

City of Raleigh



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COA-0140-2019

325 POLK STREET

OAKWOOD (R-10)

0 35 70 140
Feet



Nature of Project:
Master landscape plan;
alter walkways;
install fence

APPLICANT:
MATT ROBERTS
PO BOX 6663



APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

COA-0140-2019 325 POLK STREET

Applicant: MATT ROBERTS FOR MHROBERTS PA

Received: 10/28/2019

Meeting Date(s):

Submission date + 90 days: 01/26/2020

1) 12/12/2019 2) **1/23/2020** 3)

INTRODUCTION TO THE APPLICATION

Historic District: OAKWOOD HISTORIC DISTRICT

Zoning: General HOD

Nature of Project: Master landscape plan including: alter walkways; install stone steps; install fence; install patio; install water feature; install new planting beds; **alter deck**

Staff Notes:

- COAs mentioned are available for review.
- Changing plantings in existing beds is considered routine maintenance and no COA is required.
- Changes made to the initial staff report appear in **bolded** text.
- **The following amended materials were provided: an existing conditions plan; photographs of the side and rear yards and existing landscape features; stone stair drawing; labeled photographs of nearby brick front walks; and updated built area calculations.**

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<i>Sections</i>	<i>Topic</i>	<i>Description of Work</i>
1.3	Site Features and Plantings	Master landscape plan including: alter walkways; install fence; install patio; install stone steps; install water feature; install new planting beds
1.4	Fences and Walls	Install fence; install stone steps
1.5	Walkways, Driveways, & Off-Street Parking	Alter walkways

STAFF REPORT

Based on the information contained in the application and staff's evaluation:

- A. Installing a master landscape plan including: altering walkways; installing a patio; installing a water feature; and installing new planting beds **is not** incongruous in concept according to *Guidelines* sections 1.3.1, 1.3.2, 1.3.3, 1.3.7, 1.3.8, 1.3.9, 1.3.13, 1.4.11, 1.5.1; and the following suggested facts:

- 1* According to the “Inventory of Structures in The Oakwood National Register Historic Districts” Raleigh, North Carolina By Matthew Brown, Historian, Society for the Preservation of Historic Oakwood Researched and written from 2004 to 2015, the house was constructed in 1896 and is a Queen-Anne frame two-story. The description also notes: “In the yard on the left side of the house is a large white oak tree estimated to be over 250 years old as of 2012.” There were two large trees on either side of the house. It is unclear which tree the description refers to specifically, but one large tree near the Polk and Bloodworth intersection was removed by February 2016 (approved through COA 032-15-MW) and the other large tree closer to 319 Polk was removed by July 2018 (no COA on file).
- 2* Built **area** to open space analysis: Built area to open space calculations were provided. The included survey includes calculations for impervious area. The lot is 11,020 SF. Built area totals 4,565 SF. The existing built area to open space is 41%. **The proposed built area adds 384 SF, resulting in a 45% built area to open space percentage. This is a 4% increase in built area.**
- 3* The Design Guidelines refer to not substantially increasing the **original** built area to open space. Calculations were not provided for the property’s original built area.
- 4* A plan locating existing trees was provided.
- 5* The proposed patio is designed to extend west from an existing deck and will be located towards the northwest corner of the property. Blue stone is proposed as the patio material.
- 6* **The discrepancy in the ‘Project Phase 1’ and ‘Concept Plan with Hand Features’ drawings regarding the deck stair access direction has been corrected. Photographs were provided that illustrate that the deck stair access now faces north. The previous drawing showing stair access facing south was accurate prior to alterations that took place last year. The alterations to the deck were not approved via a COA. This alteration is included in this application as an after-the-fact project.**
- 7* A brick seat wall with a bluestone cap is proposed on the west side of the patio. The proposed seat wall is interrupted in the middle by a semi-circle water feature. A perspective drawing of the seat wall and water feature was provided. The seat wall is proposed to be 18” tall and 16-18” wide.

- 8* **A photograph labeled “possible alternative water feature” was included in the amended application materials. It is unclear if a change in design is being proposed for the water feature.**
- 9* The application indicates that there is a change in grade from the front yard to the side yard and proposes the installation of stone steps in the west yard where a stone wall exists. A not-to-scale sketch of the proposed steps was provided. The historic nature of the stone wall is not indicated. Photographs of the existing wall **were** provided. Details were not provided to illustrate the amount of change in grade.
- 10* **The proposed steps will abut the stone wall and appear to be designed in such a way that the steps would be removed at a later date without damaging the stone wall.**
- 11* The concept plan drawing appears to indicate the installation of stone steppers in the east yard beginning at the end of the extant brick walk and leading to the driveway. The proposed material was not noted.
- 12* The application proposes the removal of the existing concrete front walk and replacement with brick to match the existing minor walkways and foundation.
- 13* Photographs were provided of other brick front walks in Oakwood. **Photographs of 406 Polk (045-06-CA), 401 Polk, 502 Polk, 516 Polk, 510 Polk (MWD-90-079), and 500 Polk were provided. Except for 406 and 510 Polk as noted above, the provided examples feature brick walks that are either original to the house or pre-date the historic district.**
- 14* Three new planting beds appear to be proposed in the front and side yards: at the south west corner along the sidewalk on Polk Street, between two existing beds along the sidewalk on Bloodworth Street, and along the existing stone wall.
- 15* The beds along the front yard adjacent to the public sidewalk are proposed to be planted with a mix of large and low shrubs that range in height, per included example photographs. Shrubs in front yards in the historic district are traditionally lower in height to maintain an open yard appearance. Guideline 1.4.11 suggests that the shrubs should be kept at a maximum 42” height to be congruous with the character of Oakwood.
- 16* A rose garden is proposed in the lawn located to the southwest of the house. Four rectangular boxes are indicated for the rose garden. It is unclear if these are raised beds.
- 17* The written description notes that three holly trees will be planted along the rear property line. **The three trees are indicated on the planting plan as black dots.**

