

City of Raleigh



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COA-0142-2019

323 E CABARRUS ST

PRINCE HALL (DX-3-DE)

0 35 70 140
Feet



Nature of Project:
Construct rear addition;
remove front porch steps;
construct new front porch steps

APPLICANT:
CRAIG BETHEL
115 1/2 E HARGETT ST, SUITE 300



APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – STAFF REPORT

COA-0142-2019 323 E CABARRUS STREET

Applicant: CRAIG BETHEL FOR TIGHTLINES DESIGN

Received: 10/28/2019

Meeting Date(s):

Submission date + 90 days: 01/26/2020

1) 12/12/2019 2) 3)

INTRODUCTION TO THE APPLICATION

Historic District: PRINCE HALL HISTORIC DISTRICT

Zoning: GENERAL HOD

Nature of Project: Construct rear addition; remove front porch steps; construct new front porch steps

DRAC: An application was reviewed by the Design Review Advisory Committee at the November 25, 2019 meeting. Members in attendance were Elizabeth Caliendo, Mary Ruffin Hanbury, and Don Davis; also present were Craig Bethel, architect; and Collette Kinane and Tania Tully, staff.

Staff Notes:

- Due to the deadline for publication of the staff report, changes to the application as a result of the conversation at DRAC were not able to be submitted in advance. Staff anticipates some design changes will be brought to the meeting.

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<i>Sections</i>	<i>Topic</i>	<i>Description of Work</i>
1.3	Site Features & Plantings	Construct rear addition; remove front porch steps; construct new front porch steps
1.5	Walkways, Driveways, & Off-Street Parking	Remove front porch steps; construct new front porch steps
2.8	Entrances, Porches, & Balconies	Remove front porch steps; construct new front porch steps
3.2	Additions	Construct rear addition

STAFF REPORT

Based on the information contained in the application and staff's evaluation:

A. Constructing a rear addition is not incongruous in concept according to *Guidelines* 1.3.1, 1.3.2, 1.3.6, 1.3.7, 1.3.8, 1.3.9, 3.2.1, 3.2.2, 3.2.4, 3.2.5, 3.2.6, 3.2.7, 3.2.8, 3.2.9, 3.2.10, 3.2.11, 3.2.12; and the following suggested facts:

1* The Report and Recommendation for the Designation of the South Person/South Blount Historic Overlay District identifies the house as a c. late 19th century house with ca. 1960 alterations. It is described as a "One-story frame, three-bay house with an offset gabled

front wing, brick veneer, an asphalt-shingled gable roof, a front porch with replacement metal supports, and replacement 3/1 windows, resulting in a Minimal Traditional feel.

Despite the brick veneer, the building retains its scale and form.”

- 2* The period of significance for Prince Hall is 1865 to 1941.
- 3* The application proposes the removal of a portion of the rear of the existing house to construct a new addition.
- 4* The proposed addition is a central gabled roof that matches the pitch of the existing roof coupled with a lower sloped shed roof on the east side of the addition.
- 5* On the east side, the new addition appears to double the length of the house.
- 6* On the west side, due to the change in material, the new addition appears to triple the length the house.
- 7* The proposed addition will be inset 19” from the left/west side of the house to delineate differentiation from the historic house. The right/east side of the addition is proposed in the same plane of the existing rear addition, which is set 9’ from the eastern-most wall of the historic house.
- 8* The use of fiber cement clearly distinguishes the new addition from the historic house.
- 9* The addition is proposed to be clad in painted fiber cement siding with a 4” reveal. All trim is proposed to be painted composite. Paint specifications were not provided.
- 10* The application notes that the overhang soffits will be fiber cement. Eave details were not provided.
- 11* The application did not note that the fiber cement siding will be installed with the smooth side out, as has found to be congruous on previously approved rear additions to historic structures.
- 12* The foundation of the proposed addition is composed of solid brick that will match the existing brick veneer foundation in appearance.
- 13* The roof of the addition is proposed to be asphalt shingles. The application also includes the re-roofing of the historic house. The written description states that the color will match existing, while the drawings note that the color is to be determined.
- 14* The northeast corner of the proposed addition features an engaged porch with simple square columns.

- 15* The application includes the following built **area** to open space analysis: The lot is 5,780 SF. The **existing** built area is 1,841 SF, or 31.8%. The proposed built area is 2,398 SF, or 41.5%. This is an increase in built area of 9.7%.
- 16* The application includes the following built **mass** to open space analysis: The lot is 5,780 SF. The **existing** built mass is 1,538 SF, or 26.6%. The proposed built mass is 2,086 SF, or 36.1%. This is an increase in built mass of 9.5%.
- 17* The Design Guidelines refer to the **original** built mass to open space stating, "It is not appropriate to construct an addition that significantly changes the proportion of original built mass to open space on the individual site." Calculations were not provided for the property's **original** built mass.
- 18* The application includes the built area percentages for two nearby properties. Both examples have a greater built area than the proposed.
- 19* Windows on the addition are proposed to match the existing double-hung 3 over 1 windows. One suburban style clerestory window is proposed towards the rear of the addition on the west façade. Specifications were provided.
- 20* Specifications were provided for the new wood door located on rear covered porch.
- 21* The written description notes that gutters and downspouts are proposed to match existing. Locations were not noted on the included drawings.
- 22* Based on the included photographs and the location of the proposed addition, it is assumed that the HVAC equipment is proposed to be relocated. No information was provided on the new HVAC location. No screening details were provided.
- 23* The application states that all trees larger than 7" DBH will remain and be protected. The application indicates that no tree roots are located in the area of construction. A tree protection plan was provided.
- 24* No information was provided on construction access or material storage. Due the location of the house, it appears that access would need to be from the adjacent City-owned properties.
- 25* No information was provided on exterior lighting, if any.

B. Removing front porch steps and constructing new front porch steps are not incongruous in concept according to *Guidelines* 1.3.1, 1.3.4, 1.5.1, 1.5.5, 2.8.1, 2.8.4, 2.8.10; and the following suggested facts:

- 1* The application proposes the removal of the existing front porch steps.
- 2* The application states that the existing steps have an “awkward riser height.”
- 3* The steps are proposed to be replaced with new concrete steps that have a taller riser height.
- 4* The increase in riser height reduces the number of steps leading to the house from seven to four.
- 5* The alteration to the front steps requires the extension of the existing front walk to meet the foot of the new steps. The extension is proposed to match the existing front walk.

Staff suggests that the Committee discuss the increase in built area/built mass. Pending the results of that discussion, staff recommends the Committee approve the application with the following conditions:

1. That all fiber cement elements on the addition be installed smooth side out.
2. That details and specifications for the following be provided to and approved by staff prior to the issuance of the blue placard:
 - a. Eave details.
 - b. A revised tree protection plan noting material storage and construction access.
3. That details and specifications for the following be provided to and approved by staff prior to the installation or construction:
 - a. Manufacturer’s specifications for paint;
 - b. Locations of gutters and downspouts;
 - c. HVAC location and screening;
 - d. Exterior lighting.

Staff Contact: Collette Kinane, collette.kinane@raleighnc.gov

Type or print the following:

Applicant name:

Mailing address:

City:

State:

Zip code:

Date:

Daytime phone #:

Email address:

Applicant signature

Cj Babel

Minor work (staff review) – one copy

Major work (COA committee review) – ten
copies

Additions > 25% of building sq. footage

New buildings

Demolition of building or structure

All other

Post approval re-review of conditions of
approval

Office Use Only

Transaction #: _____

File #: _____

Fee: _____

Amount paid: _____

Received date: _____

Received by: _____

Property street address:

Historic district:

Historic property/Landmark name (if applicable):

Owner name:

Owner mailing address:

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address

Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="radio"/> No <input checked="" type="radio"/>	Office Use Only Type of work: _____ _____
Did you consult with staff prior to filing the application? Yes <input type="radio"/> No <input checked="" type="radio"/>	

Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).

