



# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

## Project Description:

Changes to previously-approved COA (COA-0173-2022),  
including: extend rear porch roofline

807 W South St

Address

Boylan Heights

Historic District

Historic Property

COA-0149-2024

Certificate Number

11/8/2024

Date of Issue

5/8/2025

Expiration Date

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

*Elin Morton Pugh*

Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*



Type or print the following:		
Applicant name: Sabrina Percher		
Mailing address: 807 W. South Street		
City: Raleigh	State: NC	Zip code: 27603
Date: 7-15-2024	Daytime phone #: 919-798-7003	
Email address: sabrina.percher@gmail.com		
Applicant signature:		
<p>Minor work (staff review) – one copy</p> <p>Major work (COA committee review) – ten copies</p> <p style="padding-left: 40px;">Additions &gt; 25% of building sq. footage</p> <p style="padding-left: 40px;">New buildings</p> <p style="padding-left: 40px;">Demolition of building or structure</p> <p style="padding-left: 40px;">All other</p> <p>Post approval re-review of conditions of approval</p>	<p style="text-align: center;"><b>Office Use Only</b></p> <p>Transaction #: _____</p> <p>File #: <u>COA-0149-2024</u></p> <p>Fee: _____</p> <p>Amount paid: _____</p> <p>Received date: _____</p> <p>Received by: _____</p>	
Property street address: 807 W. South St.		
Historic district: Boylan Heights		
Historic property/Landmark name (if applicable):		
Owner name: Sabrina Percher and Aram Amassian		
Owner mailing address: 807 W. South Street Raleigh, NC 27603		

<p><b>For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.</b></p>	
Property Owner Name & Address	Property Owner Name & Address



I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Office Use Only Type of work: <u>89</u>
Did you consult with staff prior to filing the application? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

Design Guidelines: please cite the applicable sections of the design guidelines ( <a href="http://www.rhdc.org">www.rhdc.org</a> ).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).
		EXTEND NEWLY CONSTRUCTED AND PREVIOUSLY APPROVED ROOF <small>Construction stalled due to death of General Contractor. Updated drawings with revisions during construction to previously approved COA-0173-2022</small> OVER ENTIRE DECK AT THE REAR WEST ELEVATION.

<p align="center"><b>Minor Work Approval (office use only)</b></p> <p>Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>05/08/2025</u>.</p> <p>Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.</p> <p>Signature (City of Raleigh) <u><i>Erin Morth Pugh</i></u> Date <u>11/08/2024</u></p>
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807 W. South Street in Historic Boylan Heights

July 15, 2024 rev 6 November 7, 2024

Submitted by Brooke Tate, Maurer Architecture

COA Minor Works Application Summary of Work for original approved COA-0173-2022

The changes to approved COA-0173-2022 are simply to extend the roof over the entire deck instead of a portion of the deck. There will be an two wood 6x6 columns to support the extended roof, and an additional bracket on the rear elevation to match the adjacent brackets. The roof slope will match the existing main roof slope.

Please see attached revised drawings (Revision 6 dated 11-7-2024) outlining changes.

Below is a phot during construction of the area being affected:

















PROJECT TYPE:

ADDITION & RENOVATION TO 807 W. SOUTH STREET IN  
HISTORIC BOYLAN HEIGHTS, RALEIGH, NC.

CONTACT INFORMATION

PROPERTY OWNER/CLIENT  
SABRINA PERCHER AND ARAM AMASSIAN  
807 W. SOUTH STREET  
RALEIGH, NC 27603  
SABRINA.PERCHER@GMAIL.COM  
ARAM.AMASSIAN@GMAIL.COM  
919.798.7003


ARCHITECT  
MAURER ARCHITECTURE  
115 1/2 E. HARGETT ST  
RALEIGH, NC 27601  
CONTACT: BROOKE TATE  
PHONE: 919-829-4969  
EMAIL: BROOKE@MAURERARCHITECTURE.COM

STRUCTURAL ENGINEER  
BENJAMIN OKE  
2301 STONEHENGE DR. SUITE 202  
RALEIGH, NC 27615  
CONTACT: BEN OKE  
PHONE: 919-916-5290  
EMAIL: BEN@OKENICHOLS.COM

GENERAL CONTRACTOR  
MATT SCHUMANN  
PHONE: 919-427-0785  
EMAIL: MSGC7403@ROCKETMAIL.COM

-SHEET INDEX-

SK 0.0	COVER SHEET
SK 0.1	BUILT AREA/MASS DIAGRAMS
SK 0.2	TREE PROTECTION PLAN
SK 0.3	SITE PLANS
SK 0.4	PERSEPCTIVE DRAWINGS
SK 0.5	AREA PLANS
SK 1.0	PROPOSED FLOOR PLANS
SK 1.2	PROPOSED ROOF PLAN, SECTION, DETAILS
SK 1.3	PROPOSED ELEVATIONS -
SK 1.4	PROPOSED ELEVATIONS
SK 3.0	PROPOSED BUILDING SECTION
SK 4.0	WINDOW SCHEDULE
SK AB1	AS-BUILT PLANS
SK AB2	EXISTING ELEVATIONS
SK D1	DEMOLITION PLANS
SK-D2	DEMOLITION ELEVATIONS-



# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

**Project Description:**

Alterations to previously approved COA-0173-2020 including: alterations to the deck stair orientation; change stucco columns to brick (painted to match existing foundation); and adding a brick retaining wall and steps at covered patio

807 W South St
Address
Boylan Heights
Historic District
Historic Property
COA-0087-2024
Certificate Number
8/30/2024
Date of Issue
2/28/2025
Expiration Date

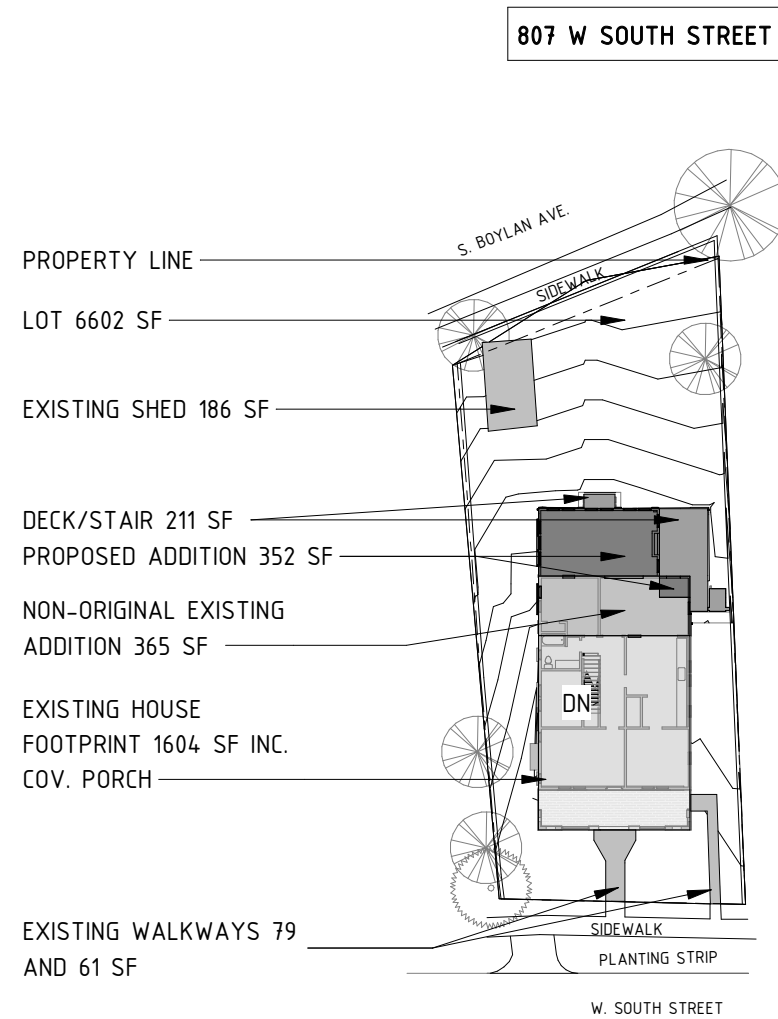
*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, Collette K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.





LOT: 6,602.2 S.F.

EXISTING HOUSE, DECK, COV. PORCH : 1604+340=1944 SF

ORIGINAL HOUSE: 1274 SF  
ORIGINAL OR VERY EARLY SHED: 186 SF

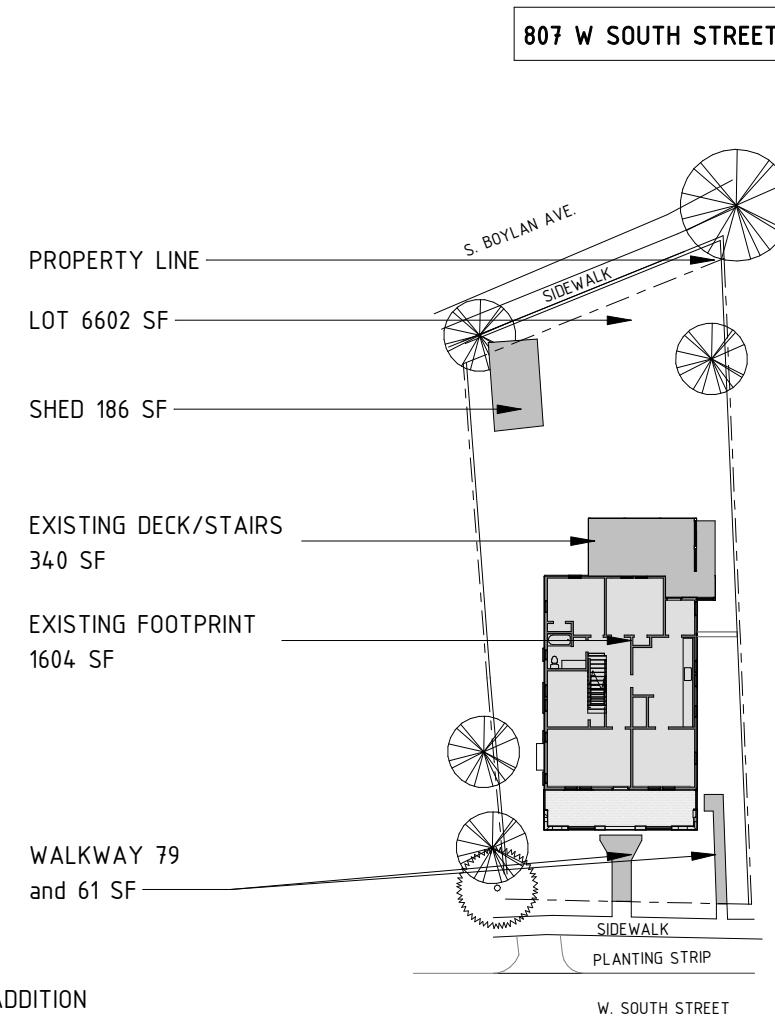
ORIGINAL BUILT MASS: 1274+186=**1460**/6602= **22.1%**  
ORIGINAL BUILT AREA: 1460+79+61=**1600** /6602 = **24.2%**