- B. The installation of a metal fence is not incongruous according to *Guidelines* 1.3.1, 1.3.9, 1.4.8, 1.4.10, 1.4.11, and the following suggested facts:
- 1* *Location*: The applicant proposes installing a fence along the side and rear property lines at the north west corner of the property to the existing stone wall on the west property line and the top of the driveway on the north property line.
 - 2* *Material*: The proposed fence is black wrought iron or aluminum; metal is a traditional fencing material.
 - 3* *Height*: The application states that proposed fence height is 5'-6'.
 - 4* *Configuration*: The proposed fence location is characteristic of the district.
 - 5* *Design*: The proposed fence is a pressed spear style picket. The design is traditional and simple. Traditionally, fences were constructed with neighbor friendly design, with structural members facing inward; the example fence design has the same appearance on each side. Specifications were not provided.
 - 6* Two gates are shown on the plan: one single gate at the top of the proposed stone steps and one double gate at the end of the driveway. No details were provided on the design or dimensions of the gates.
 - 7* The committee has regularly found that fences up to 6' in height are congruous with the character of the historic districts when installed in rear and side yards (except for corner lots).

Staff suggests that the application be approved as amended with the following conditions:

- 1. That details and specifications for the following be provided to and approved by staff prior to issuance of the blue placard:**
 - a. Detail photographs of the alterations to the deck;**
 - b. A topographical plan that shows the change in grade and any grading changes that may be required to install the patio;**
 - c. Detailed drawings of the rose bed, including sections and materials;**
 - d. Gate details, including design and dimensions;**
 - e. Final design of the water feature;**

2. That the shrubs along the sidewalk be kept pruned to a maximum height of 42 inches.

Staff Contact: Collette Kinane, collette.kinane@raleighnc.gov

December 30, 2019

COA-0140-2019

Additional materials:

Updated existing conditions plan

Updated concept plan with built area calculations

Updated step drawings

Site Photographs

Alternate water feature

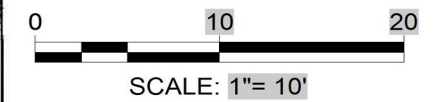
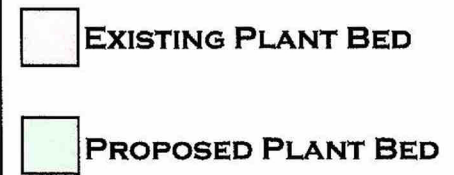
Photographs of nearby brick walks

WOOTEN RESIDENCE

PROJECT PHASE 1

DATE: 06.2019

SCALE: 1" = 10'



m.h.roberts PA
LANDSCAPE ARCHITECT



Existing Impervious Area :
4565 SQ.FT. (41%)

Existing Built: 4565 Sq. Ft.
Existing Impervious Area: 41%
Proposed Built: 384 sq. ft. New
Proposed Impervious Area: 45%

BLUE STONE STEP DETAIL.
BETWEEN UPPER AND LOWER TERRACE NTS.

