



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Install new window on rear façade

601 Cutler St

Address

Boylan Heights

Historic District

Historic Property

COA-0141-2025

Certificate Number

10/13/2025

Date of Issue

4/13/2026

Expiration Date


This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:		
Applicant name: Eric + Courtney Cohen		
Mailing address: 601 Cutler St		
City: Raleigh	State: NC	Zip code: 27603
Date: 9/25/2025	Daytime phone #: 919-601-4733	
Email address: elcohen15@gmail.com courtneymcohen1@gamil.com		
Applicant signature: 		
<div>Minor work (staff review) – one copy</div> <div>Major work (COA committee review) – ten copies</div> <div> Additions > 25% of building sq. footage</div> <div> New buildings</div> <div> Demolition of building or structure</div> <div> All other</div> <div>Post approval re-review of conditions of approval</div>		<div>Office Use Only</div> <div>Transaction #: _____</div> <div>File #: COA-0141-2025</div> <div>Fee: _____</div> <div>Amount paid: _____</div> <div>Received date: _____</div> <div>Received by: _____</div>
Property street address: 601 Culter St		
Historic district: Boylan Heights		
Historic property/Landmark name (if applicable):		
Owner name: Eric + Courtney Cohen		
Owner mailing address: 601 Cutler St		

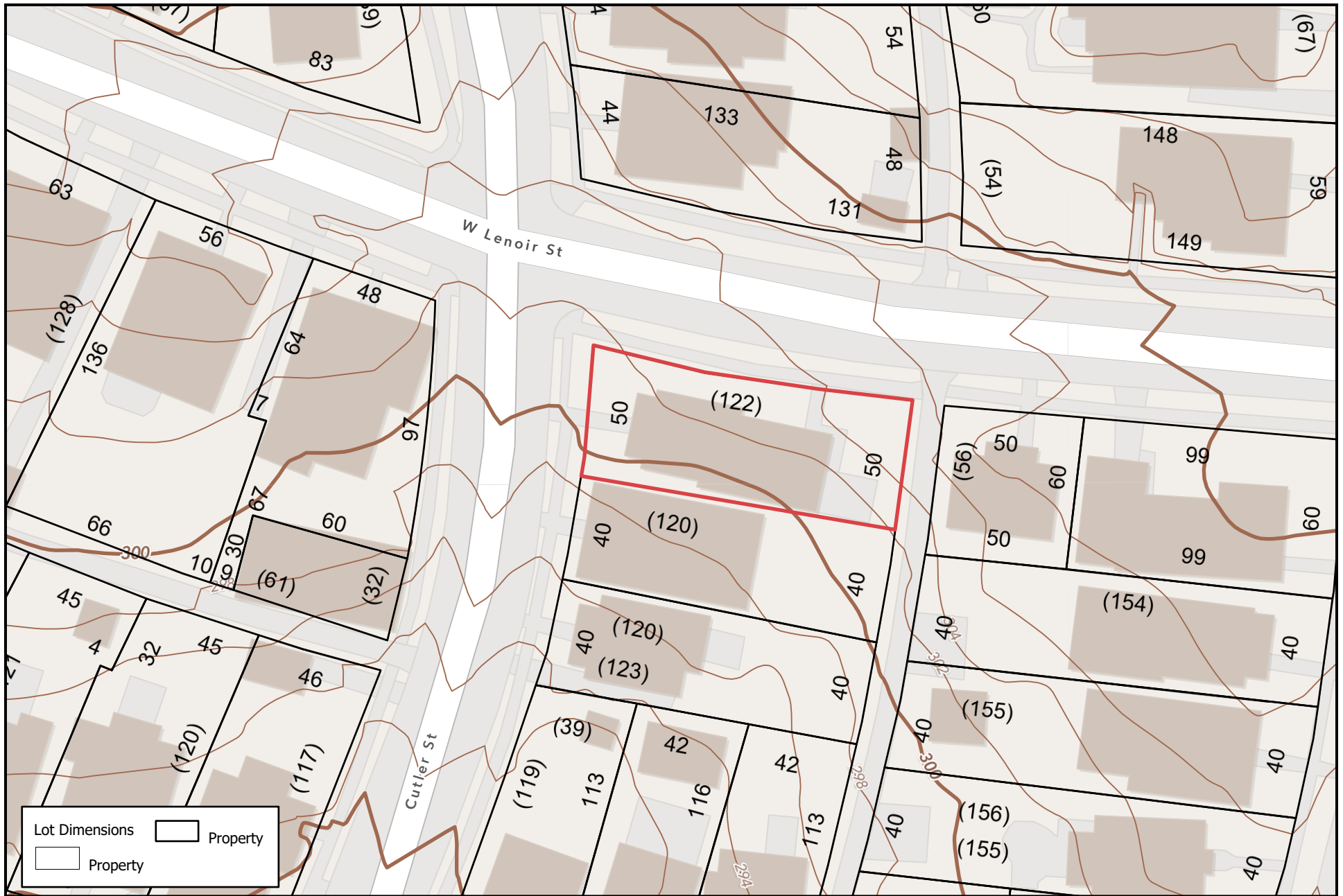
For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.	
Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes No Did you consult with staff prior to filing the application? Yes No	Office Use Only Type of work: <u>85</u>
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Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
2.7/50-53	Windows + Doors	Add one new window on a recent addition