**PROPOSED BUILT MASS:**  
1604+352+211+186= 2,353 =**35.6%** (13% INCREASE)

**PROPOSED BUILT AREA:**  
1604+352+211+186+79+61= **2493** = **37.8.6%**

ALLOWABLE MAX BUILT MASS 41%: **2543 SF**  
ALLOWABLE MAX BUILT AREA 43%: **2667 SF**

FACT: BUILT AREA AND MASS COMPARISON TO APPROVED ADDITION  
125-17-CA AT 1012 W. CABARRUS STREET IN BOYLAN HEIGHTS:  
1012 W CABARRUS LOT SIZE : 7500F  
BUILT AREA IS 43% 3255 SF INCLUDING ADDITION APPROVED  
BUILT MASS IS 41% 3,063 SF.



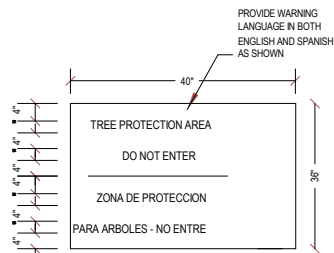
**2** BUILT AREA PLAN - PROPOSED  
SK 0.1 1" = 40'-0"

**1** BUILT AREA PLAN- EXISTING  
SK 0.1 1" = 40'-0"

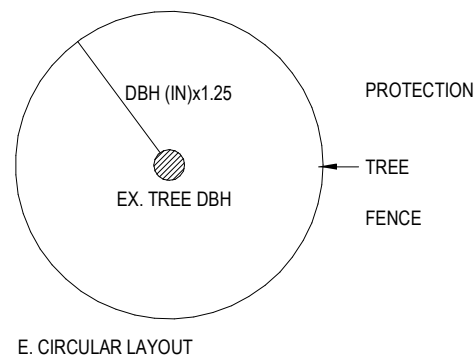


807 W. South Street  
TREE PROTECTION PLAN

WARNING SIGN DETAIL

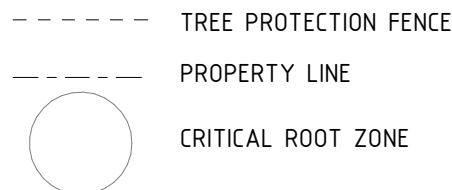


FENCE LAYOUT DETAIL



E. CIRCULAR LAYOUT

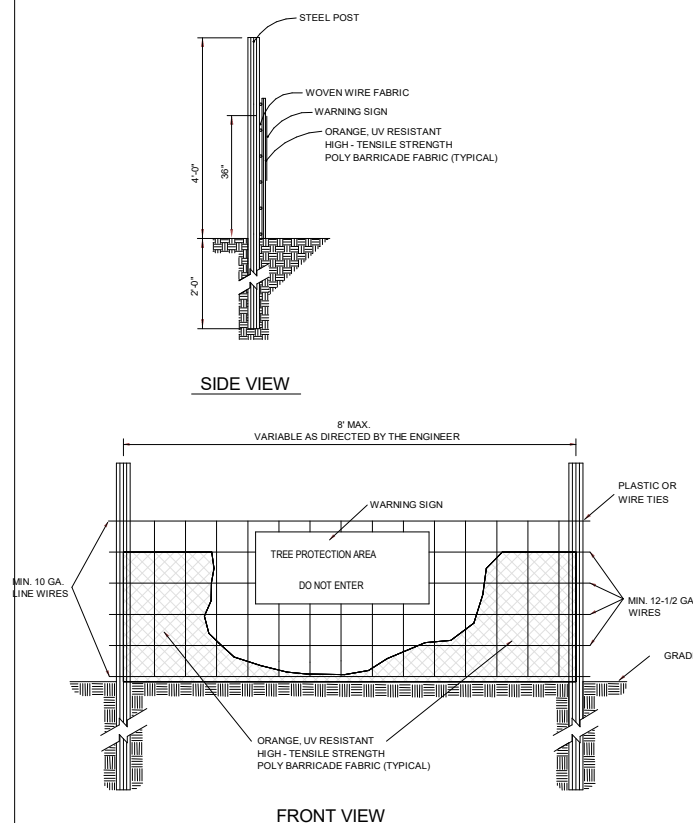
LEGEND



GENERAL NOTES

1. TREE PROTECTION FENCING MUST BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (CRZ) OF TREES. (CRZ DEFINED AS RADIUS X 1.25' (FT) PER INCH AT DBH FROM TRUNK OF TREE, SEE TREE PROTECTION LAYOUT DETAIL)
2. THE TREE PROTECTION FENCING MUST REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE APPROVED BY URBAN FORESTRY STAFF.
3. THERE WILL BE ZERO TOLERANCE FOR STORING OR PARKING VEHICLES, SUPPLIES, OR EQUIPMENT UNDER PROTECTED TREES.
4. APPROVED IMPACT PROTECTION DEVICES MUST BE REMOVED AFTER CONSTRUCTION WHEN APPLICABLE.
5. TREE PROTECTION SIGNS ARE TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL WITH LETTERS A MINIMUM OF 3" HIGH, CLEARLY LEGIBLE AND SPACED AS SHOWN.
6. TREE PROTECTION SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER FOR THE REMAINDER.
7. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTED AREA.
8. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
9. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.

TREE PROTECTION FENCE DETAILS



INSTALL TREE PROTECTION FENCE AT DASHED LINE, TYP. TO PROTECT CRITICAL ROOT ZONE

19.5" DIA. HARDWOOD TREE TO REMAIN  
CRITICAL ROOT ZONE

EXISTING CMU BLOCK RETAINING WALL

28" DIA. WILLOW OAK TREE

SOUTH STREET

PLANTING STRIP

SIDEWALK

EXISTING HOUSE

807 W. SOUTH ST.

PROPOSED ADDITION

CONSTRUCTION ACCESS

14" DIA. WHITE PINE TREE

21" DIA. MAPLE TREE

17" DIA. MAPLE TREE

CRITICAL ROOT ZONE DOES NOT IMPEDE FIRST FLOOR ADDITION- INSTALL TREE PROTECTION FENCE AT DASHED LINE, TYP. TO PROTECT CRITICAL ROOT ZONE AS MUCH AS POSSIBLE WHILE ALLOWING SITE ACCESS- SEE ARBORIST REPORT ON TREATMENT OF GROUND TO PROTECT CRITICAL ROOT ZONE WHERE SITE ACCESS OVERLAPS CRZ

13.5" DIA. ELM TREE

TREE PROTECT. FENCE

PROPERTY LINE



MATERIALS STORAGE/ LAYDOWN AREA

SECONDARY CONSTRUCTION ACCESS/ MATERIALS STORAGE OVER CMU WALL

1

SK 0.2

TREE PROTECTION PLAN

1" = 30'-0"