UPPER TERRACE

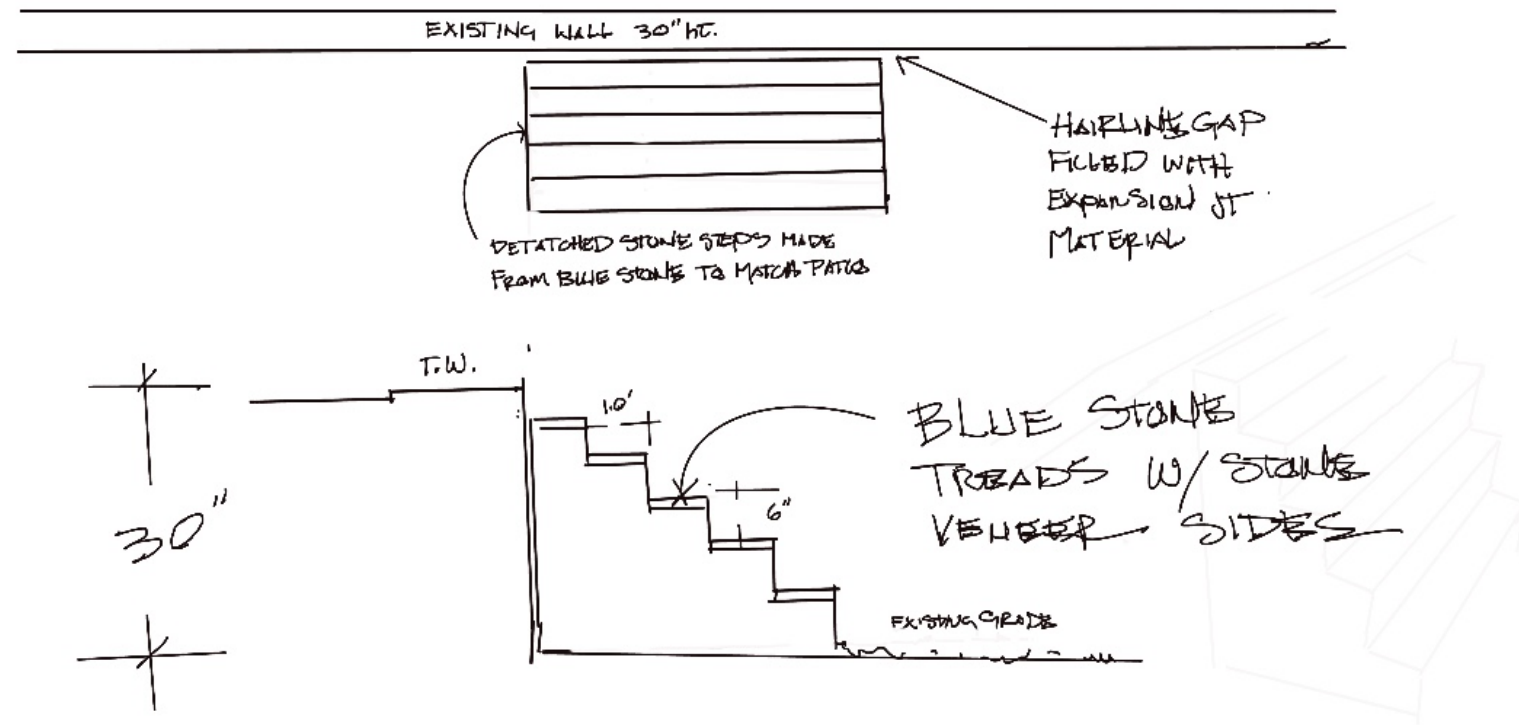




Figure 1 Back Yard Existing Planting and Grass

0



Figure 2 Existing Maple



Figure 3 Polk Street View



Figure 4 Existing Front Concrete Walk



Figure 5 Existing West Stone Wall



Figure 6 Existing West Stone Wall



Figure 7 Existing Diseased Photinias



Figure 8 Existing Diseased Photinias



Figure 9 Existing Diseased Photinias



Figure 10 Existing Willow Oak Along Drive



Figure 11Existing Deck Stairs



Figure 12 Possible Alternative Water Feature

Brick Walk Photos of Surrounding Neighbors



406 Polk Street



406 Polk Street
Close up



401 Polk Street





516 Polk Street



510 Polk Street



Certificate of Appropriateness | Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form can be submitted in person or via USPS at the above address.

Type or print the following:		
Applicant name:		
Mailing address:		
City:	State:	Zip code:
Date:		Daytime phone #:
Email address:		
Applicant signature:		
<div>Minor work (staff review) – one copy</div> <div>Major work (COA committee review) – one copy (10 copies will be required after initial staff review)</div> <div>Additions > 25% of building sq. footage</div> <div>New buildings</div> <div>Demolition of building or structure</div> <div>All other</div> <div>Post approval re-review of conditions of approval</div>		<div>Office Use Only</div> <div>Transaction #: _____</div> <div>File #: _____</div> <div>Fee: _____</div> <div>Amount paid: _____</div> <div>Received date: _____</div> <div>Received by: _____</div>
Property street address:		
Historic district:		
Historic property/Landmark name (if applicable):		
Owner name:		
Owner mailing address:		

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes No Did you consult with staff prior to filing the application? Yes No	Office Use Only Type of work: _____ _____
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Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).

<p align="center">Minor Work Approval (office use only)</p> <p>Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____.</p> <p>Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.</p> <p>Signature (City of Raleigh) _____ Date _____</p>

To be completed by applicant			Office Use Only		
	Yes	N/A	Yes	No	N/A
Attach 8-1/2"x11" or 11"x17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 1 copy (10 copies will be required after initial staff review).					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, tree species, etc.)					
2. Description of materials (Provide samples, if appropriate)					
3. Color Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page. Photos should be of each side of the house, fully show the yards, and include streetscapes.					
4. Paint Schedule (if applicable)					
5. Site Drawings. Required for projects that include any addition, demolition, fences, walls, or other landscape work. <ul style="list-style-type: none"> Plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc. Tree survey include size, species, and critical root zone for each tree over 8" diameter when measured 4' above ground level Tree protection plan include material staging area, construction access, limits of disturbance, location of tree protection fencing Grading plan Dimensions shown on drawings and/or graphic scale (required) 11"x17" or 8-1/2"x11" reductions of full-size drawings 					
6. Architectural Drawings showing existing and proposed work (if applicable) <ul style="list-style-type: none"> Plan drawings Elevation drawings showing the façade(s). For additions, deck, and porches, include the grade. Dimensions shown on drawings and/or graphic scale (required) 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 					
7. Stamped envelopes addressed to all property owners within 100 feet of property, on all sides of the property, as well as the property owner (required for Major Work). Use the Label Creator to determine the addresses.					
8. Fee (See Development Fee Schedule)					

COA Major Work Application
325 Polk Street, Raleigh
Description of Work

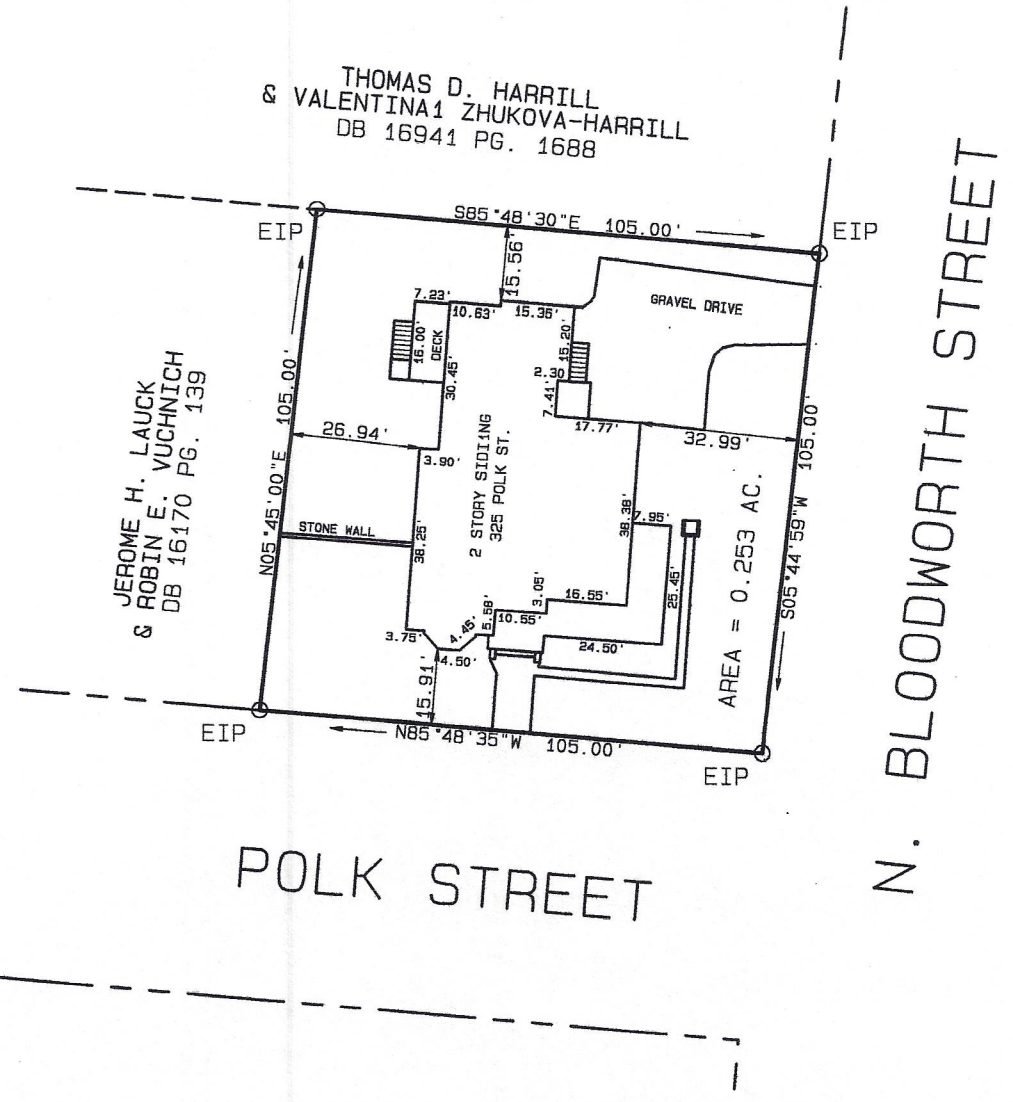
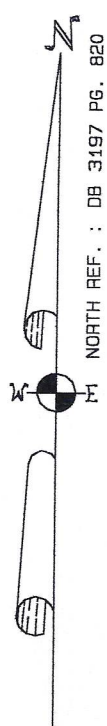
Applicant: MH Roberts PA
P.O. Box 6663
Raleigh, NC 27628