Minor Work Approval (office use only)	
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>04/13/2026</u> .	
Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.	
Signature (City of Raleigh) <u>Collette K</u>	Date <u>10/13/2025</u>



601 Cutler St - Imaps

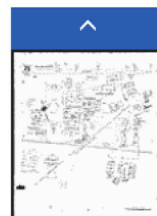
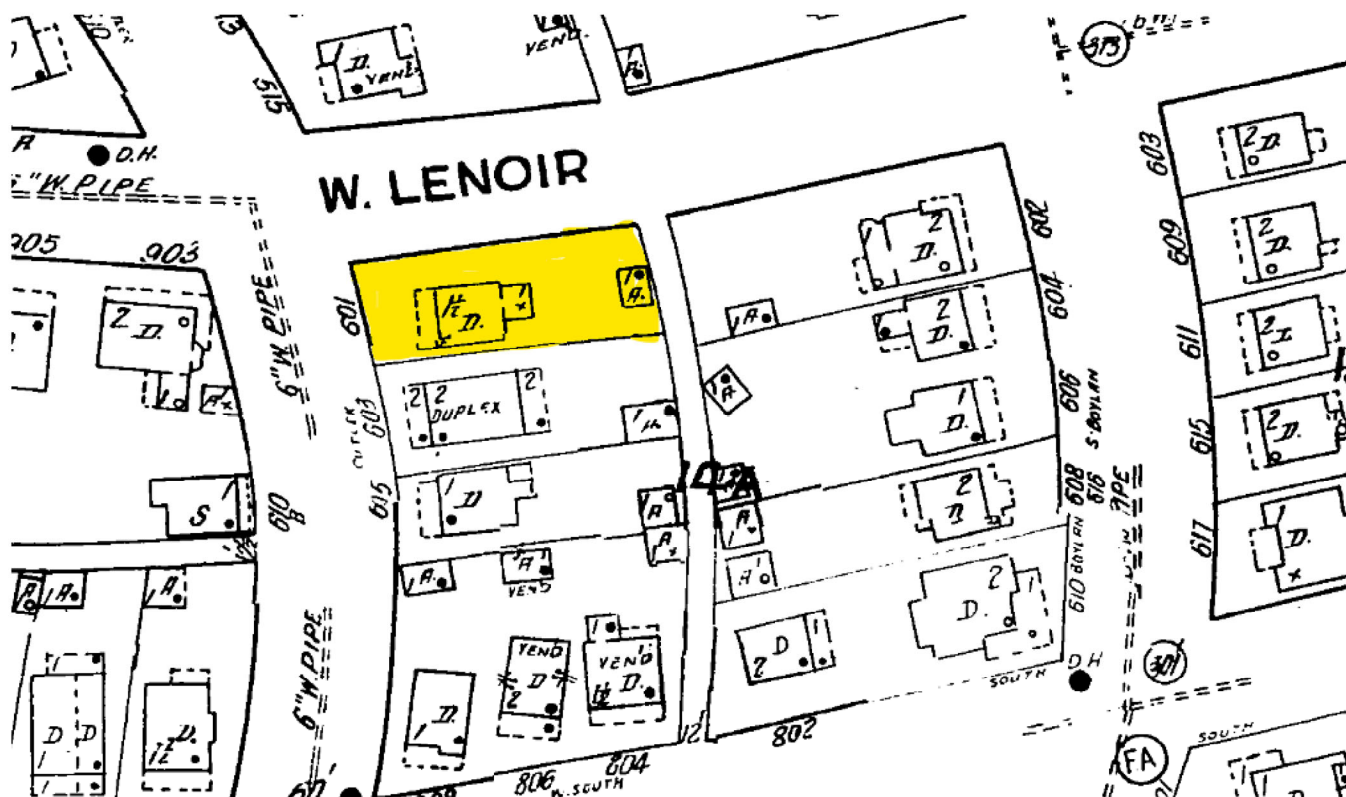
Disclaimer
 iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are **NOT** surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.