<p align="center">Minor Work Approval (office use only)</p> <p>Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____.</p> <p>Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.</p> <p>Signature (City of Raleigh) _____ Date _____</p>



**323 E. Cabarrus Street
Prince Hall Historic District**

Project Description and Description of Materials:

Project consists of restoring a single-story brick veneer bungalow and construction of a new rear addition. New addition will require a portion of the existing house to be demolished. Existing concrete steps at front porch to be demolished and replaced with new concrete steps. Existing sidewalk leading to front porch steps to remain, but new sidewalk to be installed in area of removed existing steps. New concrete sidewalk to match existing. The new addition does not diminish or overpower the existing house keeping the front elevation massing the same.

Massing: The proposed built mass and area are consistent with the neighbors- see Built Mass Diagram and finding of facts when compared to an approved neighbors COA. The new rear addition will be inset from the existing left side of the house 19" to delineate differentiation from the original house. The mass of the new addition contains a central gabled roof with a pitch matching the existing main roof with a lower slopped shed roof terminating into the new gabled roof. The northeast rear corner contains a covered open porch with 8" columns.

Foundation: Existing house foundation is a continuous brick veneer. The proposed addition will be a solid brick foundation. New brick foundation to match existing brick veneer as closely as possible.

Exterior finishes: At existing house, existing brick veneer and trim to remain. At addition, all trim shall be Miratec (cornerboards, jamb and head trim, skirt boards, beam trim, and under soffit trim). The ceilings of the covered porch addition at rear shall be beadboard plywood painted to match trim. Overhang soffits shall be vented Hardi-soffit. All siding, trim, soffits, doors, and windows paint colors shall be selected at a later time.

Windows: The existing windows of the main original portion of the house will remain. In the new addition, new wood windows will be installed. All new windows shall be Lincoln, with true divided lites and low-e glass. All new double hung windows to be 3 over 1 configuration to match configuration of exiting windows.

Doors: Existing fiberglass front door is to remain. A new ½ glass door shall be installed at the rear covered porch. New rear door shall be Lincoln with true divided lites and low-e glass.

Roofing: The roof of the addition, the existing house main roof, and the roof of the front porch shall receive new asphalt shingles - GAF Timberline HD, color to match existing. White gutters and downspouts shall be installed on the new addition to match the existing.

Rear Covered Porch: The new porch floor shall have wood 5/4 x 6 decking on wood joists. Columns to be 8" wood painted with a 1x4 capital and 1x6 base. Structural members to be treated wood.

Front Porch: Existing front porch and brick planter are to remain unchanged. Existing iron work columns and railings to remain but are to be scraped and repainted to match existing color.



Existing front concrete steps have an awkward riser height and are to be removed and replaced with new concrete steps that have a taller, more comfortable riser height.

Landscaping features & Trees: There are a number of trees in the back yard. These have been documented and shown on the attached existing and proposed site plans. Given the locations of the trees, they are likely not to be endangered by the area of construction. However, a Tree Protection Plan has been provided on the proposed site plan. This tree protection plan follows similar measures taken in previous construction projects in the area that required CoA approval (420 & 422 S. Bloodworth Street). The shrubs in the front elevation will be removed and new native plantings will take their place to match in scale. Wood fencing on east and north sides of lot is to remain unchanged.

Existing Shed and Stand Alone Deck: Existing shed and deck are to remain. No change.

Cited Design Guidelines:

1.5 Walkways, Driveways, and Off-street Parking: Guidelines

.3 If replacement of a deteriorated section or element of an existing historic walkway, driveway, or off-street parking area is necessary, replace only the deteriorated portion in kind rather than the entire feature. Match the original section or element in design, dimension, texture, color, and material. Removed and damaged walkways are to be replaced in kind.

.5 Design new walkways, driveways, and off-street parking areas to be compatible in location, patterns, spacing, configurations, dimensions, materials, and color with existing walkways, driveways, and off-street parking areas that contribute to the overall historic character of the district.

.6 Locate new walkways, driveways, and off-street parking areas so that the topography of the building site and significant site features, including mature trees, are retained.

2.4 Paint and Paint Color: Guidelines

.1 Preserve and protect original exterior building surfaces and site features that were historically painted, by maintaining a sound paint film on them. Paint and scrape existing window and door trim, and existing iron railings and columns at front porch.

.2 Protect and maintain historically painted exterior surfaces in appropriate ways.

.3 When repainting, select paint colors appropriate to the historic building and district. Enhance the features of a building through appropriate selection and placement of paint color consistent with its architectural style. In particular, the foundation color is usually darker than the body of the building in order to visually anchor it to the ground.

2.5 Roofs: Guidelines

.1 Retain and preserve roofs and roof forms that contribute to the overall historic character of a building, including their functional and decorative features, such as roofing materials, cresting, dormers, chimneys, cupolas, and cornices. All original roofs at front façade to remain. Replace existing shingles (color TBD) and fascia as necessary to match existing.

.8 If new gutters and downspouts are needed, install them so that no architectural features are lost or damaged. New gutters to match existing on house.

2.6 Exterior Walls: Guidelines

.3 Protect and maintain the material surfaces, details, and features of historic exterior walls through appropriate methods

.4 Repair historic exterior wall surfaces, details, and features using recognized preservation repair methods for the surface material or coating.

2.7 Windows and Doors: Guidelines

.1 Retain and preserve windows that contribute to the overall historic character of a building, including their functional and decorative features, such as frames, sashes, muntins, sills, heads, moldings, surrounds, hardware, shutters, and blinds. All existing windows that are visible to the street and original are to remain.

.3 Protect and maintain the wood and metal elements of historic windows and doors through appropriate methods

.4 Repair historic windows and doors and their distinctive features through recognized preservation methods for patching, consolidating, splicing, and reinforcing.

.9 If additional windows or doors are necessary for a new use, install them on a rear or non-character-defining facade of the building, but only if they do not compromise the architectural integrity of the building. Design such units to be compatible with the overall design of the building, but not to duplicate the original.

3.2 Additions: Guidelines

.1 Construct additions, if feasible, to be structurally self-supporting to reduce any damage to the historic building. Sensitively attach them to the historic building so that the loss of historic materials and details is minimized. The proposed front building façade keeps the existing porch, front door and window

locations the same as it exists now. Addition is located in least conspicuous location at rear and does not protrude above the existing height of main house.

.2 Design additions so that the overall character of the site, site topography, character-defining site features, trees, and significant district vistas and views are retained.

.4 Protect large trees and other significant site features from immediate damage during construction and from delayed damage due to construction activities, such as loss of root area or compaction of the soil by equipment. It is especially critical to avoid compaction of the soil within the critical root zone. There are no trees on the property with more than a 7" dia.

.5 It is appropriate to implement a tree protection plan prior to the commencement of construction activities. A Tree Protection Plan is not needed because there are no tree roots in the area of construction.

.6 Locate a new addition on an inconspicuous face of the historic building, usually the rear one.

.7 Limit the size and the scale of an addition in relationship to the historic building so that it does not diminish or visually overpower the building.