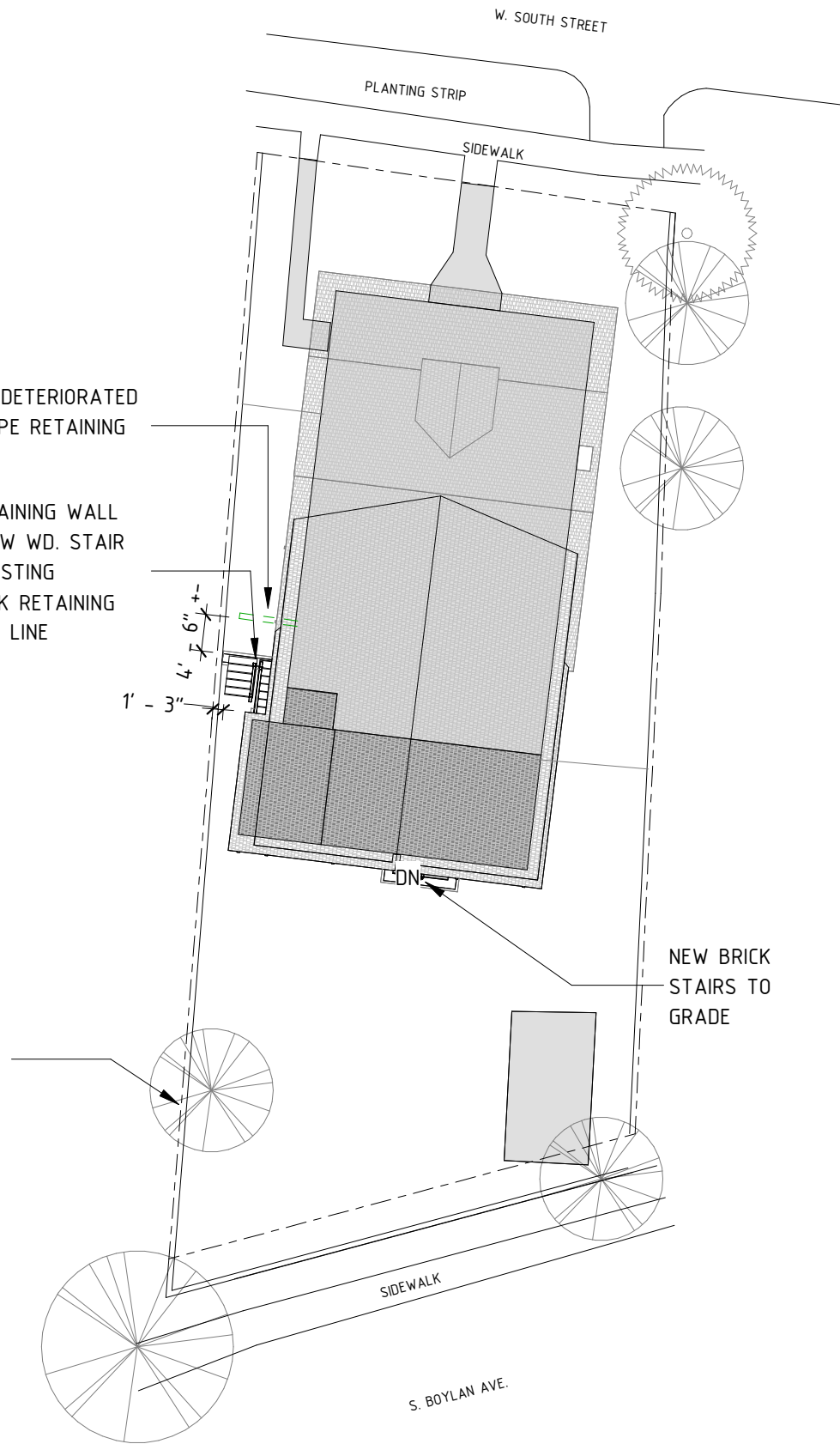


807 W. South Street  
SITE PLANS

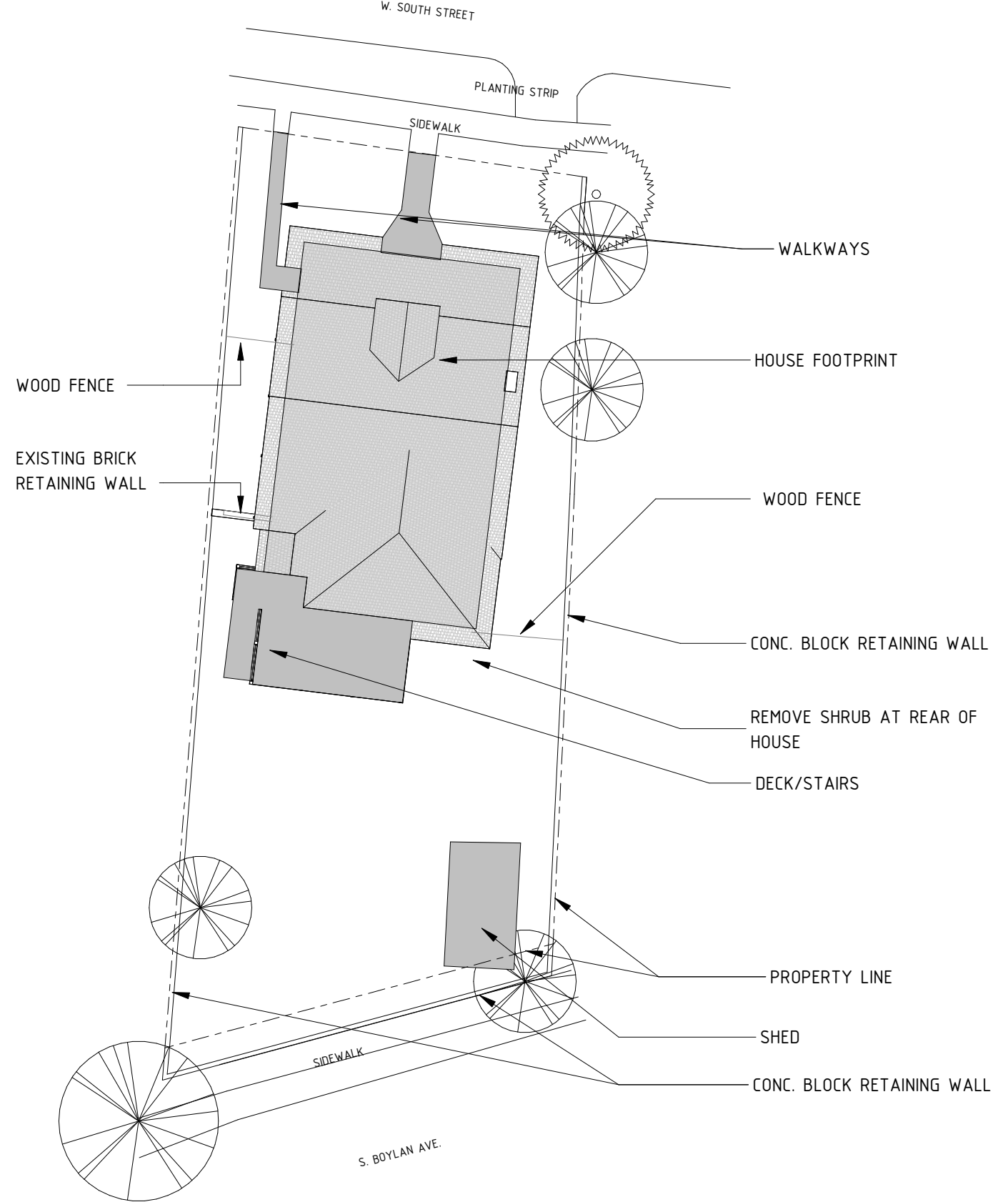
8/14/2024

REV 5: 9-18-24

SK 0.3



2 PROPOSED SITE PLAN  
SK 0.3 1" = 20'-0"



1 EXST'G SITE PLAN-  
SK 0.3 1" = 20'-0"





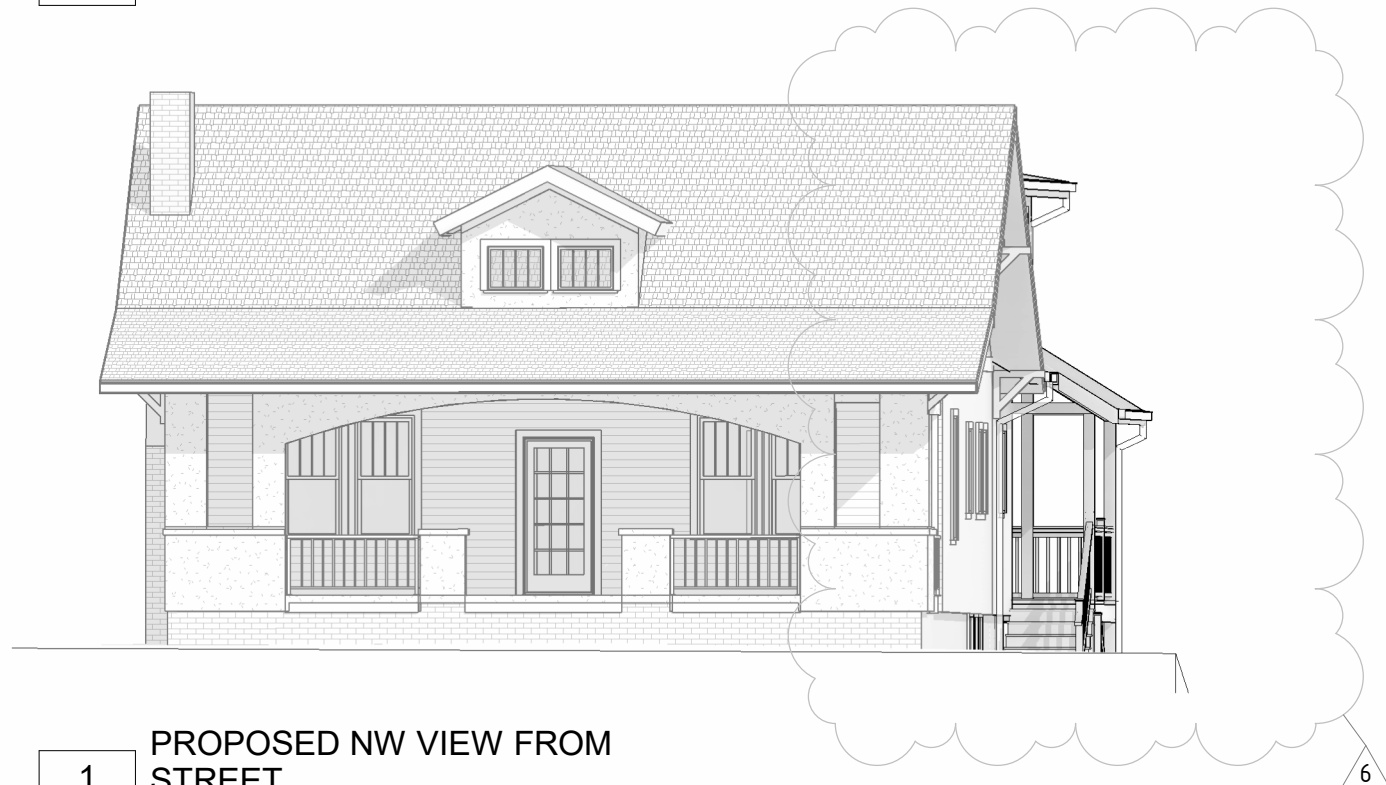
4
PREVIOUSLY APPROVED SE VIEW
SK 0.4



2
PROPOSED SE VIEW FROM BACKYARD
SK 0.4



3
PREVIOUSLY APPROVED NW VIEW
SK 0.4



1
PROPOSED NW VIEW FROM STREET
SK 0.4



EXISTING HEATED: 1,872 SF  