Property Owners: Mr. Ivan Bailey
Mrs. Edith Wooten

Property Address: 325 Polk Street
Raleigh, NC 27604

Description of Work:

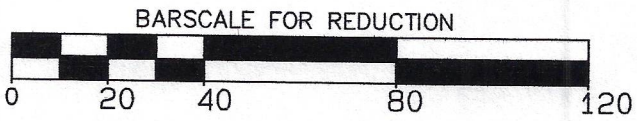
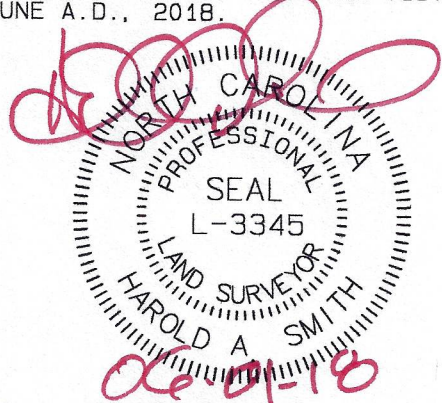
- Plant bed renovations to include soil amendments, mulch to match existing
- Plant attached plant list to existing beds and two small new beds
- Sod in front yard and side yard
- Replace the front concrete walk with brick.
 - Existing concrete entry pad to be changed to brick to match foundation and the existing brick walk. (See the submitted photos of existing brick foundation and existing brick walks.)
 - Proposed brick front walk will enhance the property and give a cohesive feel with other houses in the neighborhood. (See the submitted photos of similar brick front walks of nearby Oakwood homes.)
- Add a 5' or 6' foot black aluminum or wrought iron fence as indicated on the submitted design. (See submitted sample fence photo.)
- Remove and replace 3 dead, dying and diseased (severely infected with black spot) Chinese phinea shrubs. Replace with 3 American Holly trees placed approximately 6' off the property line and approximately 10' apart and is the result of a compromise with the back door neighbor.
- Install irrigation.
- Install blue stone patio with brick seat wall with matching bluestone cap
- Construct new stairs as shown on plan from upper courtyard to lower courtyard. Materials to match existing.
- Install water basin between seat wall and patio.
- Install rose garden as noted on the plan



ZONING = R-10
SETBACKS : FRONT = 20'
SIDE = 5' MIN. (15' AGG.)
CORNER SIDE = 20'
REAR = 20'
EXIST. IMPERVIOUS = 4565 SQ.FT. (41%)
MAX. IMPERVIOUS = 7164 SQ.FT. (65%)

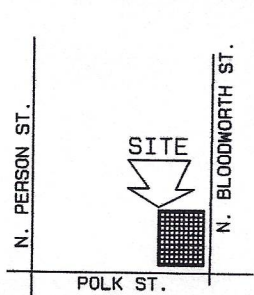
- GENERAL NOTES :
- 1) THIS IS A SURVEY OF AN EXISTING PARCEL.
 - 2) NO NCGS MONUMENT WITHIN 2000'.
 - 3) THIS LOT IS NOT WITHIN A FLOOD PLAIN ACCORDING TO FEMA MAP COMMUNITY PANEL NO. 3720170400J, EFFECTIVE DATE : 05-02-06.
 - 4) THIS MAP IS NOT FOR RECORDING.
 - 5) EIP=EXISTING IRON PIPE
NIP=NEW IRON PIPE
EIR=EXISTING IRON REBAR
NIR=NEW IRON REBAR

WAKE COUNTY, NORTH CAROLINA
I, HAROLD A. SMITH, PLS L-3345,
CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY
SUPERVISION FROM AN ACTUAL SURVEY MADE
UNDER MY SUPERVISION FROM INFORMATION
SHOWN IN DEED BOOK 3197 PAGE 820;
AND DEED BOOK ----- PAGE -----
BOOK OF MAPS-----PAGE-----
THAT THE RATIO OF PRECISION AS CALCULATED
BY LATITUDES AND DEPARTURES WAS GREATER
THAN 1:20,000; THAT THIS PLAT WAS PREPARED
IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.
WITNESS MY ORIGINAL SIGNATURE, REGISTRATION
NUMBER, AND SEAL THIS THE 01ST DAY OF
JUNE A.D., 2018.



REV.		REV.	
------	--	------	--

LOT 14, F.H. BRIGGS ESTATES AS RECORDED IN DEED
BOOK 3197 PAGE 820 OF WAKE COUNTY REGISTER OF DEEDS.