601 Cutler St - Aerial

Propose to add a New Window to the Rear Side Elevation of 601 Cutler St

The owners would like to add a new window on the side wall of their existing house. This part of the house was a later addition and is not historic. The new window will match the existing rear window around the corner from the new window. The main bathroom and closet are flipping locations to get a larger main bathroom space.



Sheet 75

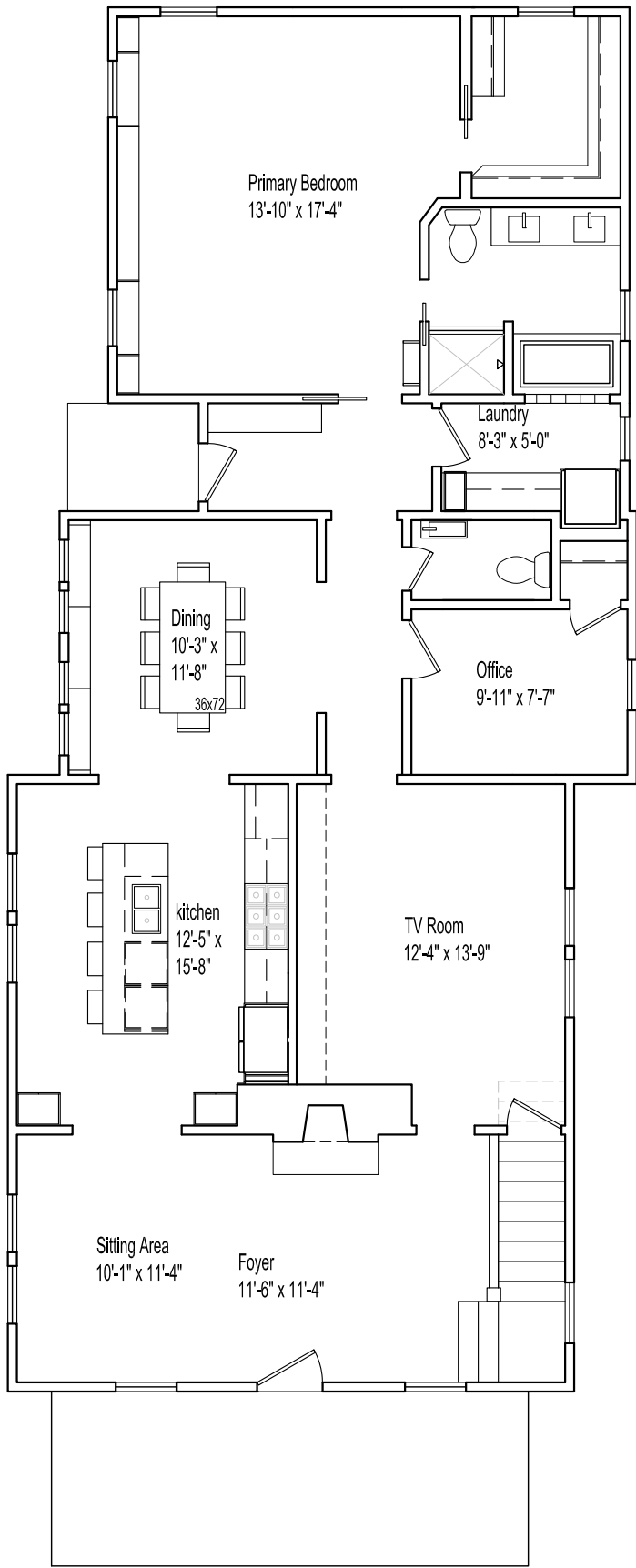


Sheet 76



Sheet 77





601 Cutler St - Existing Ground Floor Plan - 1584 SF

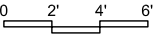
Scale - 1/8" = 1'-0"