PROPOSED HEATED ADDITION; 2,330 SF  
TOTAL SF HEATED: 4,202 SF

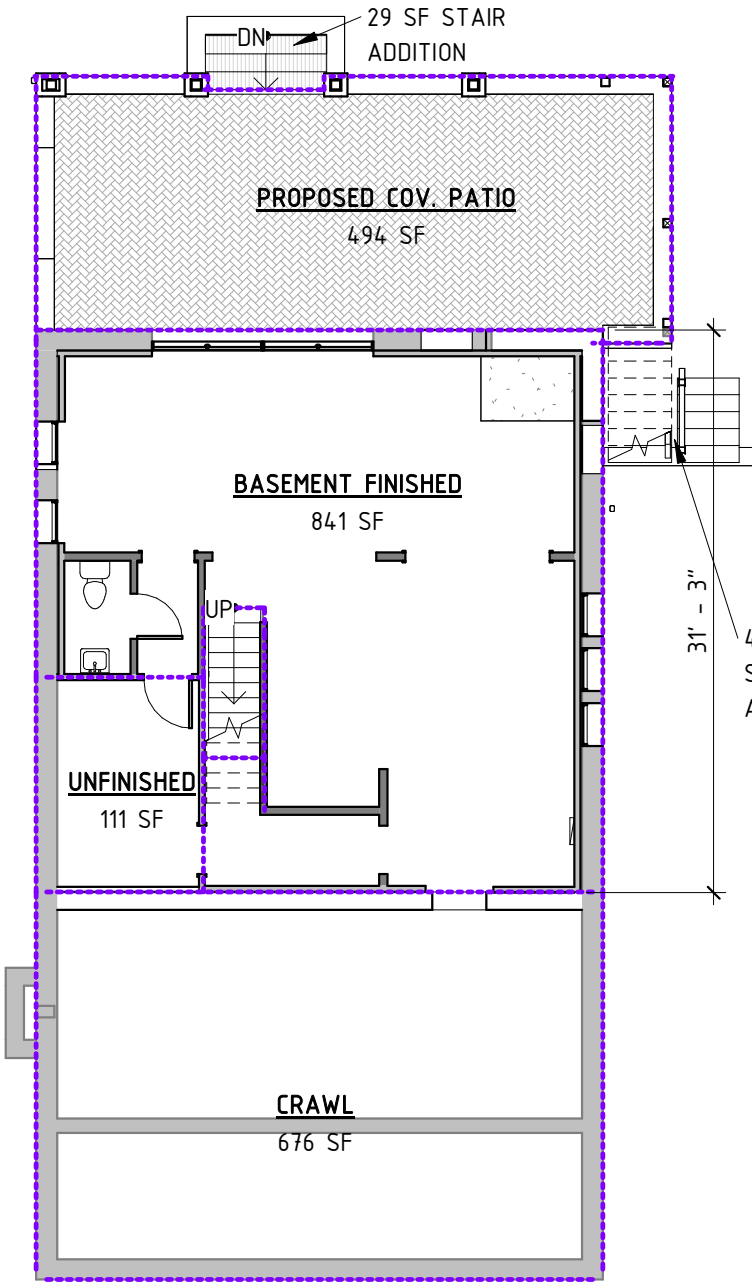
TOTAL BUILDING SIZE UNDER ROOF: 4807 SF

807 W. South Street  
AREA PLANS

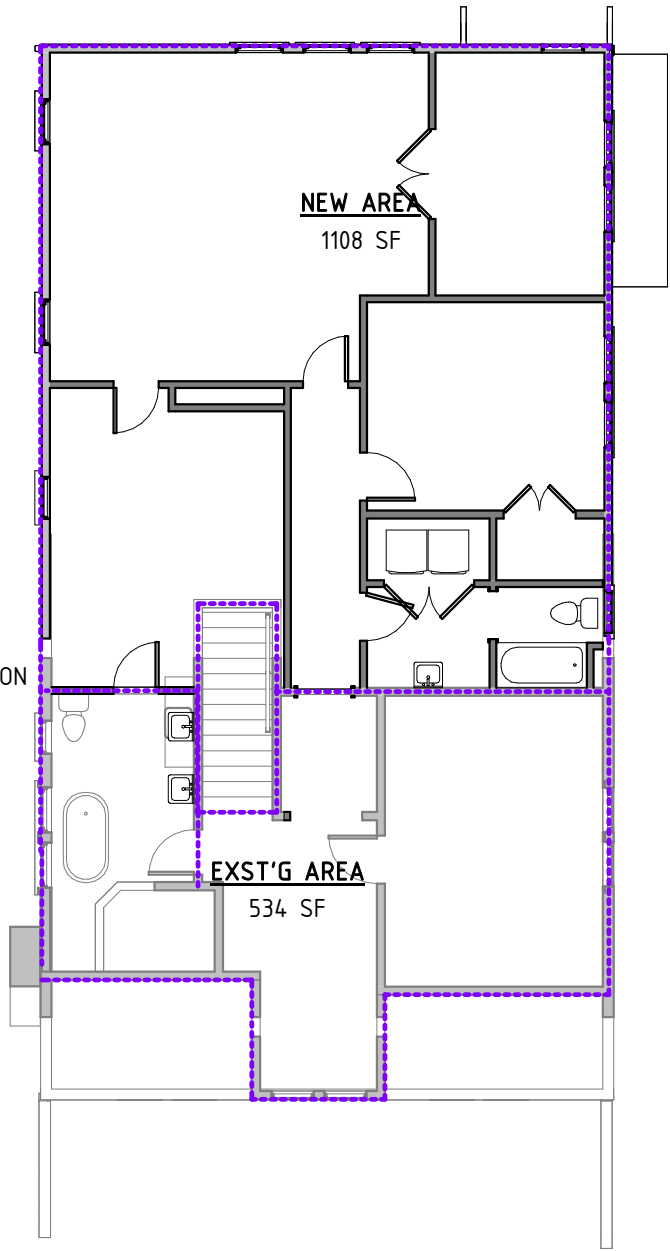
8/14/2024  
REV 5: 9-18-24  
**SK 0.5**

PROPOSED  
BASEMENT FINISHED 841 SF  
UNFINISHED BASEMENT 111 SF

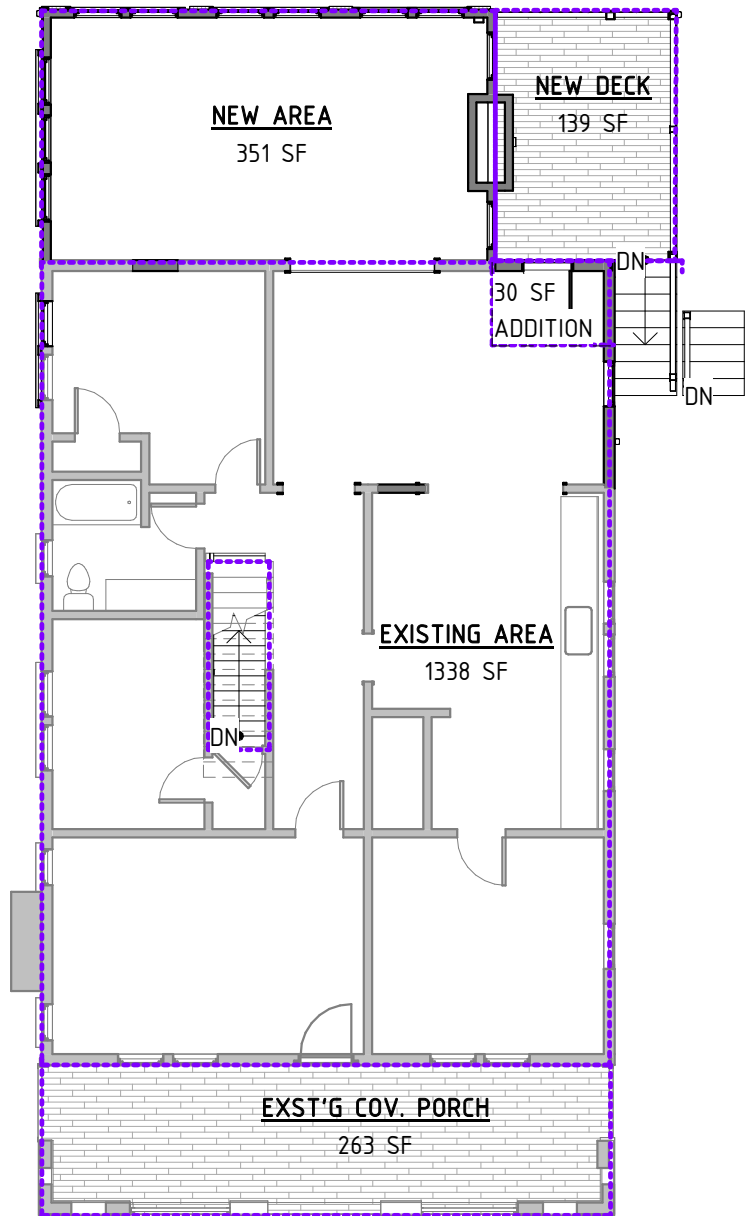
(EXISTING BASEMENT 382 SF  
EXISTING HALL/STAIR 105 SF)



3	<b>BASEMENT</b>
SK 0.5	3/32" = 1'-0"