VICINITY MAP

A SURVEY FOR

EDITH B. WOOTEN
& IVAN ROBERT MIGLIORINI BAILEY
RALEIGH, NORTH CAROLINA

HAROLD "TODD" SMITH
LAND SURVEYING L-3345
1012 ROCK DRIVE
RALEIGH, N.C. (919) 605-6953

DATE : 06-01-18	SCALE : 1" = 40'	F.B. S-255/54	DWG. NO. 218-167L	PROJ. NO. 218-167
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**WOOTEN
RESIDENCE**

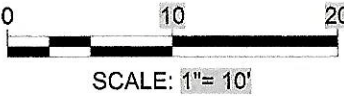
PROJECT PHASE 1

DATE: 06.2019

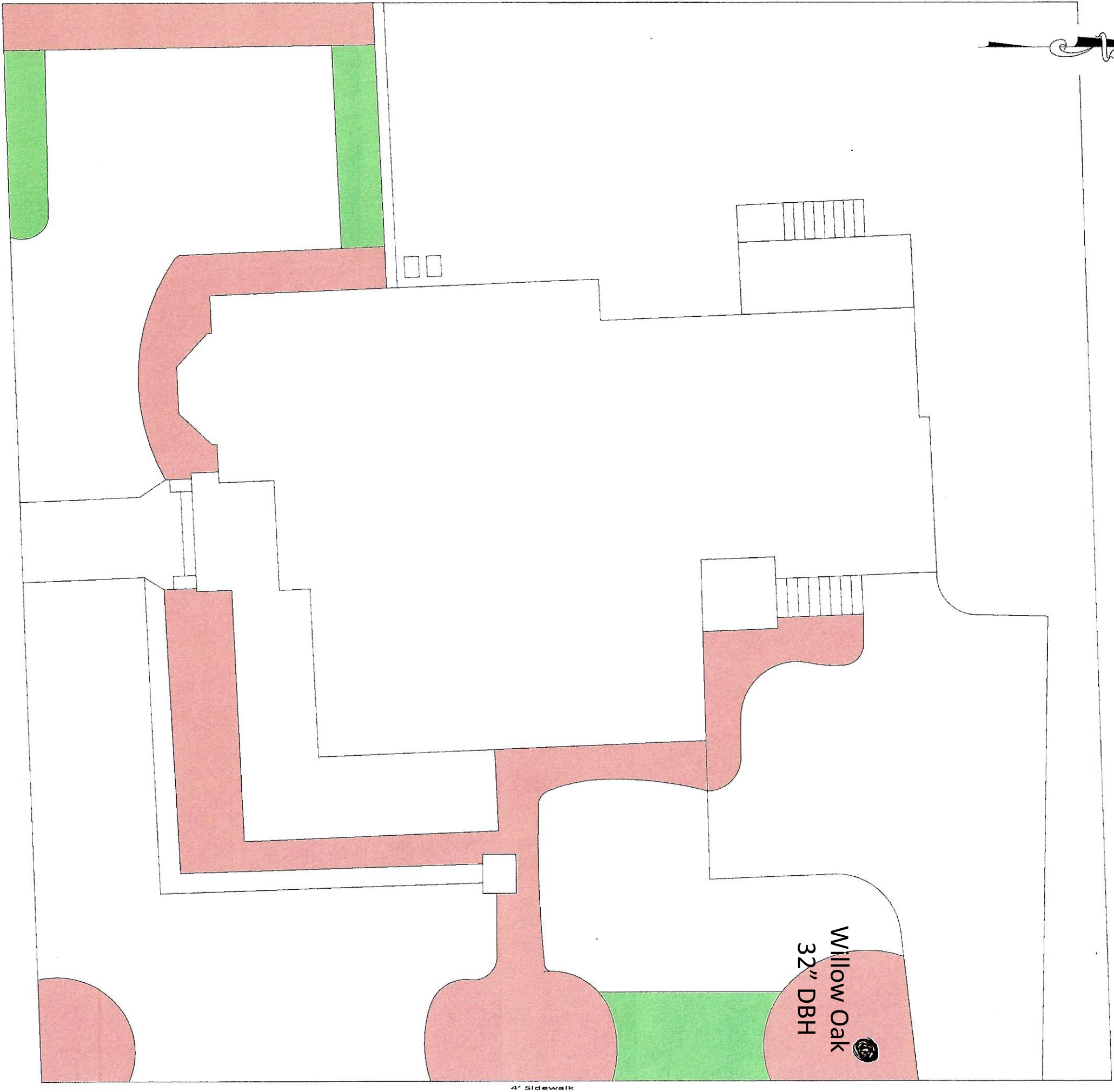
SCALE: 1" = 10'