The proposed new elevations are similar in height, massing and proportion to the surrounding houses in the surrounding Prince Hall Neighborhood . Neighboring houses along E. Cabarrus St. and S. Bloodworth. The proposed addition keeps the front elevation as-is. The rear gabled is a typical roof form seen throughout the historic neighborhood.

.8 Design an addition to be compatible with the historic building in mass, architectural style, materials, color, and relationship of solids to voids in the exterior walls, yet make the addition discernible from the original.

.9 Design additions so that the placement, configuration, materials, and overall proportion of windows and doors are compatible with those of the historic building. Select exterior surface materials and architectural details that are compatible with the existing building in terms of composition, module, texture, pattern, and detail. The proposed new window sizes are consistent with the existing windows on the house currently and the surrounding neighbors. Most of the windows are rectangular double hung windows to match existing or fixed. Sizes and proportions are very similar to most of the neighboring houses and nearby historic houses. Trim and siding are to match what is currently on the house.

.10 It is not appropriate to construct an addition if it will detract from the overall historic character of the principal building and the site, or if it will require the removal of a significant building element or site feature.

.11 It is not appropriate to construct an addition that significantly changes the proportion of original built mass to open space on the individual site. Visually from the street the property will not change significantly in scale. The expansion



on the rear of the house allows the main massing of the site to feel more open and less crowded. (See comparable built mass to open space calculations)

.12 It is not appropriate to construct an addition if the overall proportion of built mass to open space on its site will significantly vary from the surrounding buildings and sites that contribute to the special character of the historic district.

1.3 Site Features and Plantings: Guidelines

.8 In the residential historic districts, it is not appropriate to alter the residential character of the district by significantly reducing the proportion of the original built area to open space on a given site through new construction, additions, or surface paving. With this new addition we are not altering the residential character as we are in line with other approved CoA applications (i.e. 325 E. Cabarrus St. COA 043-18-CA and 422 S. Bloodworth St COA 029-16-CA.)



Front Elevation

Existing front of house to remain – front concrete steps to be demolished and rebuilt with concrete.



Right Side/Rear Elevation

Rear gable and shed roofs to be demolished.



Front/Right Side Elevation
Existing front and right side of house to remain.



Rear Elevation
Rear gable and shed roofs to be demolished.



Rear/Left Side Elevation
Rear gable to be demolished from setback; Left side to front of house to remain.



Left Side/Front Elevation
Existing fence to remain.



Right Side Elevation
Existing fence to remain.



E Cabarrus St looking northeast at residence



E Cabarrus St looking south at properties across the street from residence



E Cabarrus St looking west towards downtown;
323 E Cabarrus residence on the right



E Cabarrus St looking northwest at residence



View of backyard looking north. Tree immediately to the left of power pole is a Pecan. All other trees are Catalpas except for tree to the far left, which is an Elm. Three trees on left side of photo are thought to be on neighboring lot.



View of backyard looking east. Three trees in foreground (Elm and two Catalpas) are thought to be on neighboring lot. See proposed site plan for location of all trees, their proximity to proposed addition and tree protection plan.



0 50 100 200 ft
1 inch = 100 feet

Disclaimer

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EXISTING BUILT MASS



PROPOSED BUILT MASS



IMPERVIOUS SURFACE

BUILT MASS:

EXISTING BUILT MASS = 1,538 SF
 $1,538 \text{ SF} / 5,780 \text{ SF} = 26.6\%$ EXISTING BUILT
MASS TO LOT AREA RATIO

PROPOSED BUILT MASS = 2,086 SF
 $2,086 \text{ SF} / 5,780 \text{ SF} = 36.1\%$ PROPOSED BUILT
MASS TO LOT AREA RATIO

BUILT AREA:

EXISTING:
TOTAL LOT: 5,780 SF
EXISTING HOUSE
(HOUSE, FRONT PORCH, REAR DECK): 1,538 SF
EXISTING DECK: 164 SF
EXISTING SHED: 98 SF
EXISTING WALKWAY: 41 SF

EXISTING BUILT AREA = 1,841 SF
EXISTING BUILT AREA % = 31.8%

PROPOSED:
TOTAL LOT: 5,780 SF
PROPOSED HOUSE
(HOUSE, FRONT PORCH, REAR PORCH): 2,086 SF
EXISTING DECK: 164 SF
EXISTING SHED: 98 SF
PROPOSED WALKWAY: 50 SF

PROPOSED BUILT AREA = 2,398 SF
PROPOSED BUILT AREA % = 41.5%

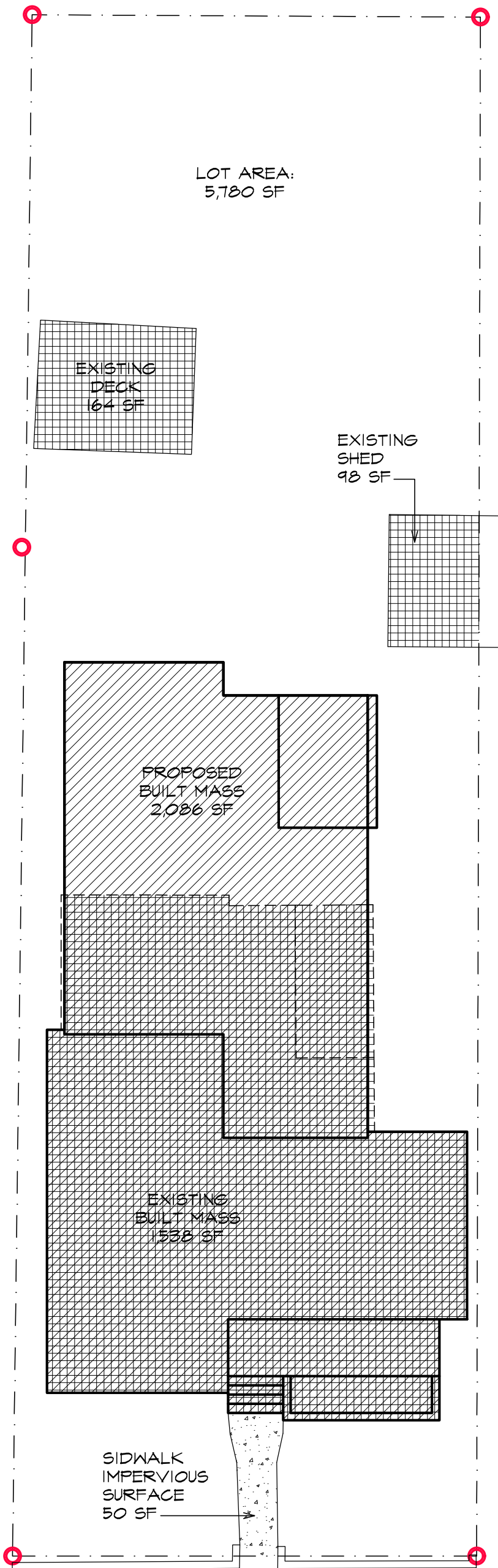
ADJACENT LOTS BUILT AREA %:

422 S. BLOODWORTH STREET
APPROVED COA APPLICATION 029-16-CA: 51.1%

325 E. CABARRUS STREET
APPROVED COA APPLICATION 043-18-CA: 56.7%

SUMMARY:

PROPOSED LOT COVERAGE/BUILT AREA FOR
323 E. CABARRUS STREET TO BE LESS THAT
ADJACENT LOTS WITH HOUSES THAT HAVE
RECEIVED PREVIOUS COA APPROVAL.



