

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Construct shed

1016 W Cabarrus St

Address

Boylan Heights

Historic District

Historic Property

COA-0138-2019

Certificate Number

11/12/2019

Date of Issue

5/12/2020

Expiration Date

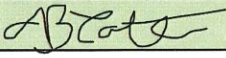
This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette R Kinnane

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:			
Applicant name: Brooke Tate			
Mailing address: 115.5 E. Hargett St.			
City: Raleigh	State: NC		Zip code: 27601
Date: 10-24-19		Daytime phone #: 919-238-1786	
Email address: brooke@maurerarchitecture.com			
Applicant signature: 			
<div style="border: 1px solid red; border-radius: 50%; padding: 5px; display: inline-block; margin-bottom: 10px;">Minor work (staff review) – one copy</div> Major work (COA committee review) – ten copies Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval		<p style="text-align: center; margin: 0;">Office Use Only</p> Transaction #: _____ File #: <u>COA-0138-2019</u> Fee: _____ Amount paid: _____ Received date: _____ Received by: _____ 	
Property street address: 1016 W. Cabarrus St.			
Historic district: Boylan Heights			
Historic property/Landmark name (if applicable):			
Owner name: Jim and Lynn Sears			
Owner mailing address: PO Box 33429 Raleigh NC 27636			

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes No Did you consult with staff prior to filing the application? Yes No	Office Use Only Type of work: <u>10</u>
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Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
1.4	.8 Introduce compatible new fences and walls constructed of traditional materials only in locations and configurations that are characteristic of the historic district. Keep the height of new fences and walls consistent with the height of traditional fences and walls in the district or landmark.	Install new wood fence ← Major Work
1.6	.6 Locate and orient new garages and accessory buildings in locations compatible with the historic relationship of garages and accessory buildings to the main structure and the site in the district.	Install new shed in rear yard
	.7 Select materials and finishes for proposed garages or accessory buildings that are compatible with the principal structure or other historic garages and accessory buildings in the district in terms of composition, scale, module, pattern, detail, texture, finish, color, and sheen.	
	.8 Select windows and doors for new garages and accessory buildings that are compatible in material, subdivision, proportion, pattern, and detail with the windows and doors of the principal structure or other historic garages and accessory buildings in the district.	

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>05/12/2020</u> . Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Collette R K</u>	Date <u>11/12/2019</u>



**1016 W. Cabarrus St.
Boylan Heights**

Project Description and Description of Materials: New Fence & Shed

Install new fence in rear yard. See drawing for detail. There are remnants of a chainlink fence on property that has been removed for construction accessibility and deterioration. New wood fence to be 54" tall to prevent the owners' dog from jumping over and getting out of the yard. ← Major Work COA

Install new shed with compatible materials to match the existing addition currently under construction. Roof slope, material, siding, trim, windows all to match addition. New slab foundation is typical for sheds. All elements to be painted to match main house.

Massing: The proposed built mass and area are consistent with the neighbors- see Built Mass Diagram and finding of facts when compared to an approved neighbors COA.

Cited Design Guidelines:

1.4.8 Introduce compatible new fences and walls constructed of traditional materials only in locations and configurations that are characteristic of the historic district. Keep the height of new fences and walls consistent with the height of traditional fences and walls in the district or landmark.

1.6.6 Locate and orient new garages and accessory buildings in locations compatible with the historic relationship of garages and accessory buildings to the main structure and the site in the district.

1.6.7 Select materials and finishes for proposed garages or accessory buildings that are compatible with the principal structure or other historic garages and accessory buildings in the district in terms of composition, scale, module, pattern, detail, texture, finish, color, and sheen.

1.6.8 Select windows and doors for new garages and accessory buildings that are compatible in material, subdivision, proportion, pattern, and detail with the windows and doors of the principal structure or other historic garages and accessory buildings in the district.



*Photo 3:
Front Elevation*



*Photo 4:
Rear Elevation*



*Photo 5:
Existing Shed to be
demolished, 7" dia.
Tree to left of shed
to be removed and
not required to have
a COA.*