 **EXISTING PLANT BED**

 **PROPOSED PLANT BED**




m.h. roberts PA
LANDSCAPE ARCHITECT

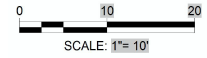


WOOTEN RESIDENCE

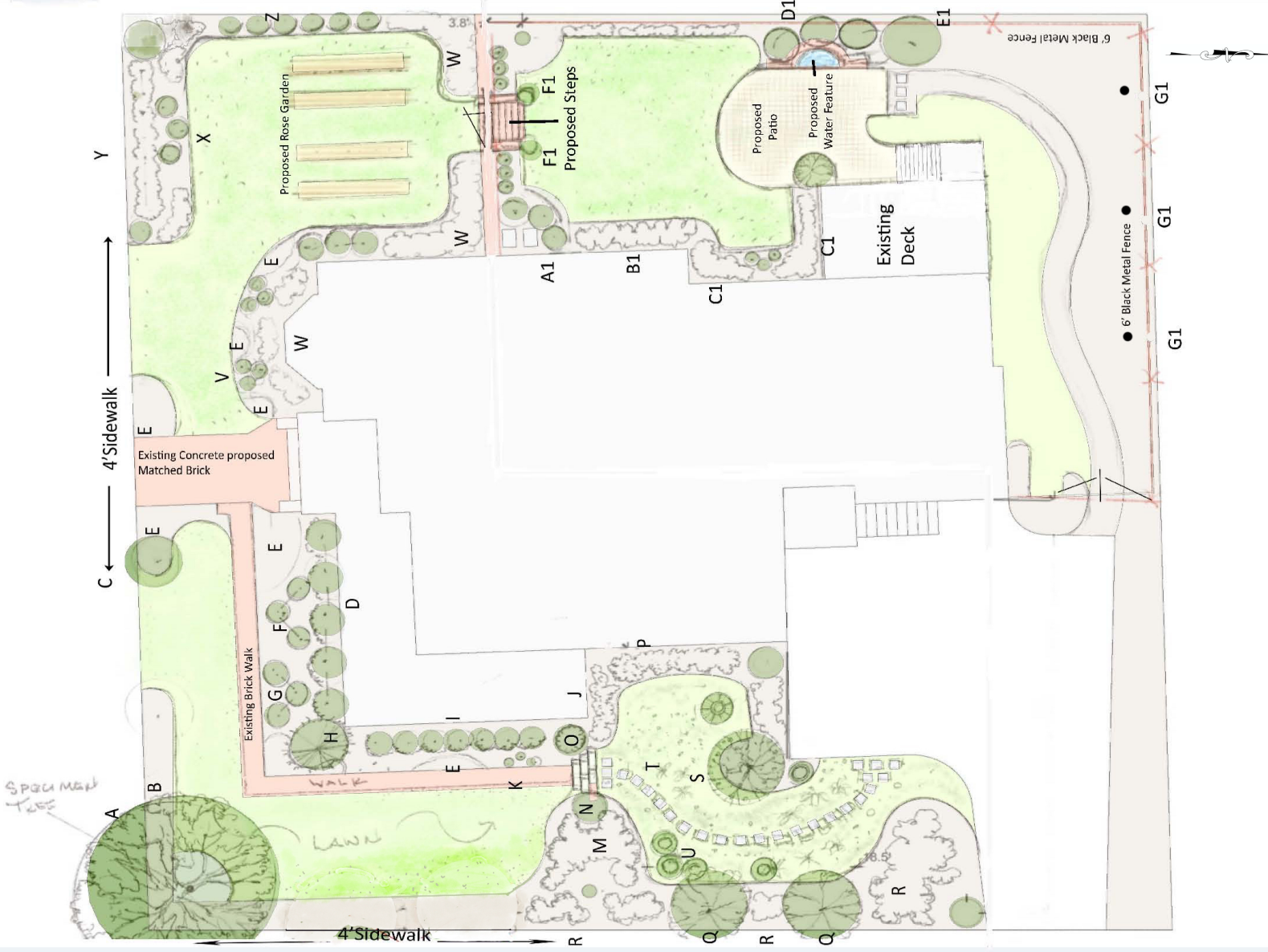
CONCEPT PLAN WITH HAND
FEATURES

DATE: 06.2019

SCALE: 1" = 10'