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COA APPLICATION FOR:

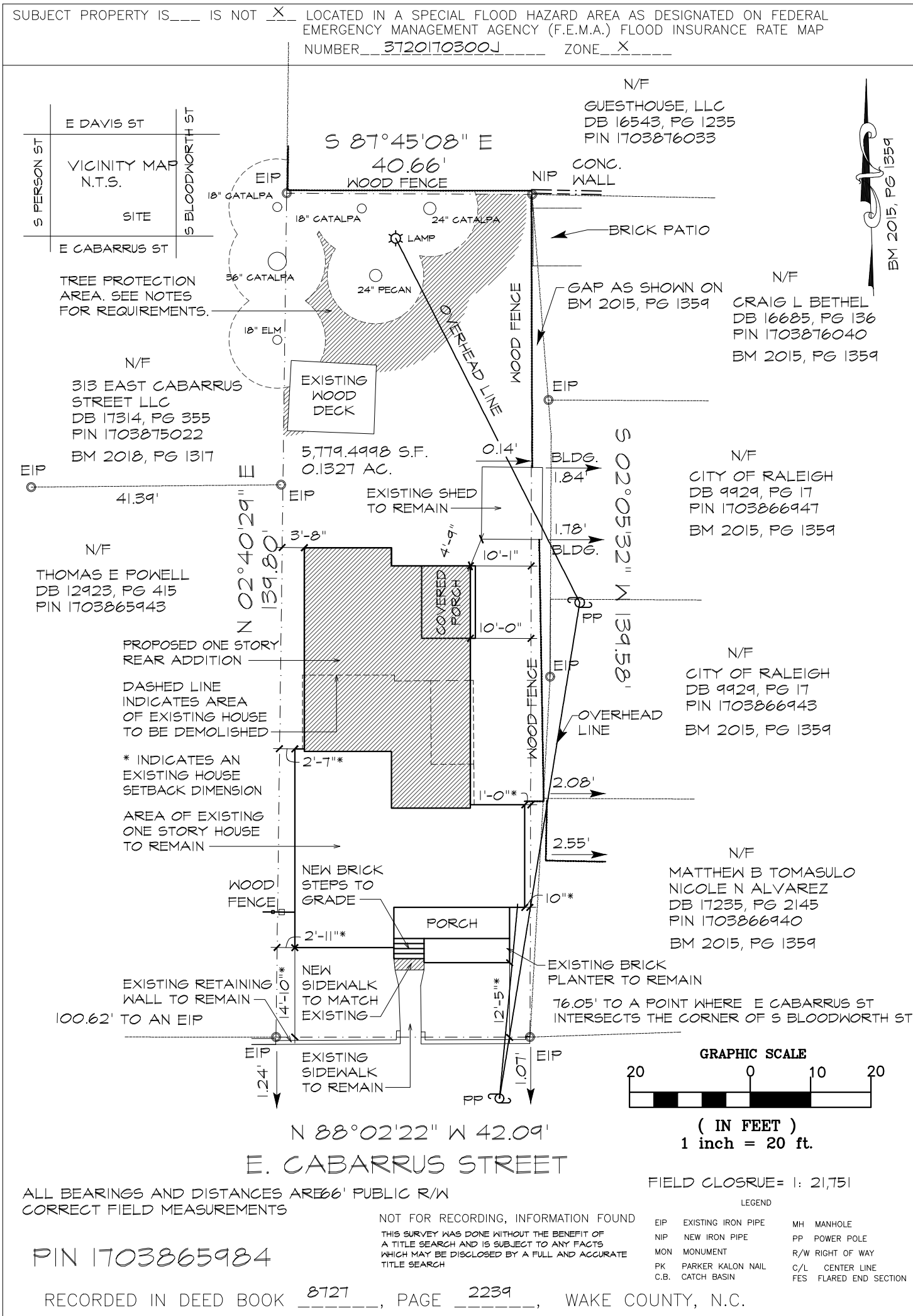
323 E. Cabarrus Street

BUILT MASS DIAGRAM

SCALE: 3/32" = 1'-0"

DATE: 10/28/2019

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TREE PROTECTION NOTES:

TREE PROTECTION FENCE:
PLASTIC ORANGE MESH
CONSTRUCTION FENCING
ATTACHED TO STEEL POSTS
MIN. 8' O.C., AVOID ROOTS WITH
POSTS.

HATCHED AREAS:
1. INSTALL 4" MULCH. PLACE
PLYWOOD OR OSB OVER MULCH
IN AREAS WHERE
CONSTRUCTION TRAFFIC
SCATTERS. MULCH AS NEEDED.
2. NO HEAVY EQUIPMENT.
3. HAND EXCAVATE FOOTINGS.
4. CUT ALL ROOTS LARGER
THAN 1" DIA. WITH SAW OR
LOPPER.
5. WATER ENTIRE AREA UNDER
TREE DURING PERIODS OF
DROUGHT FOR 1 YEAR AFTER
CONSTRUCTION (1" PER WEEK).
6. ALL CONSTRUCTION
MATERIAL TO BE STORED
OUTSIDE HATCHED AREA.

I, JOHN Y. PHELPS, JR. HEREBY CERTIFY THAT THIS MAP IS CORRECT AND THAT THE BUILDINGS LIE WHOLLY ON THE LOT AND THAT THERE ARE NO ENCROACHMENTS OF OTHER BUILDINGS ON SAID LOT UNLESS SHOWN OTHERWISE. THIS MAP IS NOT FOR RECORDING.

PROPERTY OF
MARKETTE HESTER

323 CABARRUS ST.
RALEIGH, WAKE CO., N.C.

SCALE 1"=20'
DATE 04/02/19
FB 1594
#101298

JOHN Y. PHELPS, JR.
PROFESSIONAL LAND SURVEYOR
5110 BUR OAK CIRCLE
RALEIGH, NORTH CAROLINA, 27612 (919) 787-3658

JOHN Y. PHELPS, JR. PLS # 1319

COA APPLICATION FOR:

323 E. Cabarrus Street

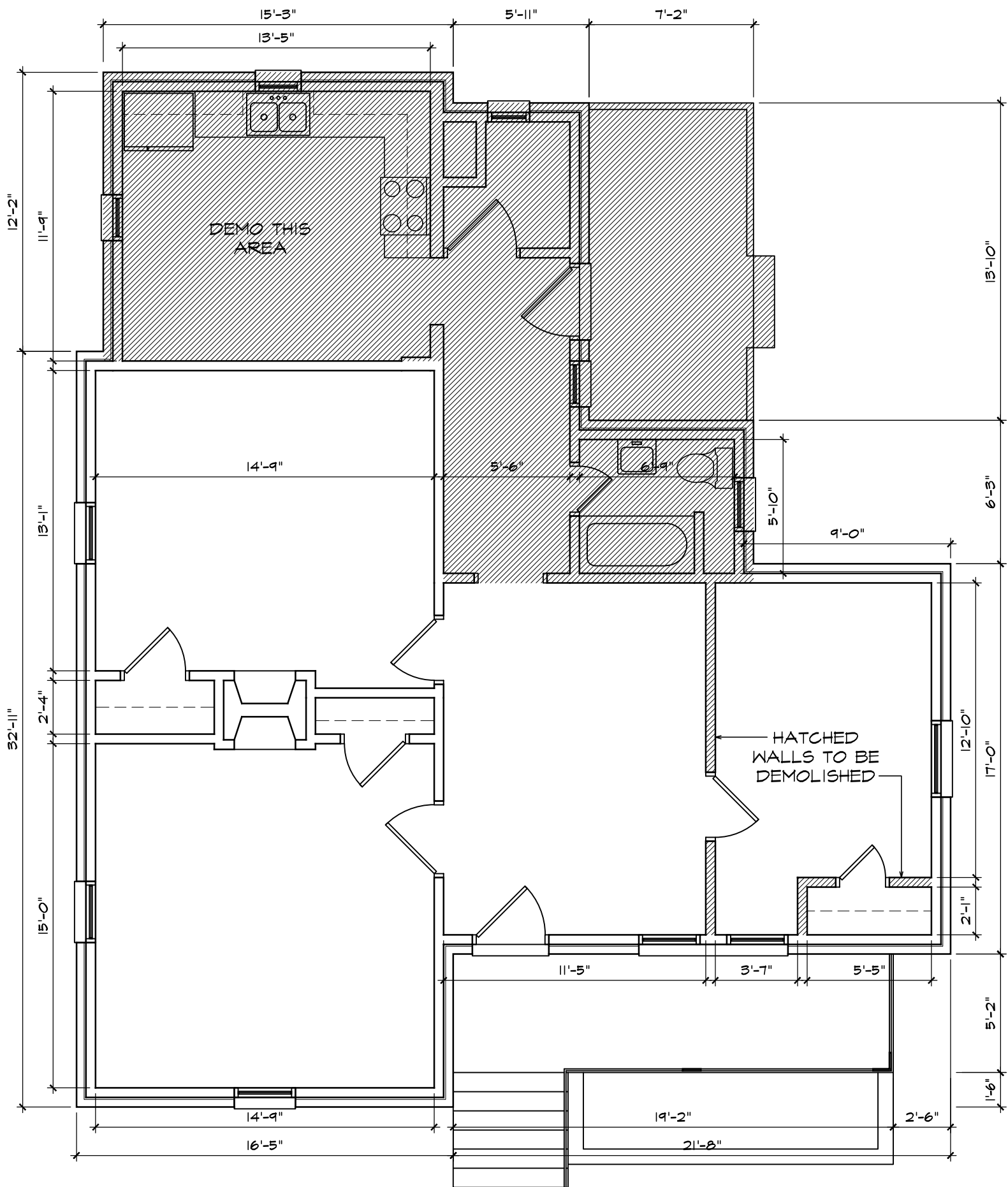
PROPOSED PLOT PLAN

SCALE: 1" = 20'

DATE: 10/28/2019

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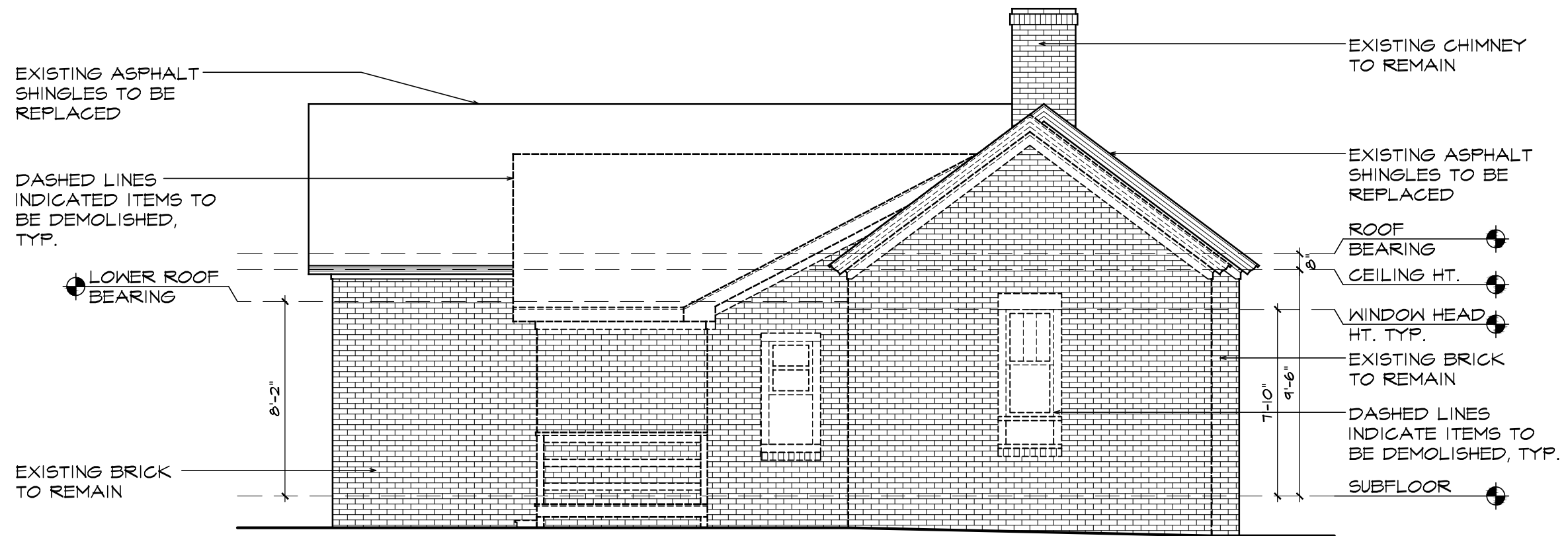
EXISTING FLOOR PLAN

SCALE: 3/16" = 1'-0"

DATE: 10/28/2019

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COA APPLICATION FOR:

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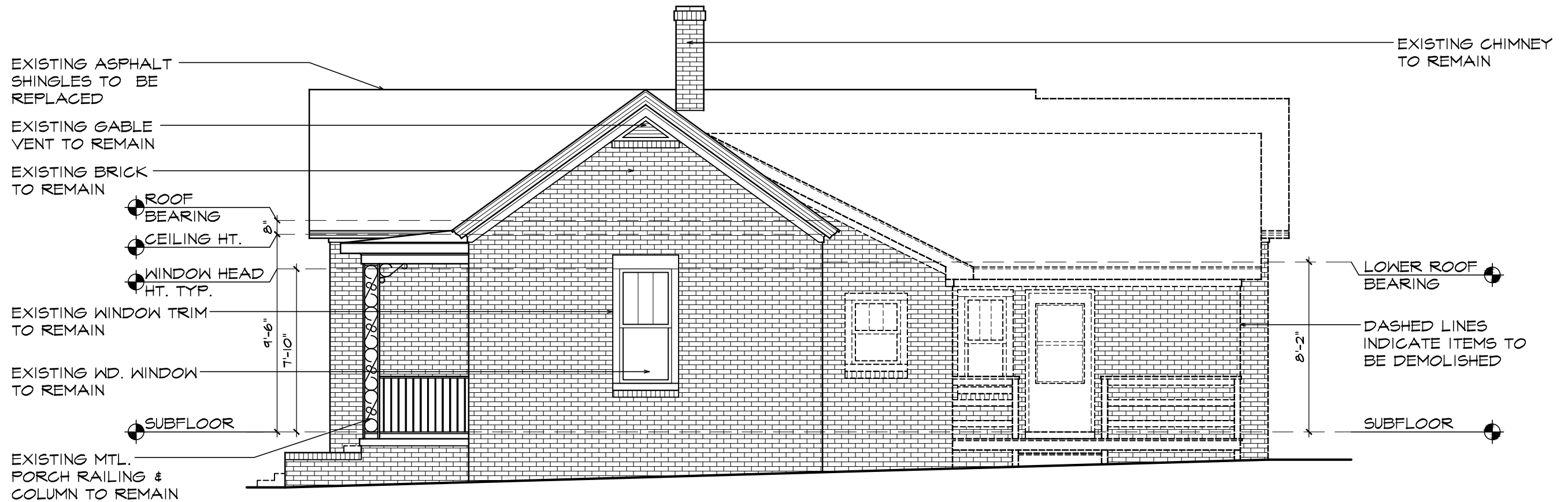
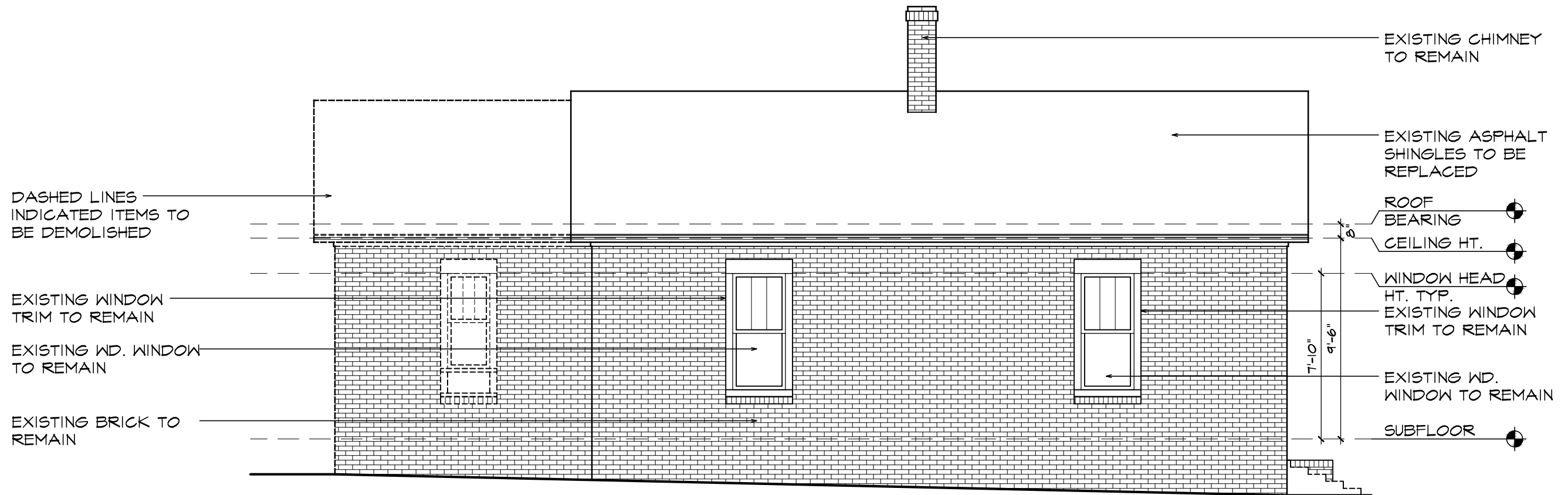
EXISTING ELEVATIONS

SCALE: 3/16"= 1'-0"

DATE: 10/28/2019

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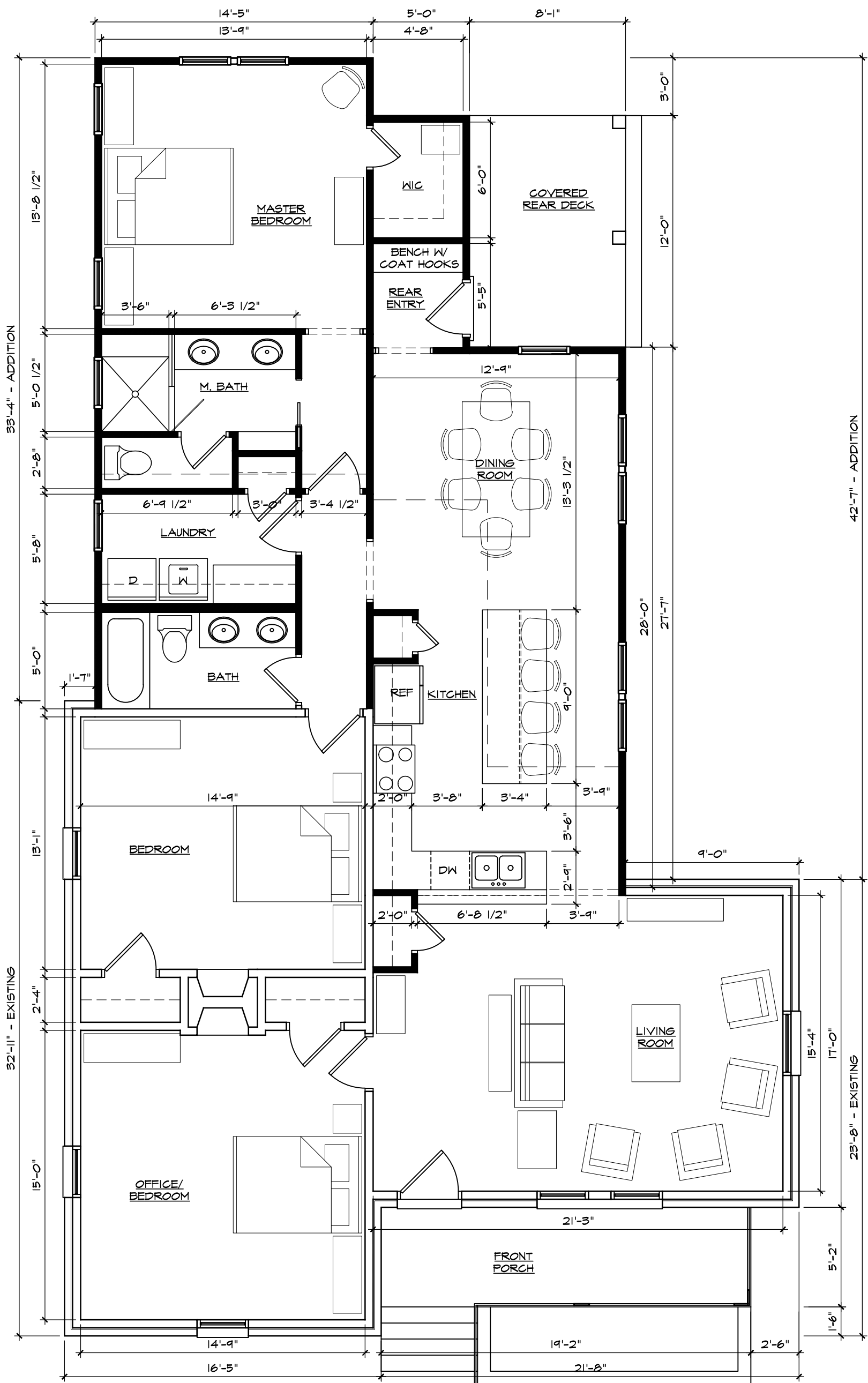
EXISTING ELEVATIONS



SCALE: 3/16"= 1'-0"

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WALL LEGEND	
	EXISTING WALL
	NEW WALL

COA APPLICATION FOR:

323 E. Cabarrus Street

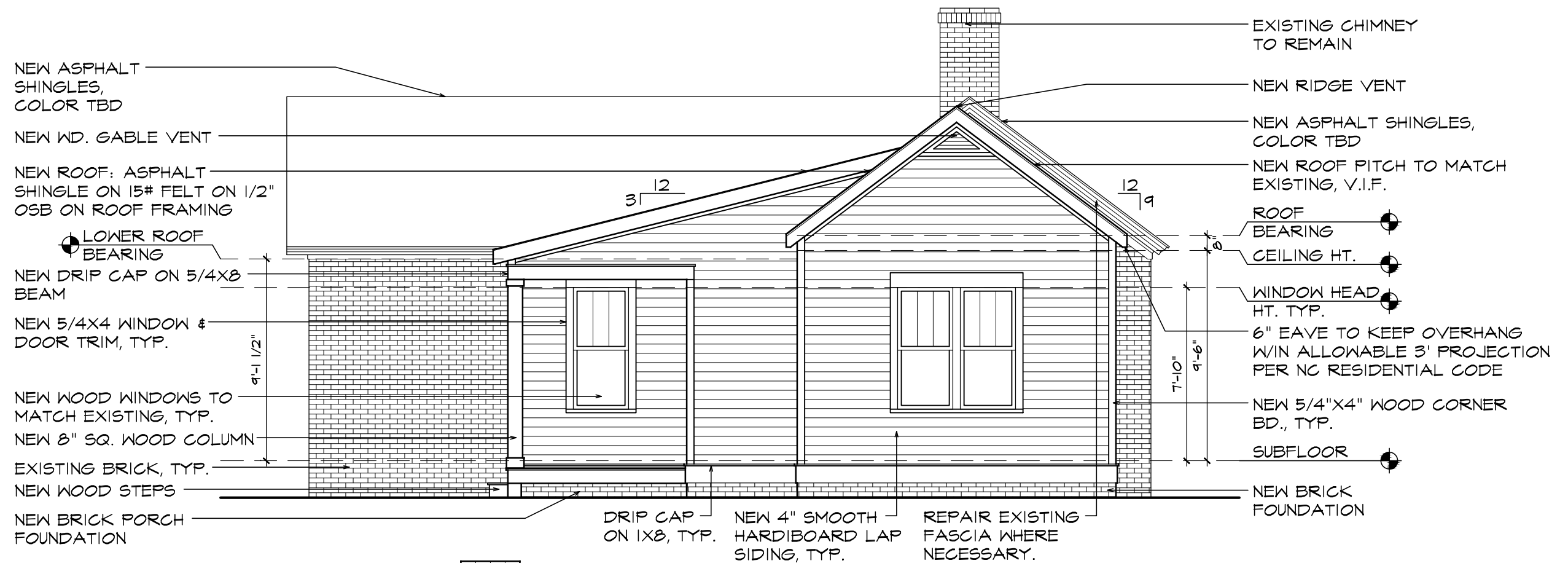
PROPOSED FLOOR PLAN

SCALE: 3/16" = 1'-0"

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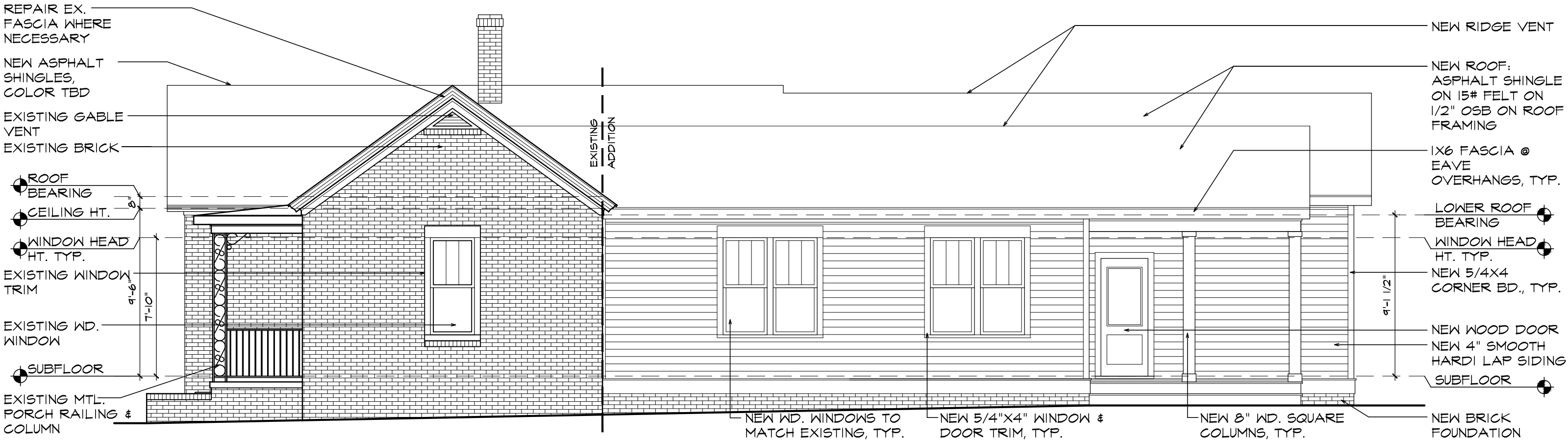
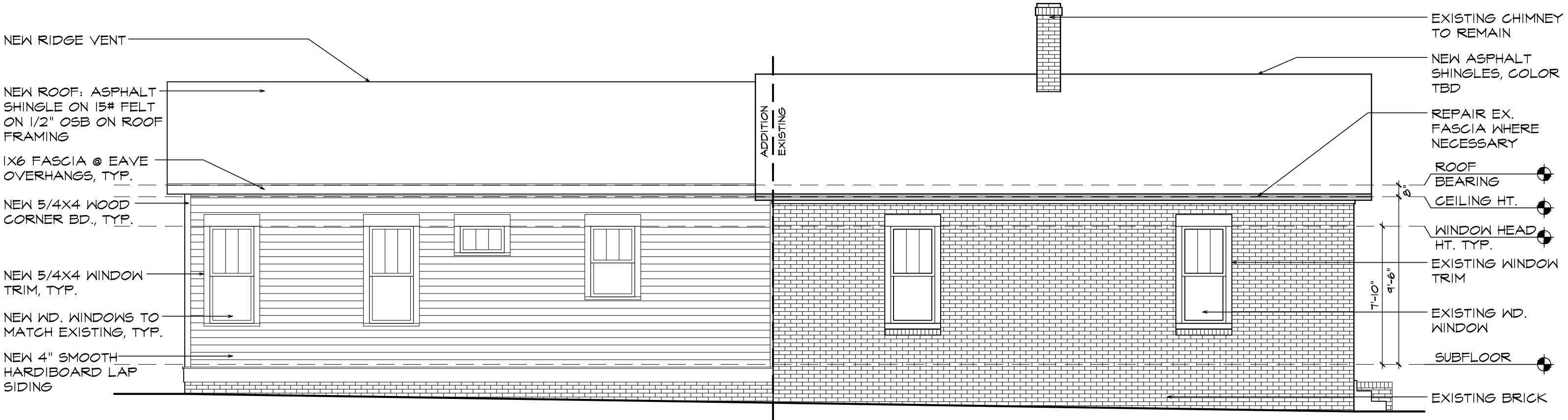
PROPOSED ELEVATIONS

SCALE: 3/16" = 1'-0"

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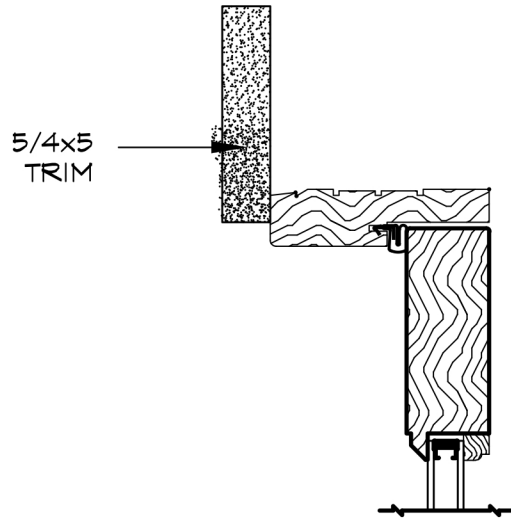