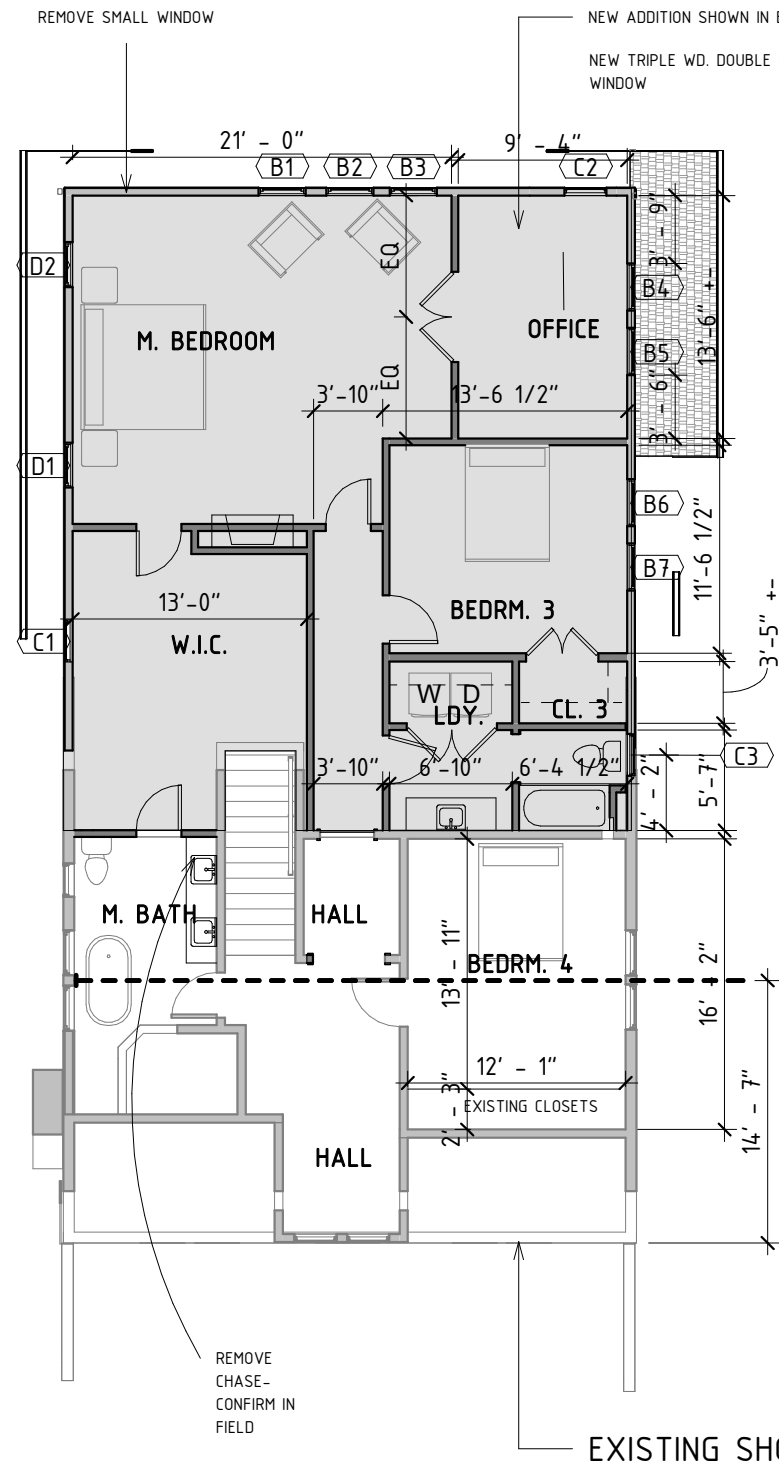
2	<b>SECOND FLOOR</b>
SK 0.5	3/32" = 1'-0"



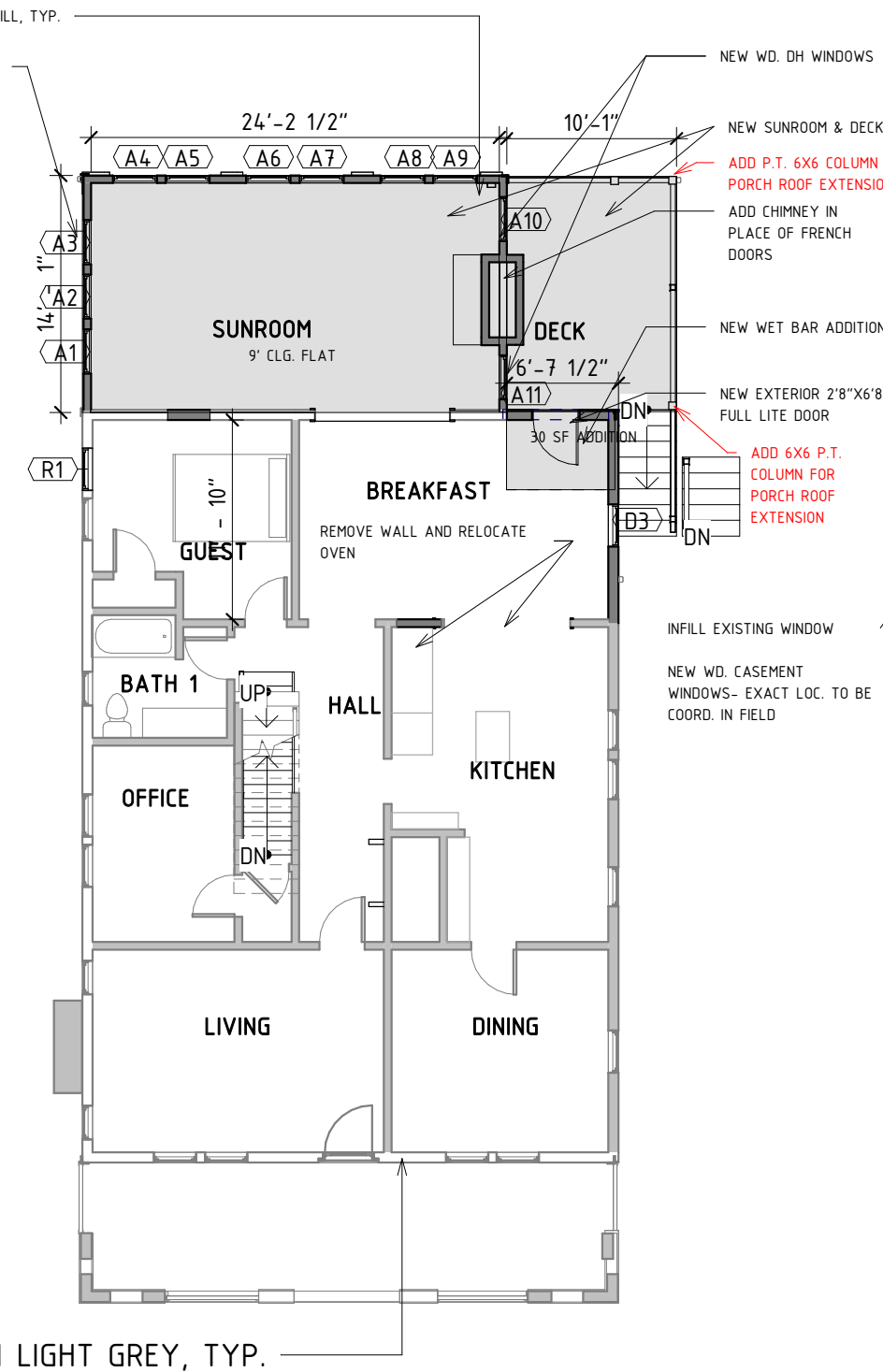
1	<b>FIRST FLOOR</b>
SK 0.5	3/32" = 1'-0"



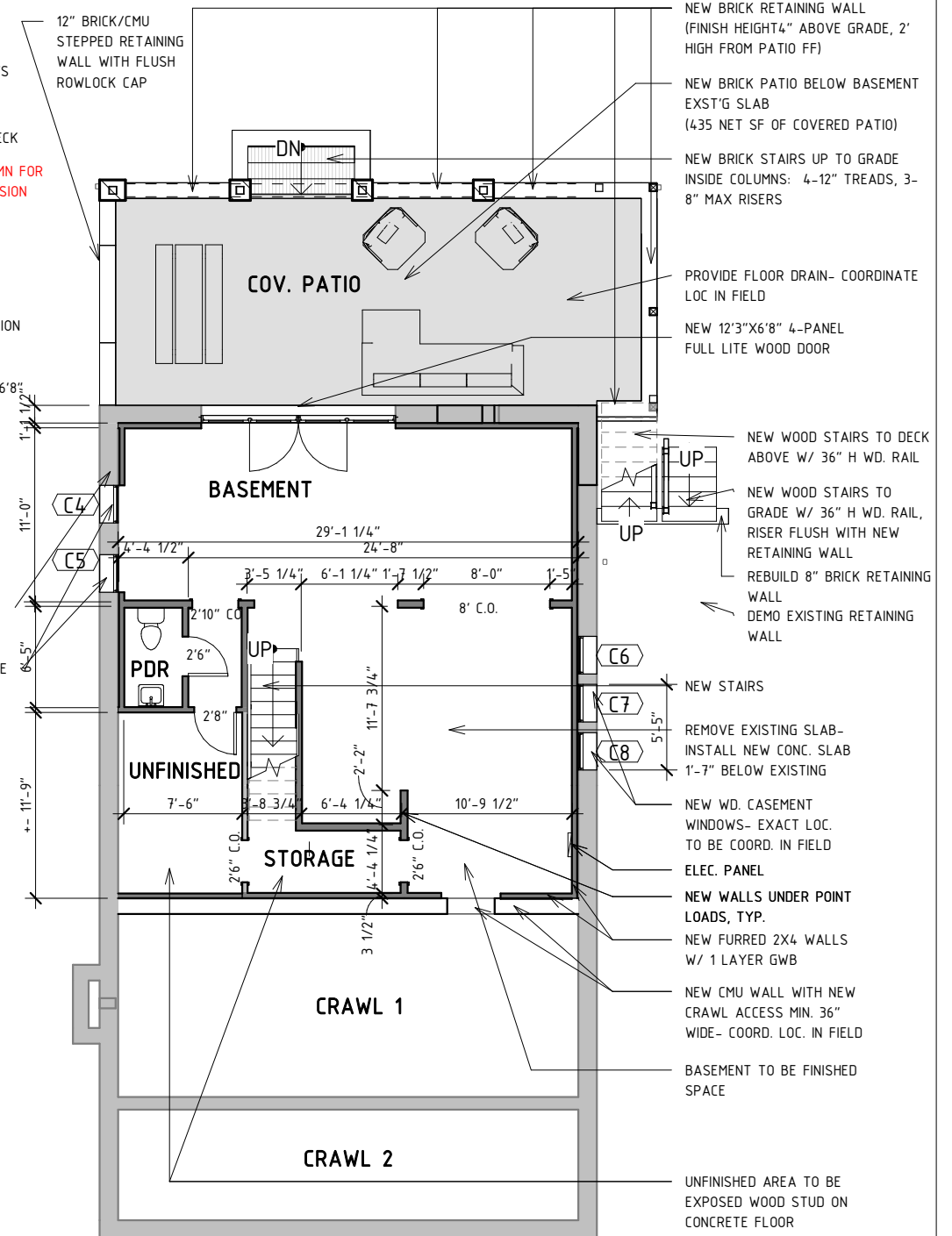
807 W. South Street  
PROPOSED FLOOR PLANS