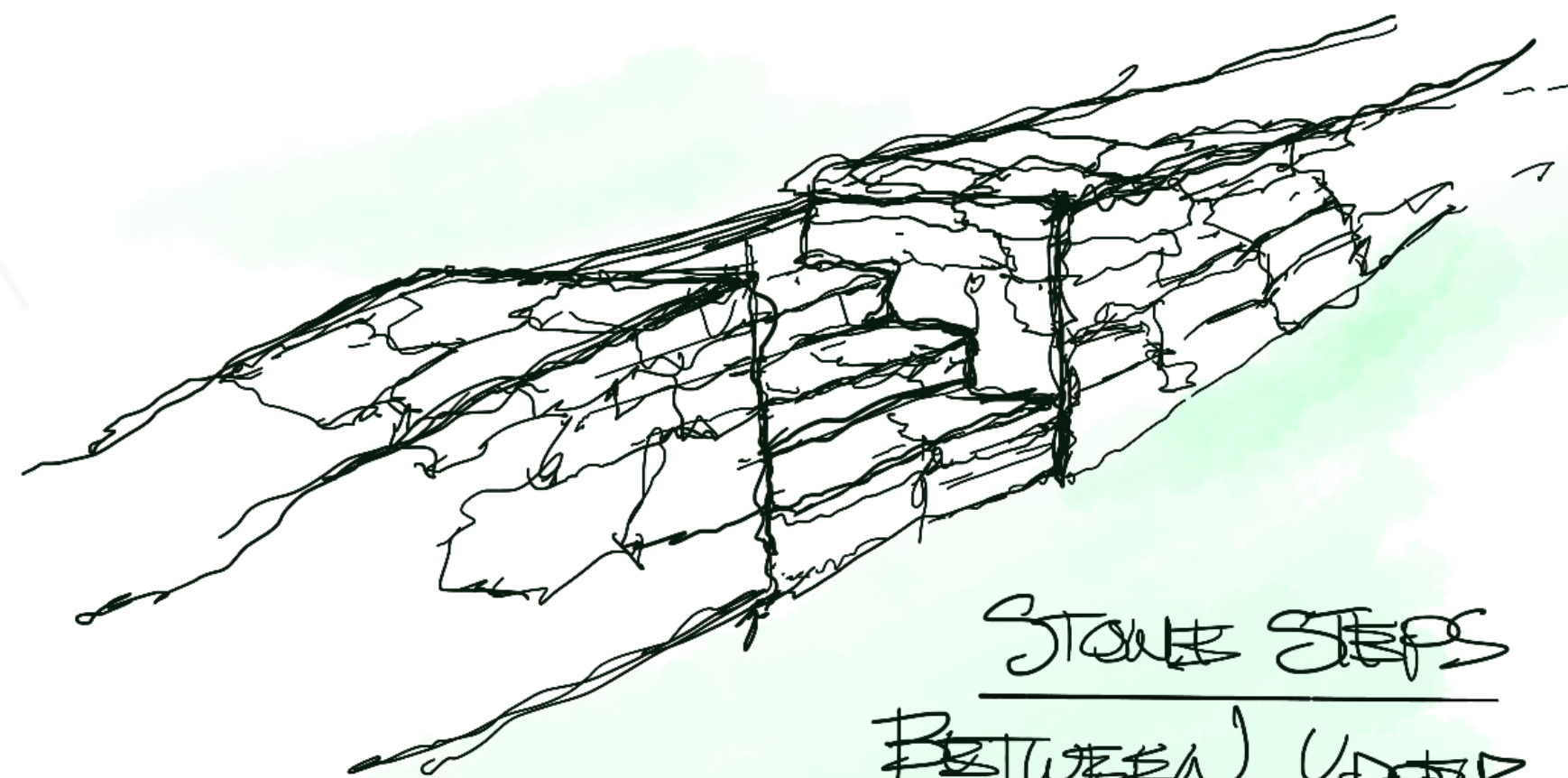
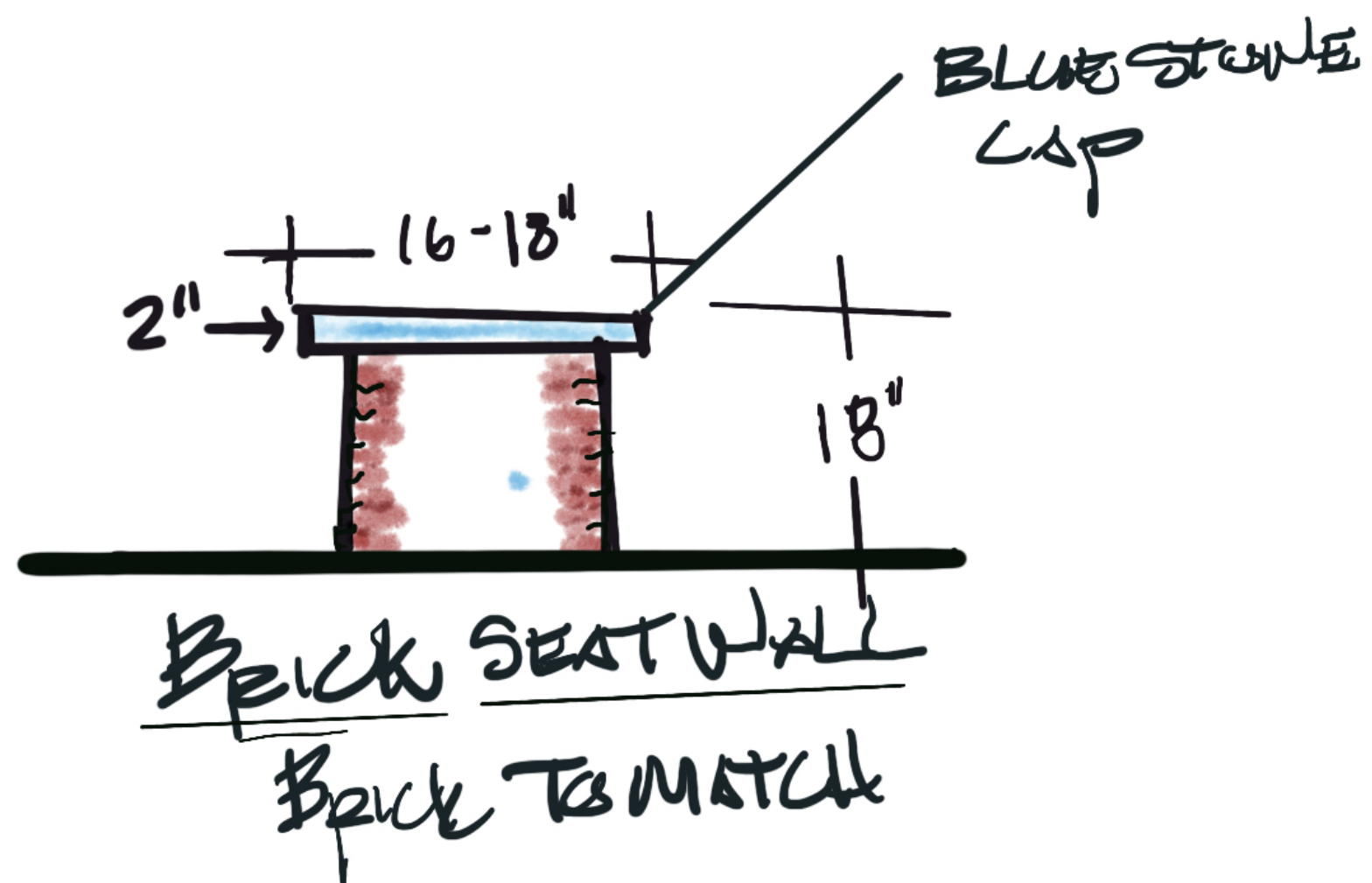


