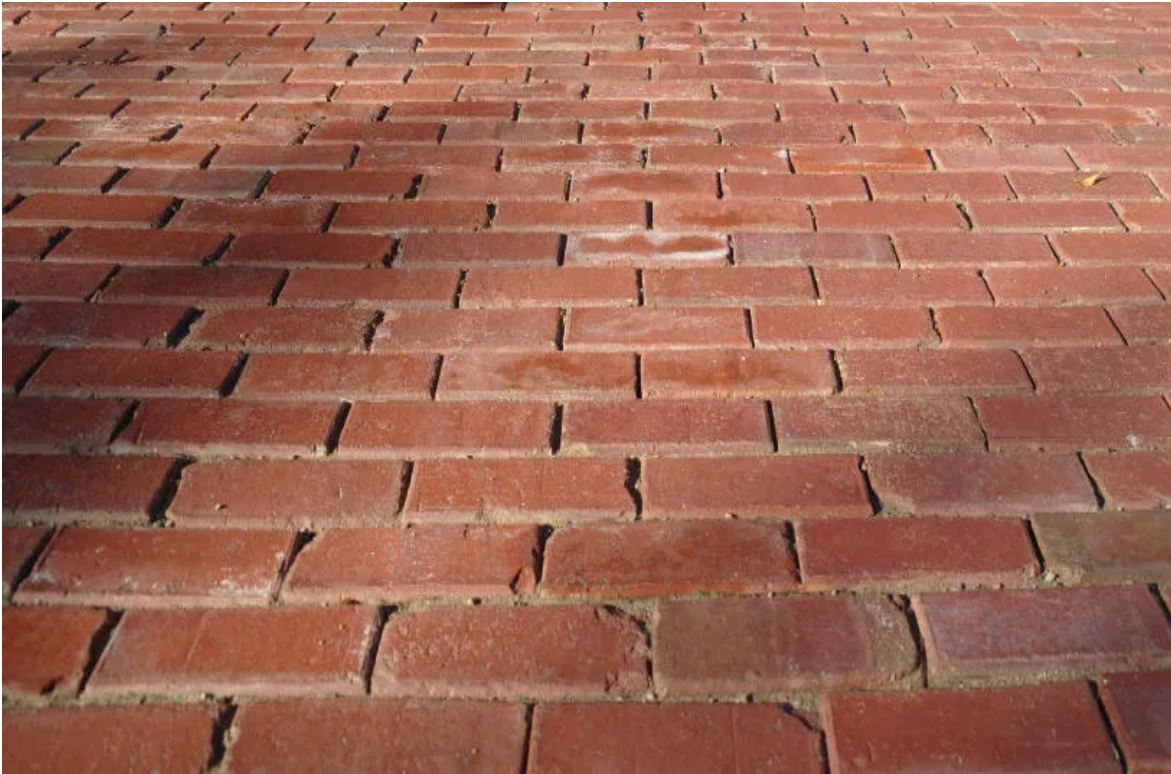
08 -Railing Details



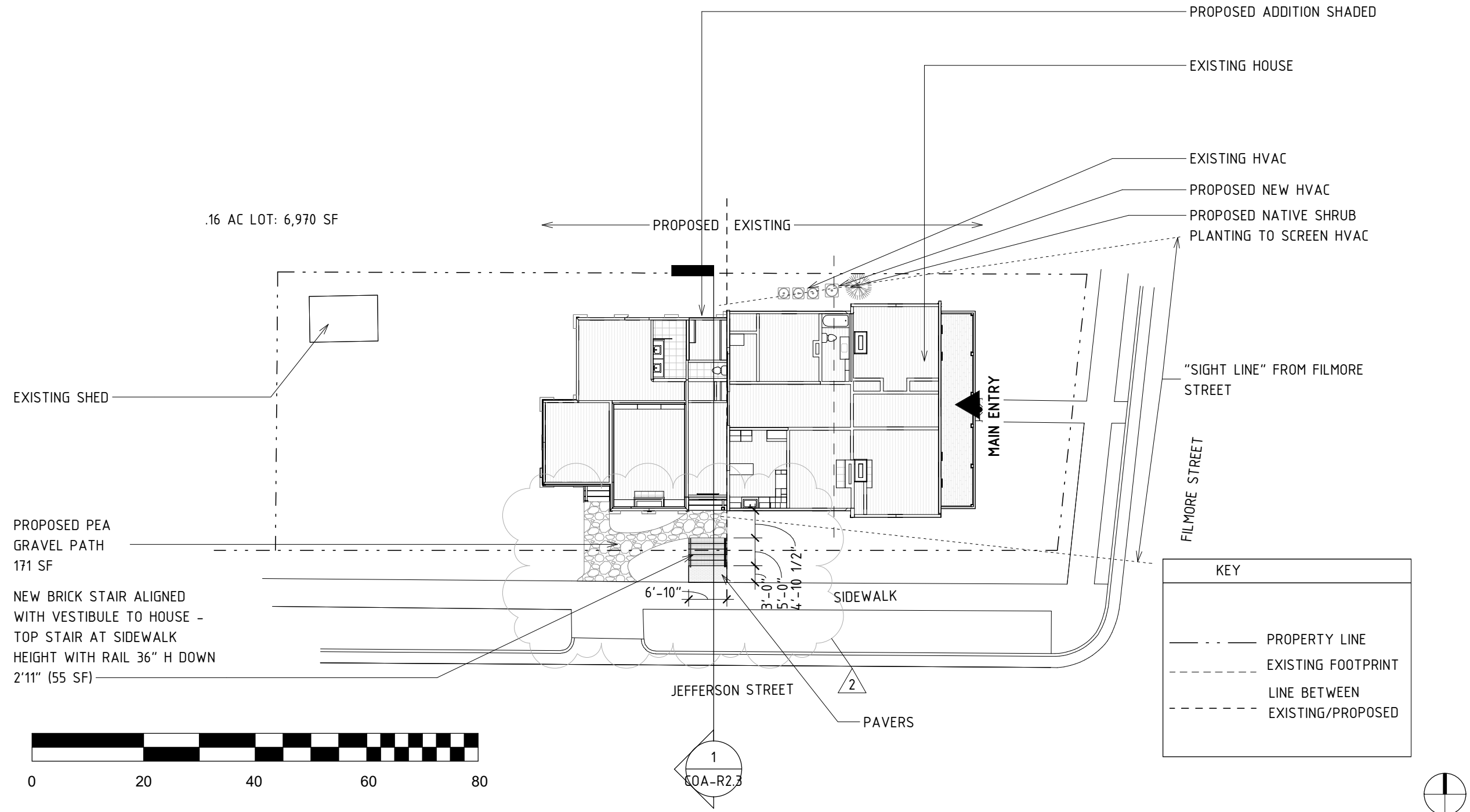
09- Example of Railing photograph



10- Railing Detail