3 PROPOSED 2ND FLOOR PLAN  
SK 1.0 3/32" = 1'-0"

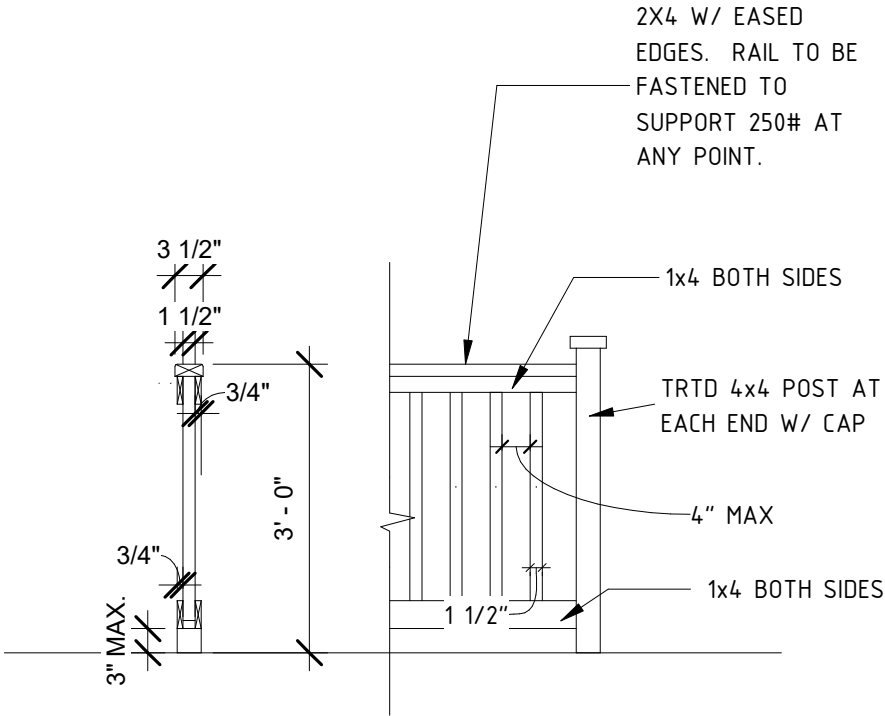


2 PROPOSED MAIN FLOOR PLAN  
SK 1.0 3/32" = 1'-0"



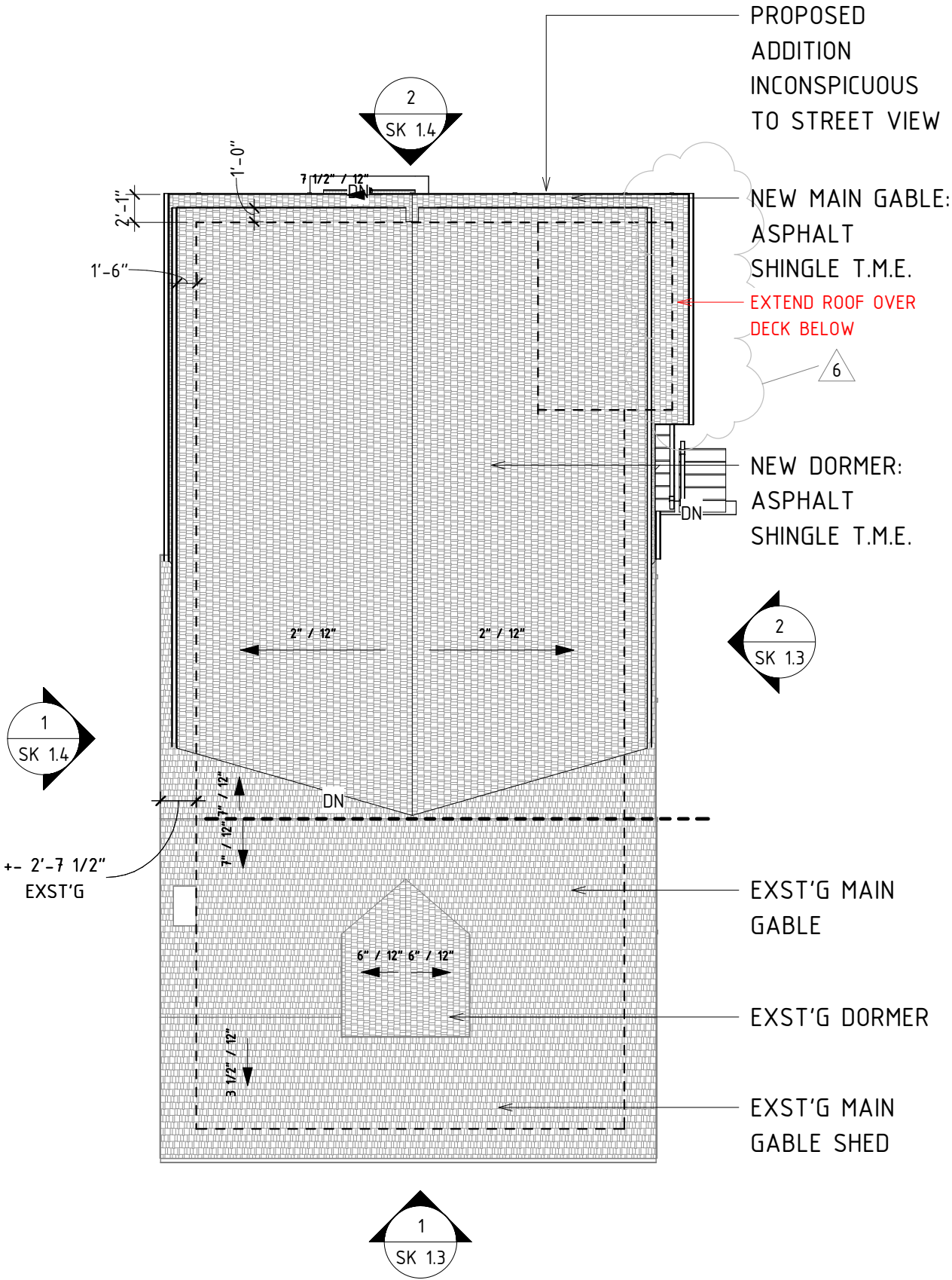
1 PROPOSED BASEMENT PLAN  
SK 1.0 3/32" = 1'-0"





3	RAILING DETAIL
SK 1.2	1/2" = 1'-0"

SEE SHEET S3.0 FOR BUILDING SECTION



1	PROPOSED ROOF PLAN
SK 1.2	3/32" = 1'-0"



EXISTING HOUSE SHOWN IN GRAYSCALE, TYP.

NEW ADDITION SHOWN IN BOLD, TYP.

ROOF BEARING  
+18'

EXPOSED RAFTER TAILS AT DORMER T.M.E.

SECOND FLOOR  
+10'

NEW STUCCO AT UPPER LEVEL ADDITION, TYP.

FIRST FLOOR  
+0'

NEW D.H. WINDOW AT EXST'G NON ORIGINAL WINDOW

EX. BASEMENT  
-7.2'

EXTEND PORCH OVER DECK

ADD WD. BRACKET AT NEW 6X6 P.T. COLUMN

PROPOSED BASEMENT  
-8.8'

ADD DIRECT VENT FIREPLACE & DH WINDOWS ON EACH SIDE

NEW 5" WOOD SIDING AT MAIN LEVEL ADDITION, TYP.

6X6 P.T. COLUMN

AVERAGE GRADE 288.3

NEW WD. CASEMENT  
WINDOWS- EXACT LOC. TO BE  
DETERMINED IN FIELD

INFILL EXISTING WINDOWS  
NEW WOOD STAIRS TO DECK  
ABOVE W/ 36" H WD. RAIL  
REBUILD 8" BRICK RETAINING  
WALL

STEEL COLUMNS WRAPPED IN BRICK PAINTED TO  
MATCH EXISTING FOUNDATION BEYOND

NEW P.T. 6X6 WD. POSTS

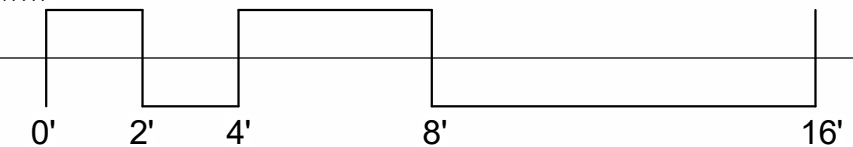
12" BRICK/CMU STEPPED RETAINING WALL  
BEYOND PAINTED T.M.E.