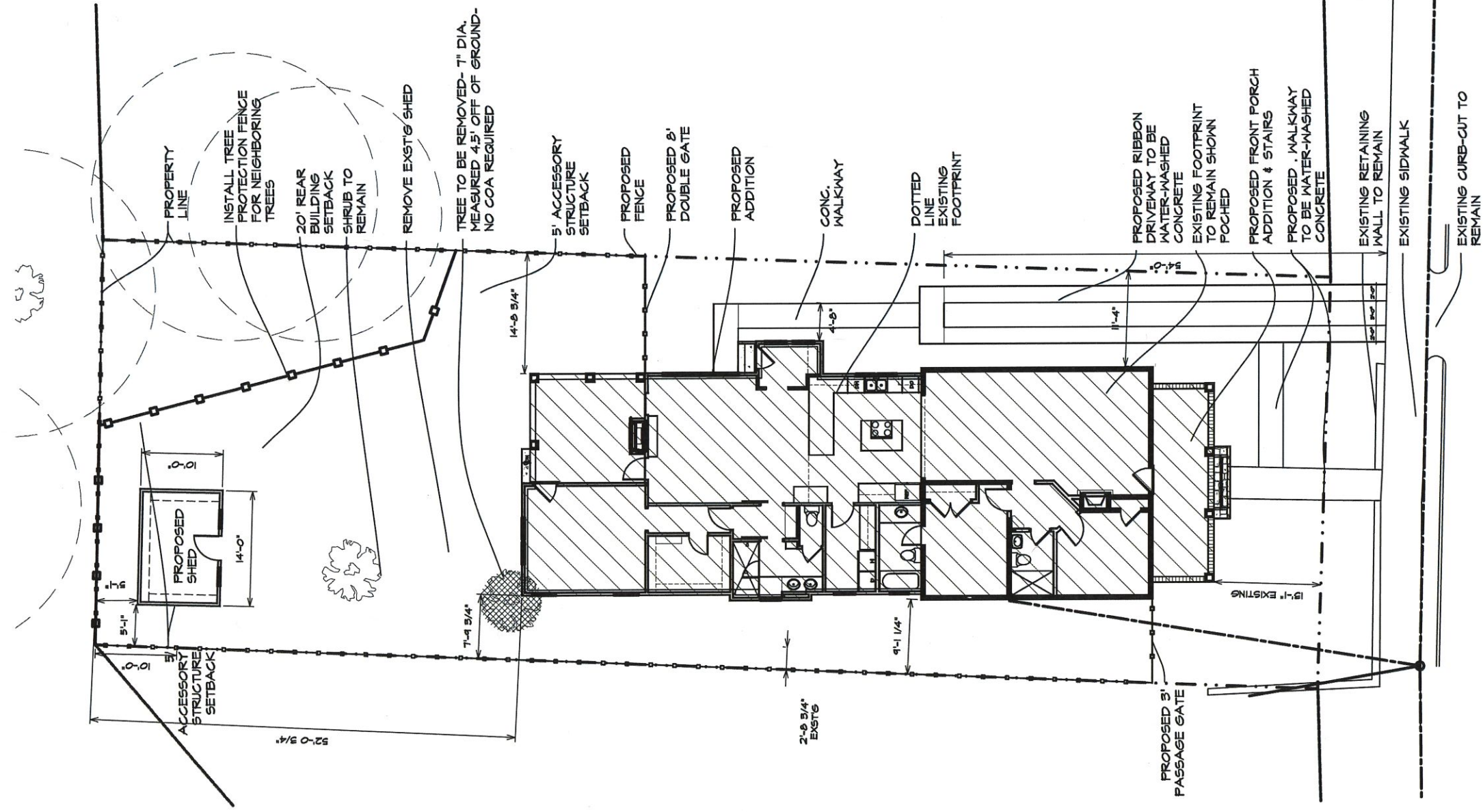


*Photo 6:
Right Side Elevation*



*Photo 10:
Left Elevation (looking towards Front)*





PROPOSED PLOT PLAN WITH FENCE & SHED