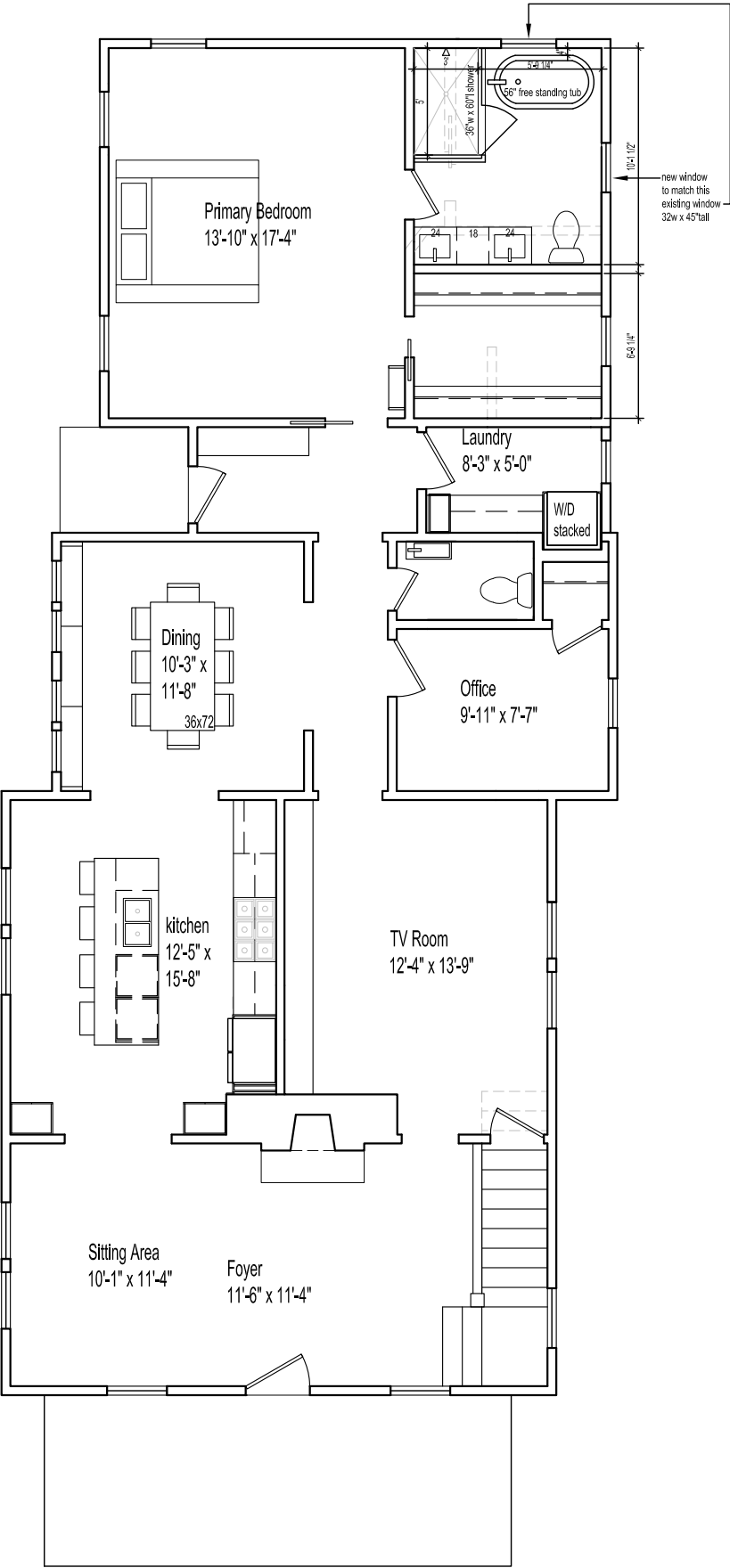


N

PELL ST studio

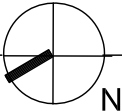
Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0970





601 Cutler St - New Ground Floor Plan - switching bath + closet

Scale - 1/8" = 1'-0"



PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0970





Existing Rear Elevation -
new window to match this one



Existing Side Wall



Proposed New window on Side Wall

Parks Building Supply

Peter L. Farren
2728 Capital Blvd. Suite 140
Raleigh, NC 27604
919-609-6567

Prep By	Bid No	Rev	Job Reference
PLF	781	1	

Customer / Client Name	
George Brewer	
Quote Date	Job / Site Name
8/28/2025	601 Cutler Rd
Phone #	Fax #
Mobile Phone #	Other Phone #
	Email Address



Quality Craftsmanship Since 1947

LINCOLN WOOD PRODUCTS, INC.

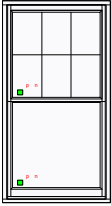


R.O. Allowance (Width = 1/2"-Height = 1/2")

M.O. Allowance (Width = 1/4"-Height = 1/4")

SHOWN AT NET PRICE

Line # 1