BRICK/CONCRETE STAIRS TO GRADE ( APPROX 2'  
HIGHER THAN CONC. SLAB. )

BRICK RETAINING WALL PAINTED T.M.E.

NEW BRICK WALL T.M.E. FOUNDATION WALL

NEW WOOD STAIRS TO GRADE W/  
36" H WD. RAIL, RISER FLUSH WITH  
NEW RETAINING WALL



**BUILDING ELEVATION - WEST**  
COA  
2  
SK 1.3 1/8" = 1'-0"



ROOF BEARING  
+18'

SECOND FLOOR  
+10'

FIRST FLOOR  
+0'

EXTEND PORCH OVER DECK AT REAR

REBUILD EXST'G DECK/WOOD STAIR

**BUILDING ELEVATION - NORTH**  
COA  
1  
SK 1.3 1/8" = 1'-0"

8/14/2024

REV6: 11-7-24

SK 1.3



EXISTING HOUSE SHOWN IN GRAYSCALE, TYP.

NEW ADDITION SHOWN IN BOLD, TYP.

ROOF BEARING  
+18'

EXPOSED RAFTER TAILS AT DORMER T.M.E.

SECOND FLOOR  
+10'

NEW STUCCO AT UPPER LEVEL ADDITION, TYP.

FIRST FLOOR  
+0'

NEW D.H. WINDOW AT EXST'G NON ORIGINAL WINDOW

EX. BASEMENT  
-7.2'

ADD DIRECT VENT FIREPLACE & DH WINDOWS ON EACH SIDE

PROPOSED BASEMENT  
-8.8'

NEW 5" WOOD SIDING AT MAIN LEVEL ADDITION, TYP.

AVERAGE GRADE 288.3

NEW WD. CASEMENT  
WINDOWS- EXACT LOC. TO BE  
DETERMINED IN FIELD

INFILL EXISTING WINDOWS  
NEW WOOD STAIRS TO DECK  
ABOVE W/ 36" H WD. RAIL  
REBUILD 8" BRICK RETAINING  
WALL

STEEL COLUMNS WRAPPED IN BRICK PAINTED TO  
MATCH EXISTING FOUNDATION BEYOND

NEW P.T. 6X6 WD. POSTS

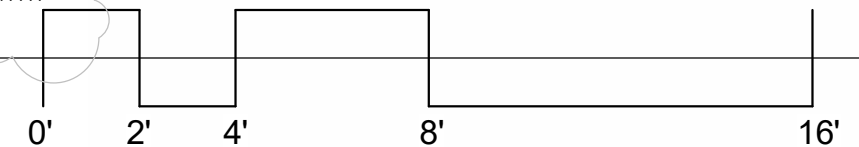
12" BRICK/CMU STEPPED RETAINING WALL  
BEYOND PAINTED T.M.E.

BRICK/CONCRETE STAIRS TO GRADE ( APPROX 2'  
HIGHER THAN CONC. SLAB. )

BRICK RETAINING WALL PAINTED T.M.E.

NEW BRICK WALL T.M.E. FOUNDATION WALL

NEW WOOD STAIRS TO GRADE W/  
36" H WD. RAIL, RISER FLUSH WITH  
NEW RETAINING WALL



BUILDING ELEVATION - WEST  
COA  
1/8" = 1'-0"

2  
SK 1.3

FOR REFERENCE ONLY- TO  
SHOW PREVIOUSLY APPROVED  
ELEVATIONS



ROOF BEARING  
+18'

SECOND FLOOR  
+10'

NO WORK ON FRONT ELEVATION

REBUILD EXST'G DECK/WOOD STAIR

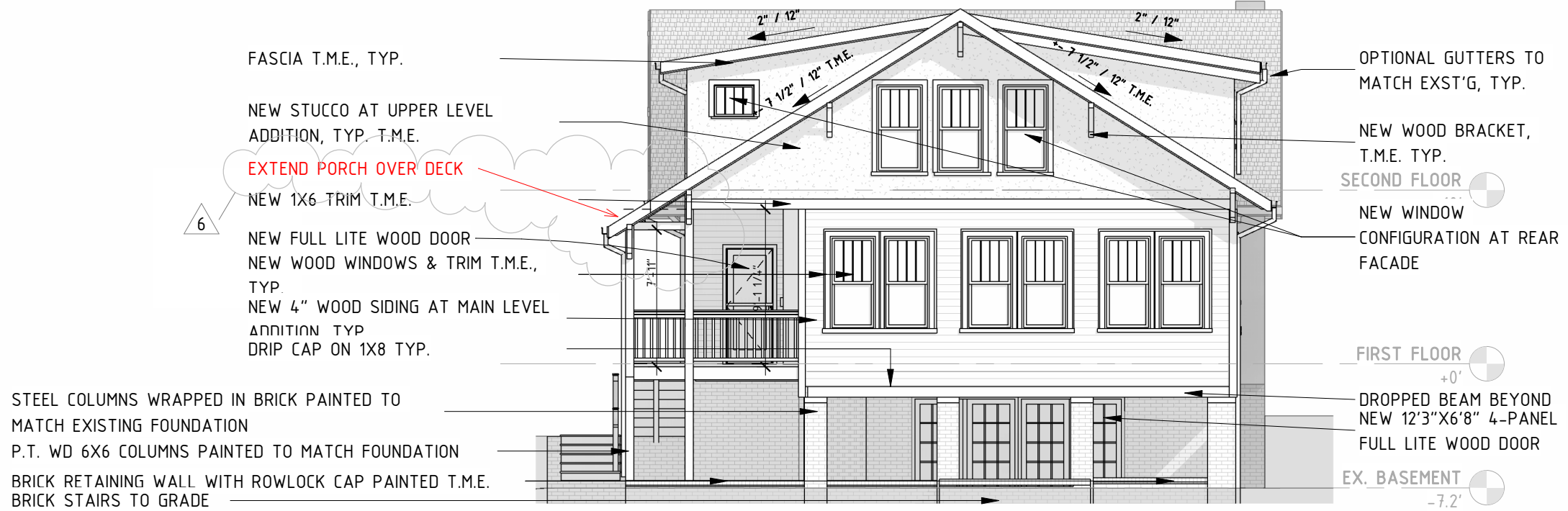
FIRST FLOOR  
+0'

BUILDING ELEVATION - NORTH  
COA

1  
SK 1.3 1/8" = 1'-0"



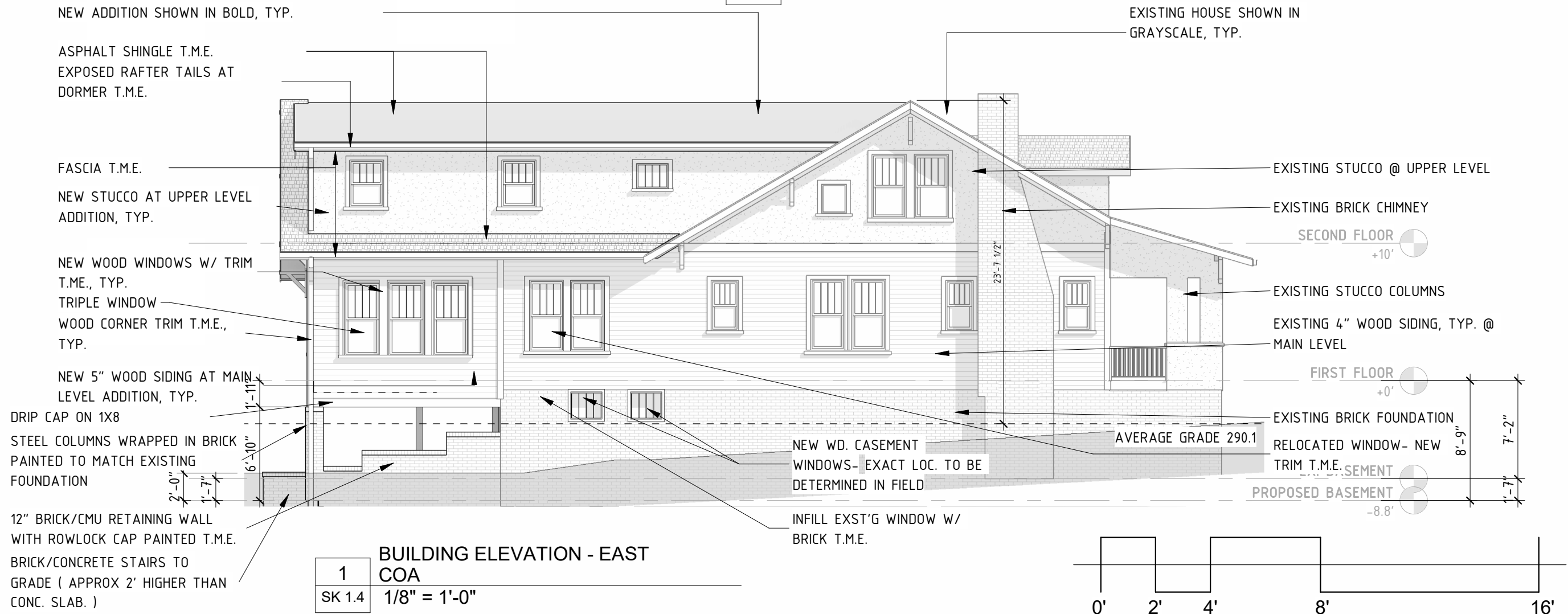
807 W. South Street  
PROPOSED ELEVATIONS



**BUILDING ELEVATION - SOUTH  
COA**

2  
SK 1.4

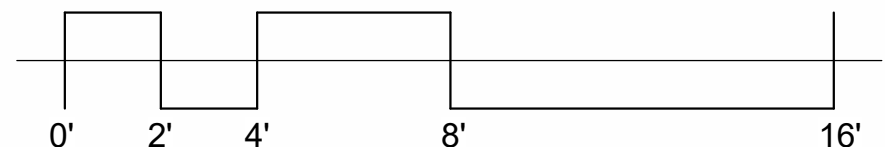
1/8" = 1'-0"