m.h.roberts PA
LANDSCAPE ARCHITECT

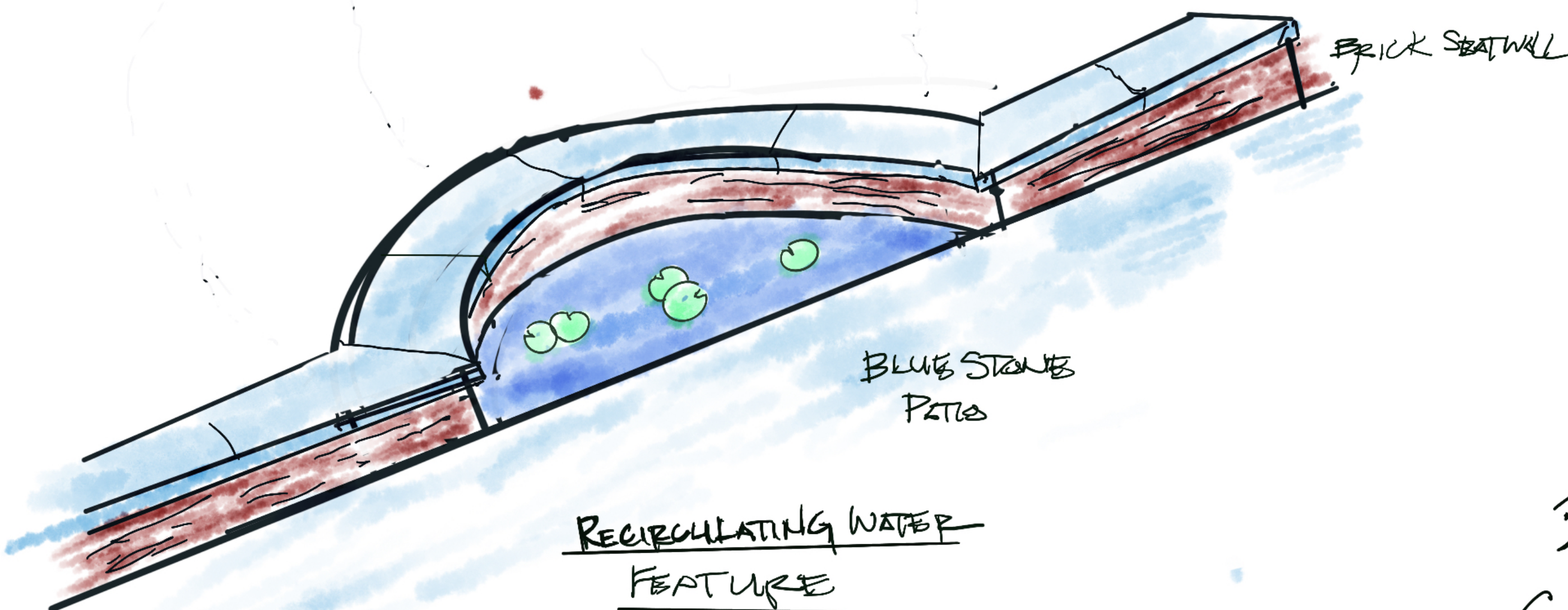


Fence Example and Drawings for Seat Walls and Water Feature





STONE STEPS
BETWEEN UPPER
AND LOWER
COURTYARD



325 FOLK STREET
GARDEN SKETCHES
NO SCALE

Plant List

325 Polk Street, Raleigh

<u>Symbol</u>	<u>BOTANICAL NAME</u>		
		A1	Rosa x Pink Double Knock Out® PP#18507
A	Ginkgo biloba 'Autumn Gold' or Acer rubrum 'Autu		
B	New Lawn Area	B1	Camellia sasanqua 'Martha Sims'
C	Chamaecyparis obtusa 'Nana Gracilis'	C1	Viburnum plicatum double file
D	Buxus microphylla 'Winter Gem' or Cephalotaxus 'Fastigiata'	D1	Thuja plicata 'Green Giant'
E	Perennials and annual beds	E1	Cercis canadensis 'Alley Cat'
F	Hydrangea macrophylla Endless Summer(R) PP#	F1	Buxus microphylla 'Wintergreen' Cone with 6 Cephalotaxus fastigiata behind along wall
G	Hydrangea serrata 'Blue Bird' or other blue lace c:		
H	Ilex Oakland or Ilex Christmas Jewel	G1	Cryptomeria radicans or Ilex opaca
I	Illicium x Woodland Ruby or dwarf Camellia sasanqua 'Sims'		
J	Viburnum macrocephalum Sterile		
K	Spirea 'Ogon'		
M	Azalea encore Lavender and Lavender Twist		
N	Edgeworthia chrysantha 'Snow Cream'		
O	Cercis canadensis Lavender Twist(TM) PP#10328		
P	Osmanthus fortune or Camellia japonica pink		
Q	Cornus Florida 'Stellar Pink'		
R	Azalea encore medium height mix of white pink a		
S	Acer palmatum 'Sango Kaku' or Acer palmatum 'Sunrise'		
T	Ground cover of vinca minor or pachysandra fears peppered around		
U	Ums planted with perennials 5 in total plus at gra		
V	Hydrangea serrata 'Tuff Stuff'		
W	Azalea encore Large pink		
X	Hydrangea paniculata 'Little Lime'		
Y	Distylium 'Cinnamon Girl'		
Z	Illicium x Woodland Ruby		

**** Plants subject to substitutions if not available**

Plant Pics by Letter



Figure 11A. Rosa x Pink Double Knock Out® PP#18507



Figure 21B. Camellia sasanqua 'Martha Sims'



Figure 31C. *Viburnum platyphloeum tomentosum*



Figure 41D. *Thuja plicata* 'Green Giant'



Figure 51E. *Cercis canadensis* 'Alley Cat'



Figure 61F. *Buxus microphylla* 'Wintergreen'



Figure 71F. *Cephlotaxus fastigiata*



Figure 8A. *Ginkgo biloba* 'Autumn Gold'



Figure 9B. *Styrax japonica* 'Pink Chimes'



Figure 10C. *Chamaecyparis obtusa* 'Nana Gracilis'



Figure 11D. *Cephlotaxus fastigiata*



Figure 12D. *Buxus microphylla* 'Wintergreen'



Figure 13F. *Hydrangea macrophylla* Endless Summer(R) PP#15298



Figure 14G. *Hydrangea serrata* 'Blue Bird'



Figure 15H. Ilex x Christmas Jewel(R) PP#14477



Figure 16H. Ilex x Oakland™ PP#14417



Figure 17I. *Camellia sasanqua* 'Martha Sims'



Figure 18I. *Illicium x Woodland Ruby*



Figure 19J. *Viburnum macrocephalum sterile*



Figure 20K. *Spirea Ogon*



Figure 21L. *Cercis canadensis* 'Burgundy Hearts'



Figure 22M. Encore Azalea Lavender



Figure 23N. *Edgeworthia chrysantha* 'Snow Cream'



Figure 24O. *Cercis canadensis* Lavender Twist(TM) PP#10328



Figure 25P. *Osmanthus fortunei*



Figure 26Q. *Cornus Florida* 'Stellar Pink' leaves¹



Figure 27R. Azalea mix



Figure 28S. *Acer palmatum* 'Japanese Sunrise'



Figure 29S. *Acer palmatum* 'Sango Kaku' Night



Figure 30S. *Acer palmatum* 'Sango Kaku'



Figure 31V. *Hydrangea serrata* 'Tuff Stuff'



Figure 32W. Azalea Pink



Figure 33X. *Hydrangea paniculata* 'Little Lime'



Figure 34Y. *Distylium*



Figure 35Z. *Illicium* x Woodland Ruby

Existing Photos









© Matt Roberts



© Matt Roberts



© Matt Roberts











Figure 1 Existing Brick Walk 1



Figure 2 Existing Brick Walk 2



Figure 3 Existing Brick Walk 3



Figure 4 Foundation Brick 1



Figure 5 Fountation Brick 2

Neighbor Walks Less than 1 Mile Away