11- Example standard red brick pavers in stretcher bond pattern

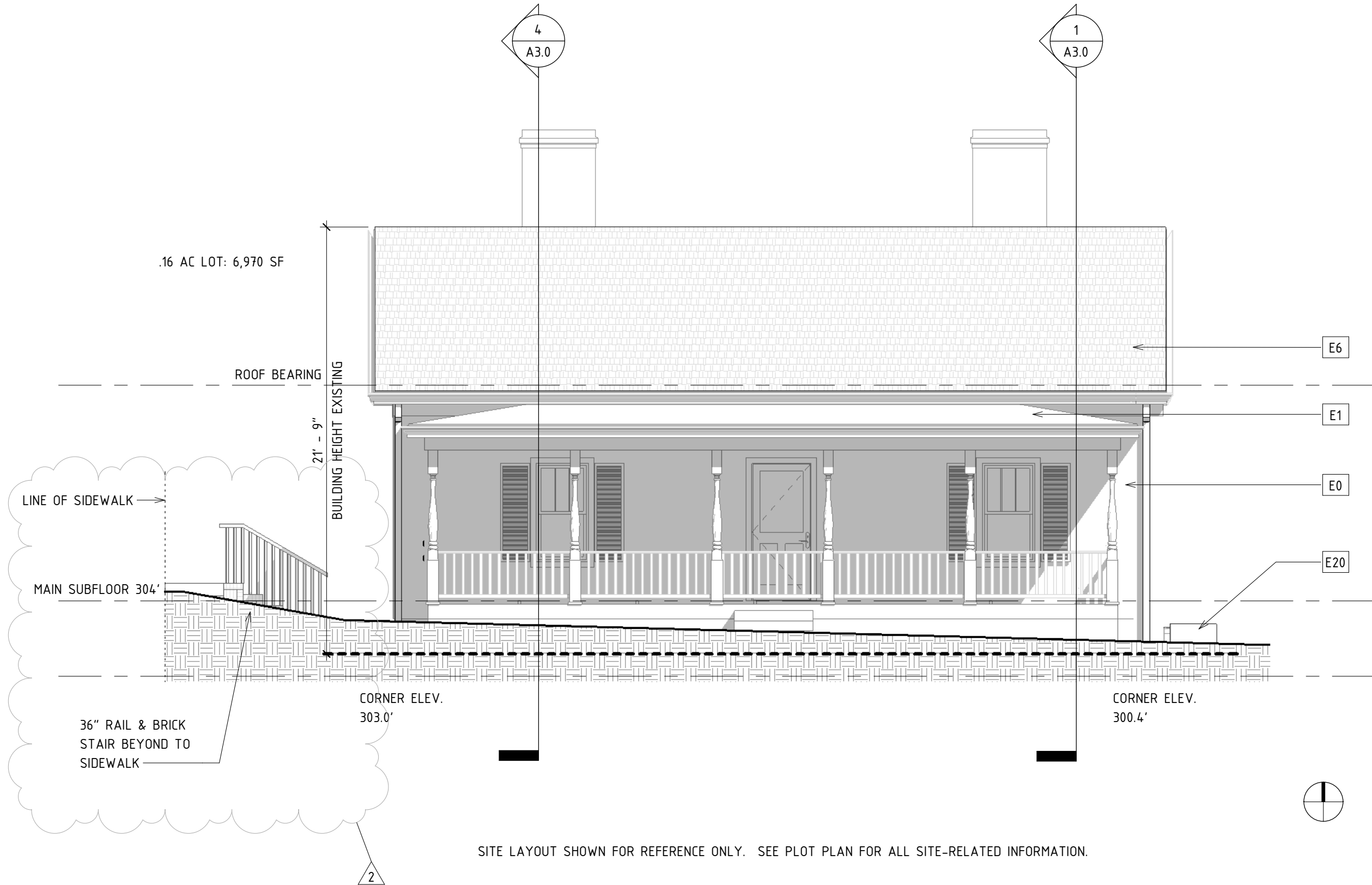


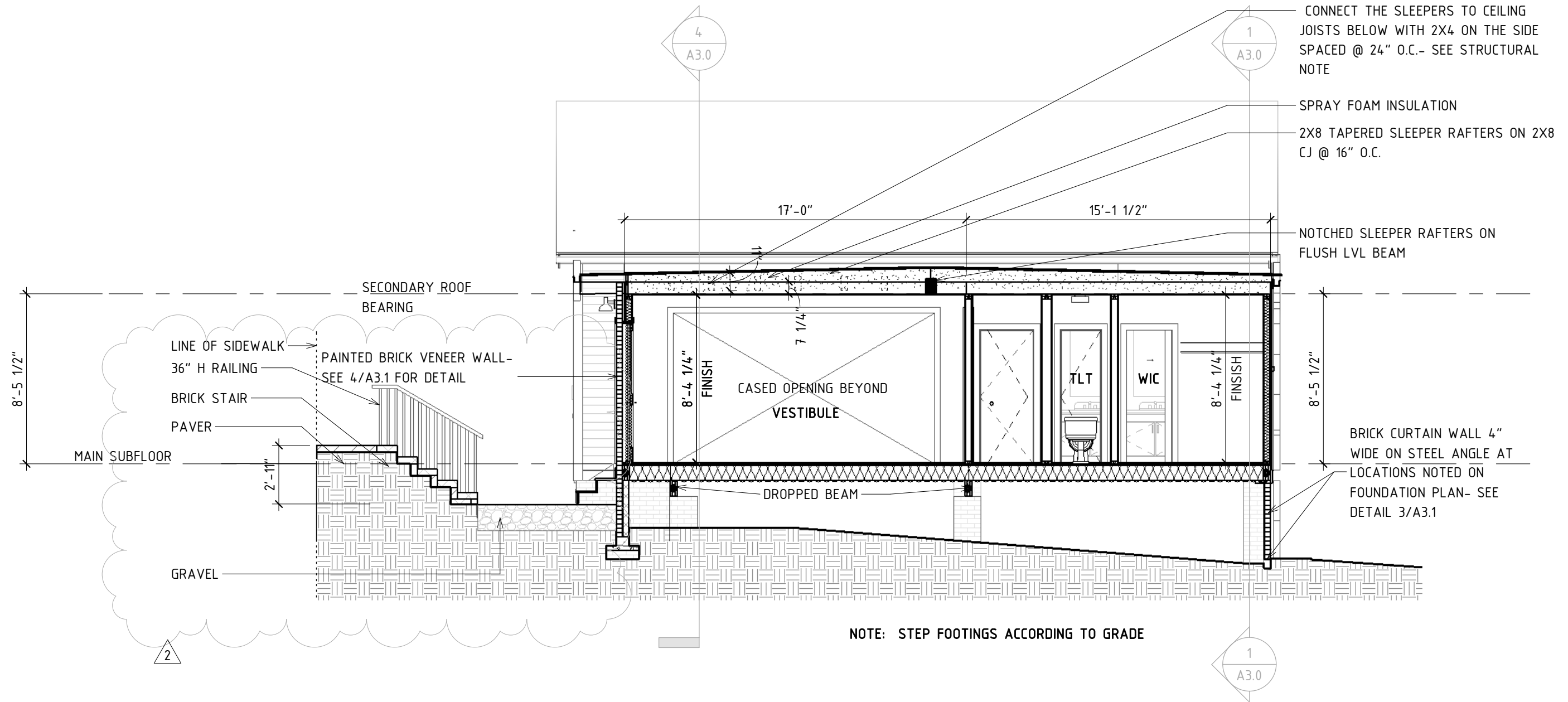
SITE LAYOUT SHOWN FOR REFERENCE ONLY. SEE PLOT PLAN FOR ALL SITE-RELATED INFORMATION.

1

PROPOSED SITE PLAN - REV 2

SCALE: 1" = 20'-0"





1

BUILDING SECTION 2 REV 2

SCALE: 3/16" = 1'-0"