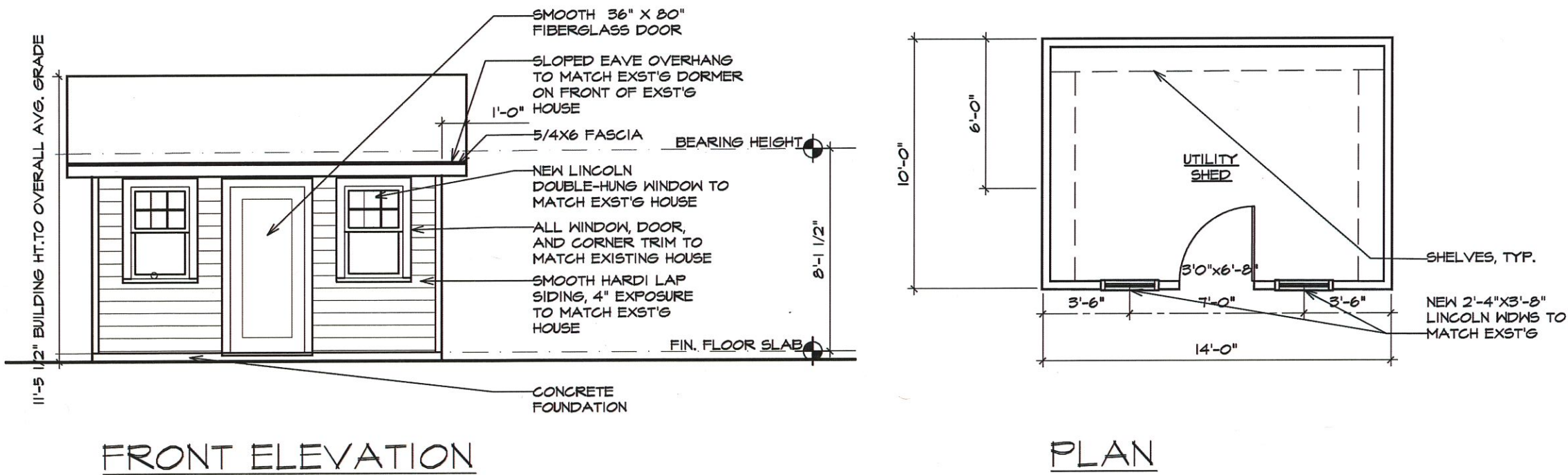
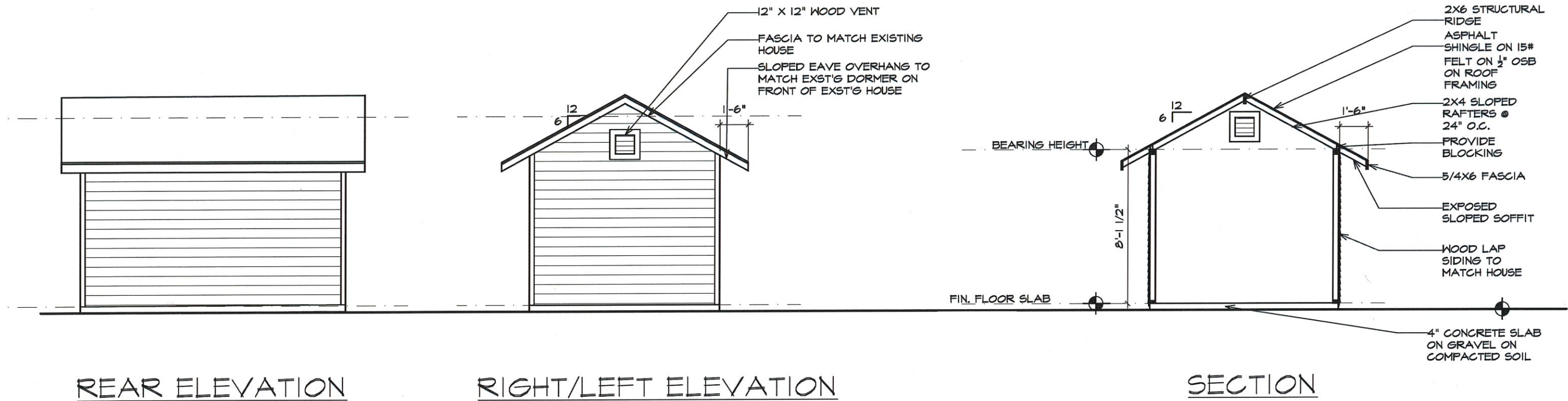
SEARS RESIDENCE

1016 W. CABARRUS ST.

PLOT PLAN

1/16" = 1'-0"