R.O. 33-7/8" x 65"

U.D. 39" x 68-9/16"

M.O. 39-1/4" x 68-13/16"

O.A. Box Size 33-3/8x64-1/2"

- DBLH-1; Primed Wood Exterior;
LoE-272
Box Size: 33-3/8x64-1/2
1 Full White Screen(s) Boxed
BetterVue Mesh
Neat and Preserve Glass (Top)
Silver Spacer
Tempered Glass (Top)
7/8" SDL (Top) (3W2H)
 - Profiled Exterior SDL Bars
 - Profiled Interior SDL Bars
 - With Bronze Internal GridsNeat and Preserve Glass (Bottom)
Silver Spacer
Tempered Glass (Bottom)
4-9/16" Jamb
3-1/2" Wood Exterior Flat Casing
2" PVC Applied Projected Sill
Nosing
White Hardware
White Concealed Jambliners With
White Jambliner Metal
Natural Pine Interior
Wide Rail Double Hung (Glass
Size:28x28)
Clear Opening: 30x27-3/4
Square Ft. Of Clear Opening: 5.78

Sash 1

U-Factor=0.31

SHGC=0.27

Visible Transmittance=0.46

PG=LC-PG35-H

Single Unit Rating Only

1 Each @ \$1,232.46 \$1,232.46

Quoted prices are good for 30 days (Expires: 9/27/2025)
and are subject to correction of computational errors.