COA APPLICATION FOR:
323 E. Cabarrus Street

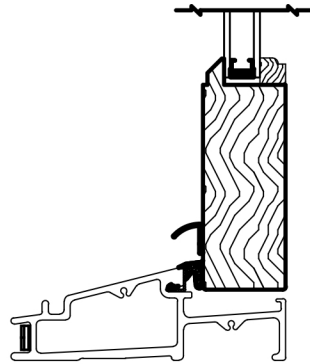
PROPOSED ELEVATIONS	SCALE: 3/16"= 1'-0"	DATE: 10/28/2019
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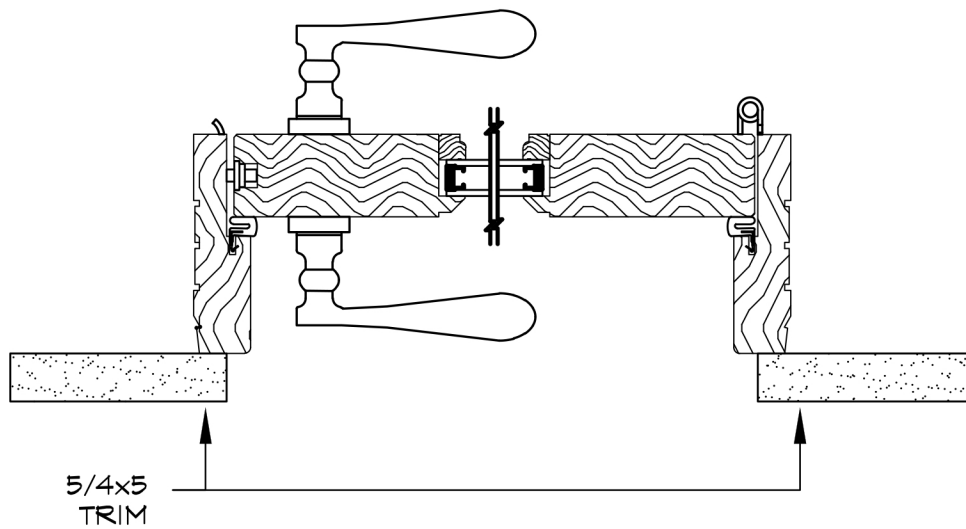
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TYPICAL HEAD DETAIL - DOOR



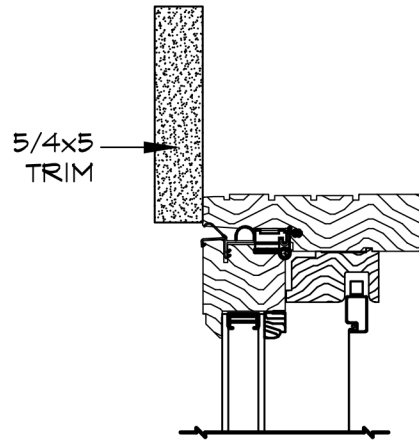
TYPICAL SILL DETAIL - DOOR



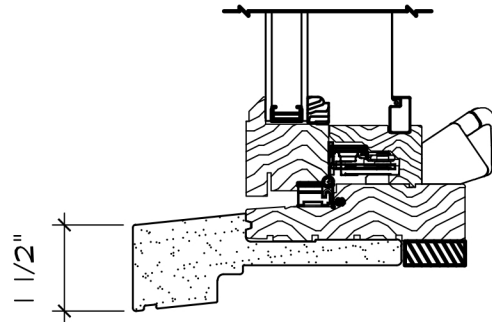
TYPICAL JAMB DETAIL - DOOR

323 E. Cabarrus Street Door Details

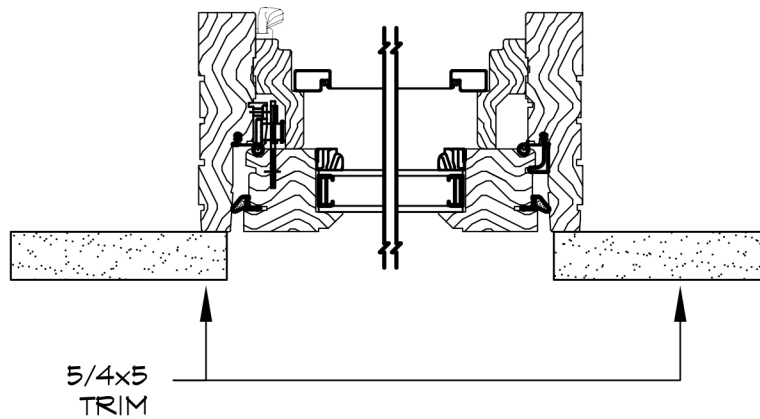
3"=1'-0"



TYPICAL HEAD DETAIL - WINDOW



TYPICAL SILL DETAIL - WINDOW



TYPICAL JAMB DETAIL - WINDOW

323 E. Cabarrus Street Window Details

3"=1'-0"

1703865984
WAGNER-HOLLAND, MARKETTE
323 E CABARRUS ST
RALEIGH NC 27601-1835

1703875102
MCDONALD, ALAN
318 E DAVIE ST
RALEIGH NC 27601

1703866736
RALEIGH CITY OF
PO BOX 590
RALEIGH NC 27602-0590

1703865639
BEGINNING & BEYOND CHILD DEVEL
CNTR INC
322 E CABARRUS ST
RALEIGH NC 27601-1836

1703874096
WOOD PILE LLC THE
133 FAYETTEVILLE ST FL 6
RALEIGH NC 27601-1356

1703876028
418 SOUTH BLOODWORTH STREET LLC
ATTN: EMPIRE PROPERTIES
133 FAYETTEVILLE ST FL 6
RALEIGH NC 27601-1356

1703865943
WILLIAM, MARY ANN MONROE POWELL,
THOMAS EUGENE
321 E CABARRUS ST
RALEIGH NC 27601-1835

1703876121
SMITH, BEVERLY B
3323 ALLEGHANY DR
RALEIGH NC 27609-6903

1703866943
RALEIGH CITY OF
PO BOX 590
RALEIGH NC 27602-0590

1703866947
RALEIGH CITY OF
PO BOX 590
RALEIGH NC 27602-0590

1703864935
RICH-BALLENTINE, EDNA RUTH TRUSTEE
RICH, RHONDA MO...
PO BOX 26252
RALEIGH NC 27611-6252

1703876033
GUESTHOUSE, LLC
215 HAYWOOD ST
RALEIGH NC 27601-1525

1703876040
BETHEL, CRAIG LAWRENCE
422 S BLOODWORTH ST
RALEIGH NC 27601-1946

1703873067
DAVIE STREET PRESBYTERIAN CHURCH,
USA
300 E DAVIE ST
RALEIGH NC 27601-1810

1703865738
MOSS, ISABEL M INGE, JACK
2009 CHICHESTER CT
RALEIGH NC 27615-4422

1703866940
TOMASULO, MATTHEW B ALVAREZ,
NICOLE N
432 S BLOODWORTH ST
RALEIGH NC 27601-1946

1703875022
313 EAST CABARRUS STREET LLC
133 FAYETTEVILLE ST FL 6
RALEIGH NC 27601-1356

1703864798
BARNES, RICHARD J III
318 E CABARRUS ST
RALEIGH NC 27601-1836