DATE: 10-9-19



SEARS RESIDENCE

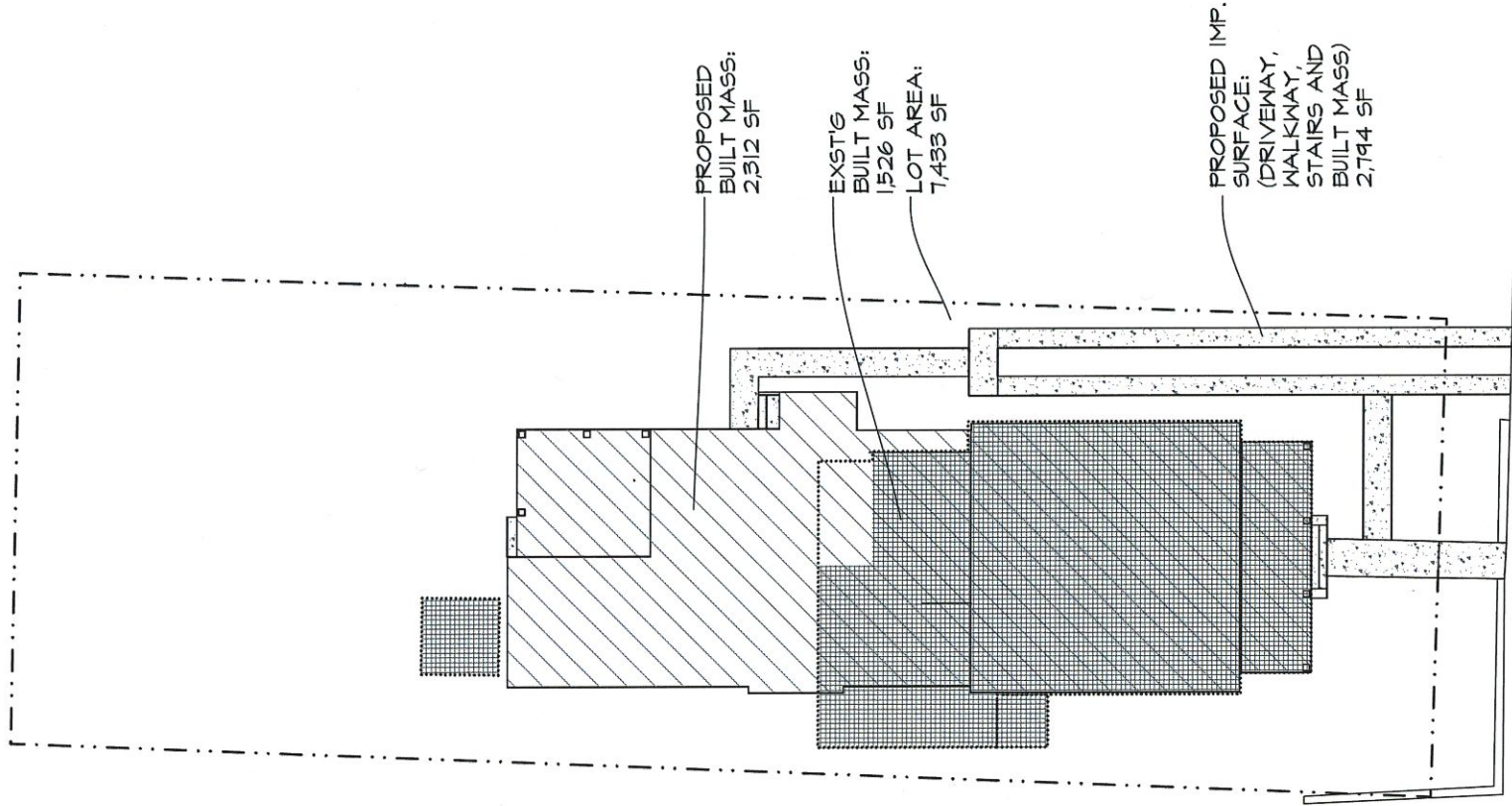
1016 W. CABARRUS ST.

SHED

3/16" = 1'-0"

DATE: 10-24-19

<div>EXST'G BUILT MASS</div> <div>PROPOSED BUILT MASS</div> <div>PROPOSED IMPERVIOUS SURFACE</div>	<p>Built Mass:</p> <p>Existing built mass minus the laundry 70's addition: 1,253+208+65= 1,526 sf 1,526/7,433 = 20.5 % existing built mass to lot area</p> <p>Proposed built mass: house and porches 2,329 sf 2,329/7,433= 31.3 % proposed built mass to lot area</p>	<p>Built Area:</p> <p>Existing: Total lot area (Pin#: 1703275115) = 0.171 ac = 7,433 sf House = 1,316 - 63 Laundry addition = 1,253 sf Shed = 65 sf Ac pads = 10 sf Covered porch = 208 sf Sidewalk = 187 sf</p> <p>Existing Built Area = 1,723 Existing Percent Built Area= 23.2%</p> <p>Proposed: Total lot area = 0.171 ac = 7,433 sf House = 1,946 sf Ac pads = 10 sf Covered porch = 366 sf Walkway/stair = 230 + 27= 257 sf Driveway= 215 sf</p> <p>Proposed Built Area = 2,794 sf 2,938 Proposed percent Built Area= 37.6% 39.5%</p> <p>Fact: Built Area and Mass Comparison to 1012 W. Cabarrus St.; addition approved 125-17-CA</p> <p>1016 W. Cabarrus Lot size: 7,433 sf 1012 W. Cabarrus Lot size: 7,500 sf 1016 W. Cabarrus: Original built area is 24%; proposed built area is 38% 39.5% 1012 W Cabarrus: Existing built area on property 3,235 sf, or 43% 1016 W. Cabarrus: Original built mass is 21.4%; proposed built mass is 31.3% 1012 W Cabarrus: Existing built mass of house and addition is 3,063, or 41% Proposed Built Area and Built Mass for 1016 W Cabarrus St. is less than the Built Area and Built Mass at 1012 W. Cabarrus St.</p>
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BUILT MASS DIAGRAM

Even with adding a shed built area is still less than 1012 W. Cabarrus.

LOT COVERAGE COMPARISONS

Summary: 1016 W Cabarrus including proposed addition has 38%: 1012 W Cabarrus has 34% lot coverage.

Other addresses along W Cabarrus range from 21% to 39% lot coverage.

SEARS RESIDENCE	
1016 W. CABARRUS ST.	
1:16	DATE: 3-28-19



919 829 4969