TOTAL NET PRICE \$1,232.46

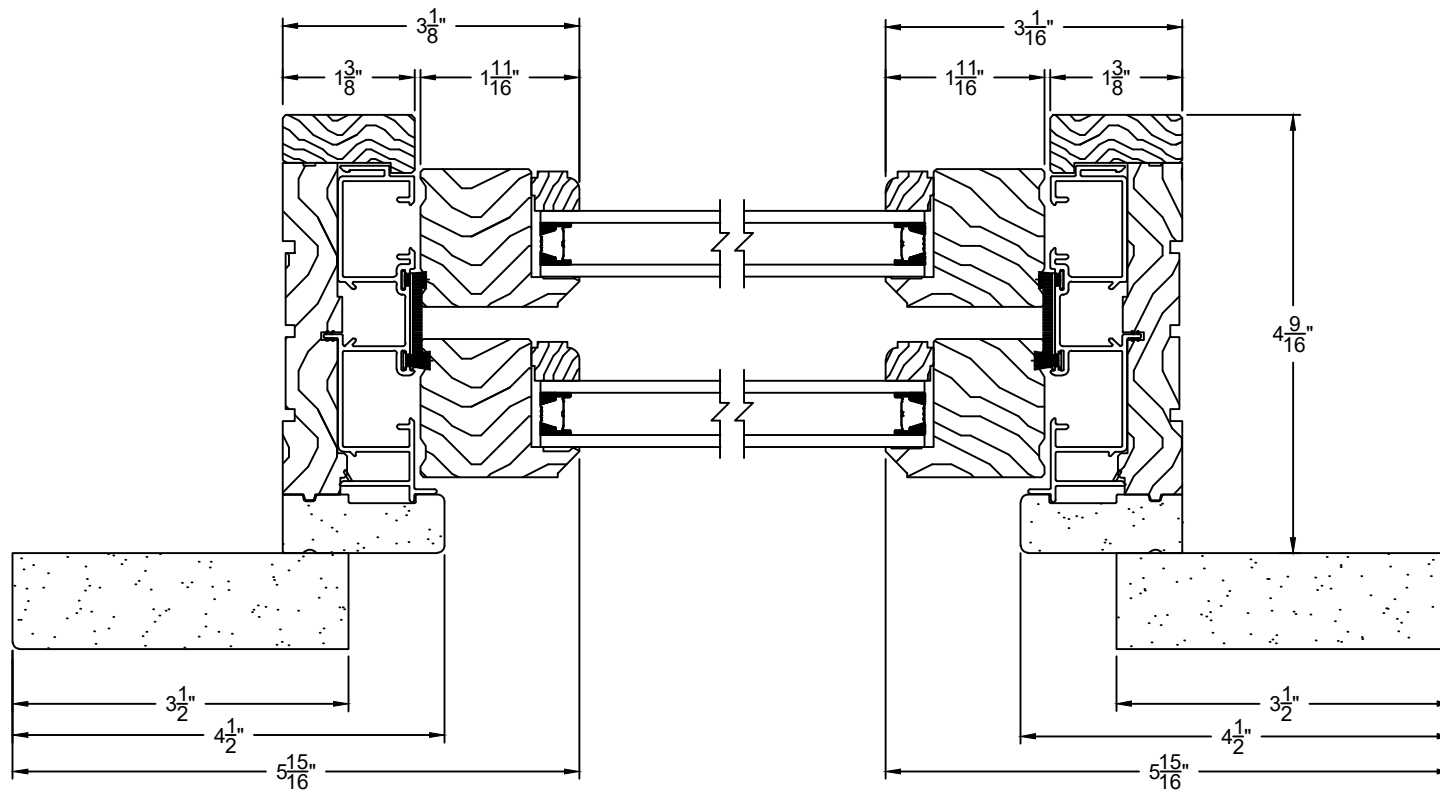
WAKE COUNTY (Taxable Amt: \$1,232.46) \$89.35

TOTAL QUOTATION PRICE \$1,321.81

This Proposal is good for 30 Days.

Signed

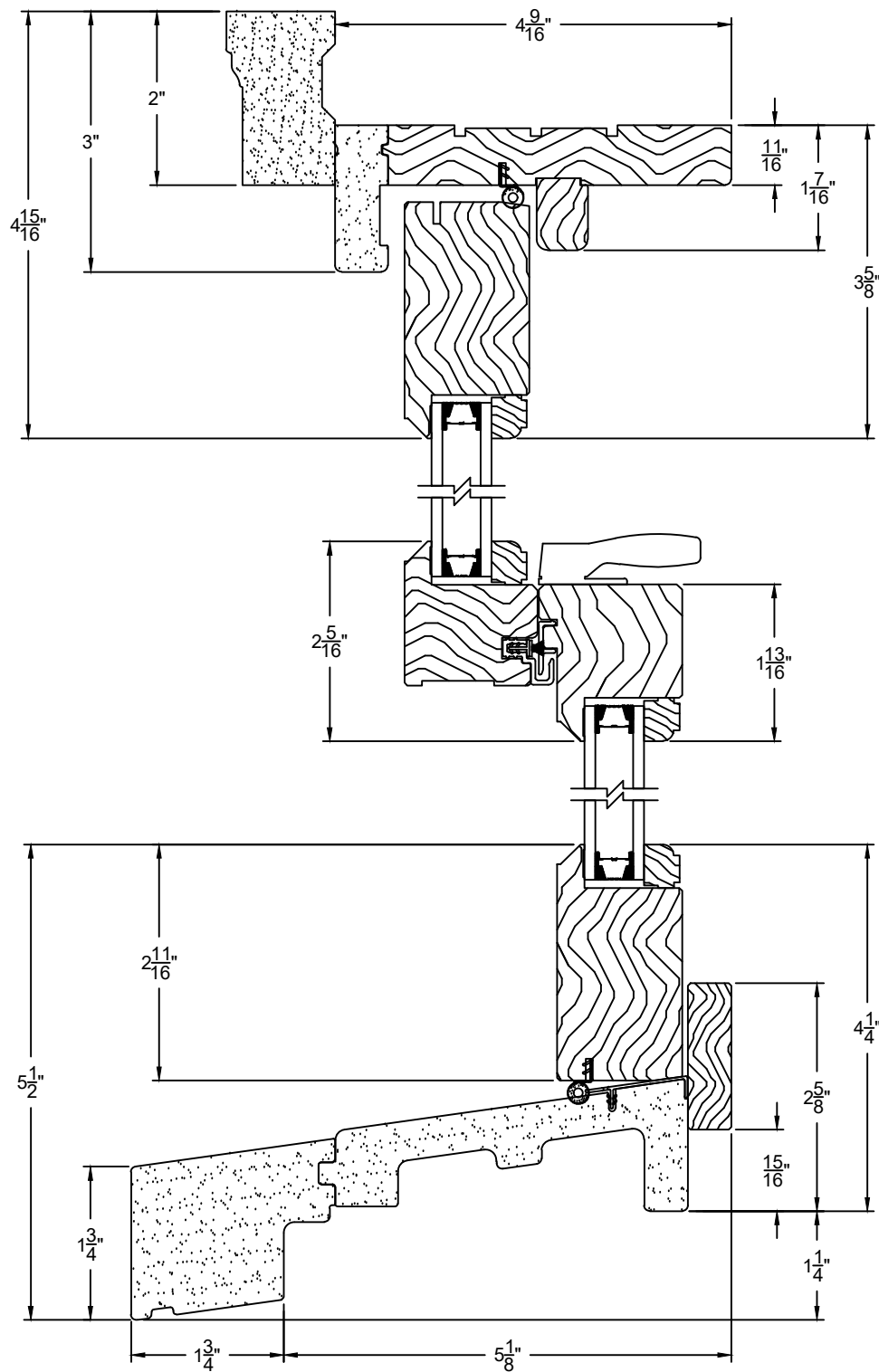
Acceptance: _____ Date: _____



WOOD DOUBLE HUNG
3-1/2" FLAT CASING
HORIZONTAL SECTION
SCALE: 6" = 1' 0"

LINCOLN WOOD PRODUCTS, INC.

1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461



WOOD DOUBLE HUNG - WIDE RAILS
 2" SILL NOSE
 VERTICAL SECTION
 SCALE: 6" = 1' 0"

LINCOLN WOOD PRODUCTS, INC.
 1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461