**BUILDING ELEVATION - EAST  
COA**

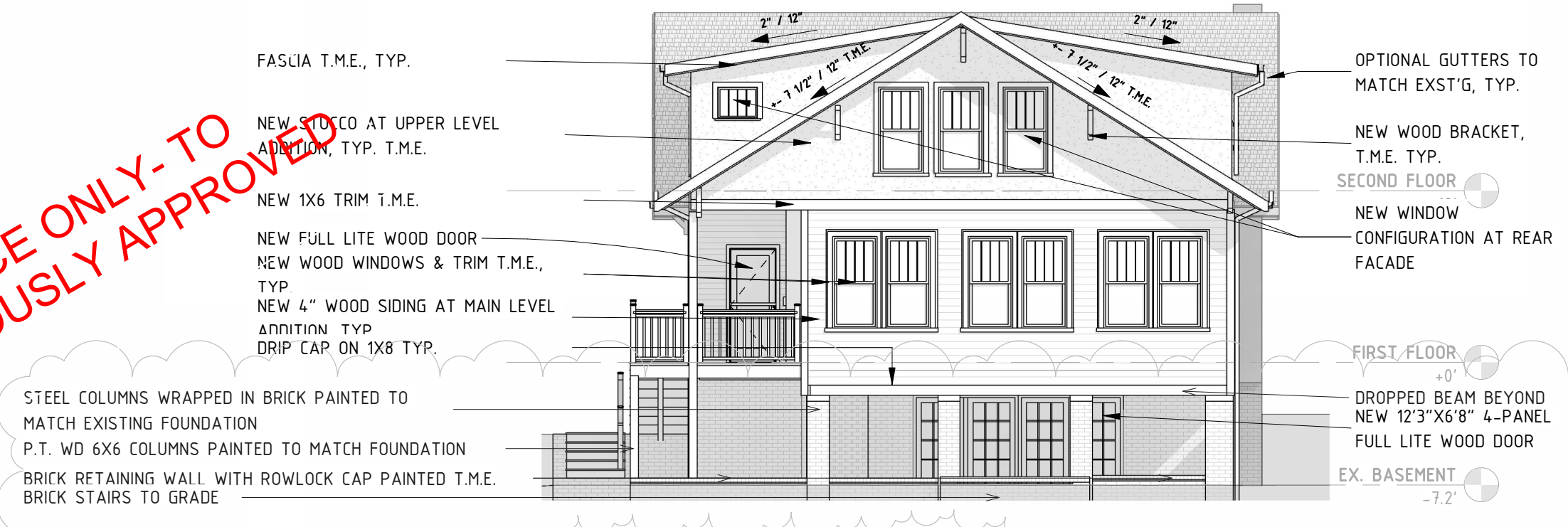
1  
SK 1.4

1/8" = 1'-0"





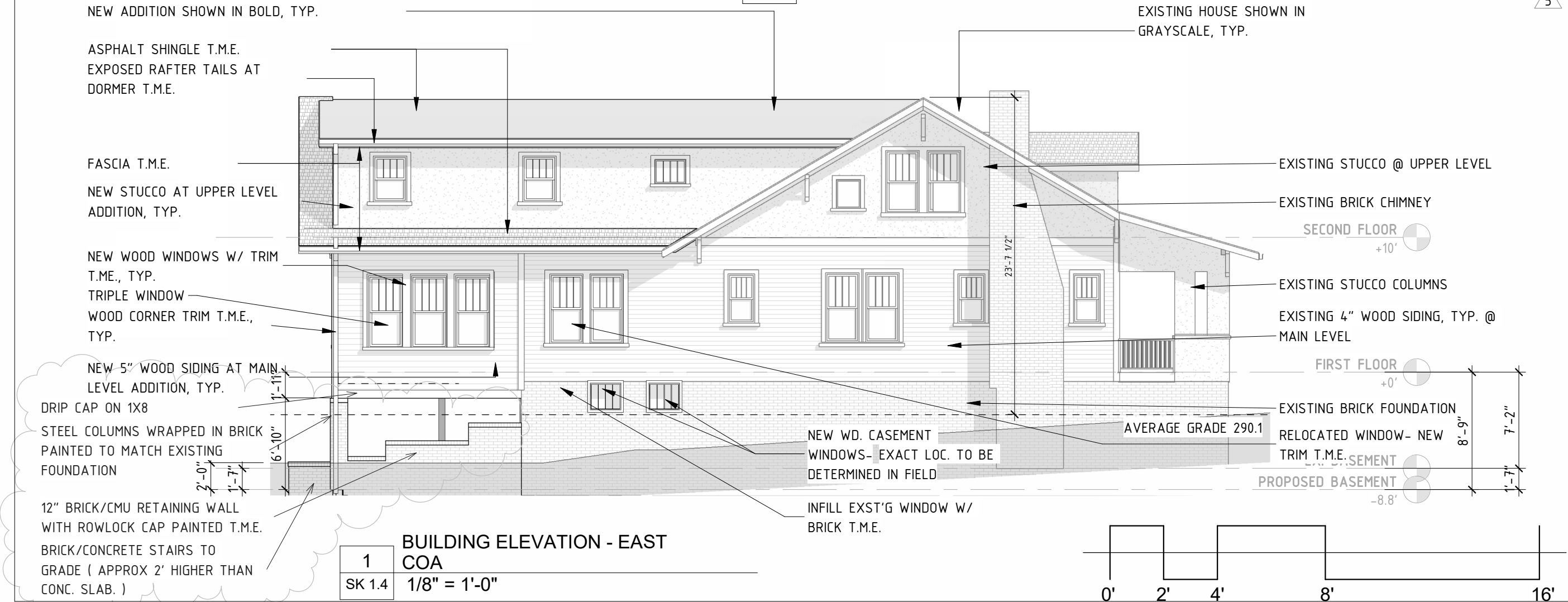
FOR REFERENCE ONLY - TO  
SHOW PREVIOUSLY APPROVED  
ELEVATIONS



BUILDING ELEVATION - SOUTH  
COA

2  
SK 1.4

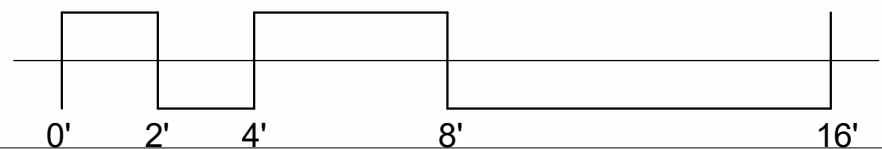
1/8" = 1'-0"



BUILDING ELEVATION - EAST  
COA

1  
SK 1.4

1/8" = 1'-0"





ASPHALT SHINGLES, TYP. ON 3/4"  
PLYWOOD ON 2X8 RAFTERS TYP.

CLOSED CELL FOAM INSULATION  
MIN R-38 (5 1/4")

NEW STUCCO AT UPPER LEVEL  
ADDITION, TYP.

EAVE RAFTERS EXPOSED AT  
DORMERS T.M.E.

ALUM. GUTTER T.M.E.

1X8 WOOD FASCIA, T.M.E. TYP.

SOFFIT T.M.E. PAINTED

BLOCKING BETWEEN RAFTERS

2ND FL WALL CONSTRUCTION:

EXTERIOR PEBBLEDASH STUCCO  
FINISH COAT ON STUCCO BASE COAT  
ON METAL LATH ON AIR INFILTRATION  
BARRIER ON 1/2" EXT. SHEATHING ON  
2X4 STUD WALL W/ INTERIOR SIDE  
VAPOR BARRIER, BATT INSULATION  
R-15 MIN. AND INTERIOR 1/2" GWB

MAIN FL. WALL CONSTRUCTION:

EXTERIOR 5" EXP. WOOD SIDING ON  
AIR INFILTRATION BARRIER ON 1/2"  
EXT. SHEATHING ON 2X4 STUD WALL  
W/ INTERIOR SIDE VAPOR BARRIER,  
BATT INSULATION R-15 MIN. AND  
INTERIOR 1/2" GWB

FIBERGLASS INSULATION @  
RIM JOIST, TYP.

FINISH GRADE, SLOPE 1/2"  
PER 1' AWAY FROM HOUSE

FILTER FABRIC  
GRAVEL FILL  
FOUNDATION DRAIN, TYP.

CONTINUOUS CONCRETE FOOTING

(3) 1.75" X 16" RIDGE BEAM WRAPPED  
W/ STAINED GRADE WD. OR GWB-  
COORD. W/ OWNER

3/4" T&G PLYWOOD ON FLOOR  
FRAMING- SEE STRUCTURAL  
FRAMING PLAN FOR SIZE AND  
SPACING

3/4" T&G PLYWOOD ON FLOOR  
FRAMING- SEE STRUCTURAL  
FRAMING PLAN FOR SIZE AND  
SPACING

DROPPED BEAM  
12" BRICK/CMU  
RETAINING WALL WITH  
ROWLOCK CAP ON  
CONT. CONC FTG. -SEE  
STRUCTURAL

STEEL COLUMNS  
WRAPPED WITH  
4" BRICK

DROPPED BEAM

TOP OF PATIO SLAB  
FLUSH FF THIS END

2 1/4" X 4" X 8" BRICK PAVER ON 1 1/2"  
SAND BED ON COMPACTED GRAVEL MIN. 4"  
SLOPED TO DRAIN

COORDINATE SOFFITS FOR  
HVAC IN FIELD

SECOND FLOOR  
+10'

FIRST FLOOR  
+0'

PROPOSED BASEMENT  
-8.8'

1 BUILDING SECTION  
SK 3.0 1/4" = 1'-0"

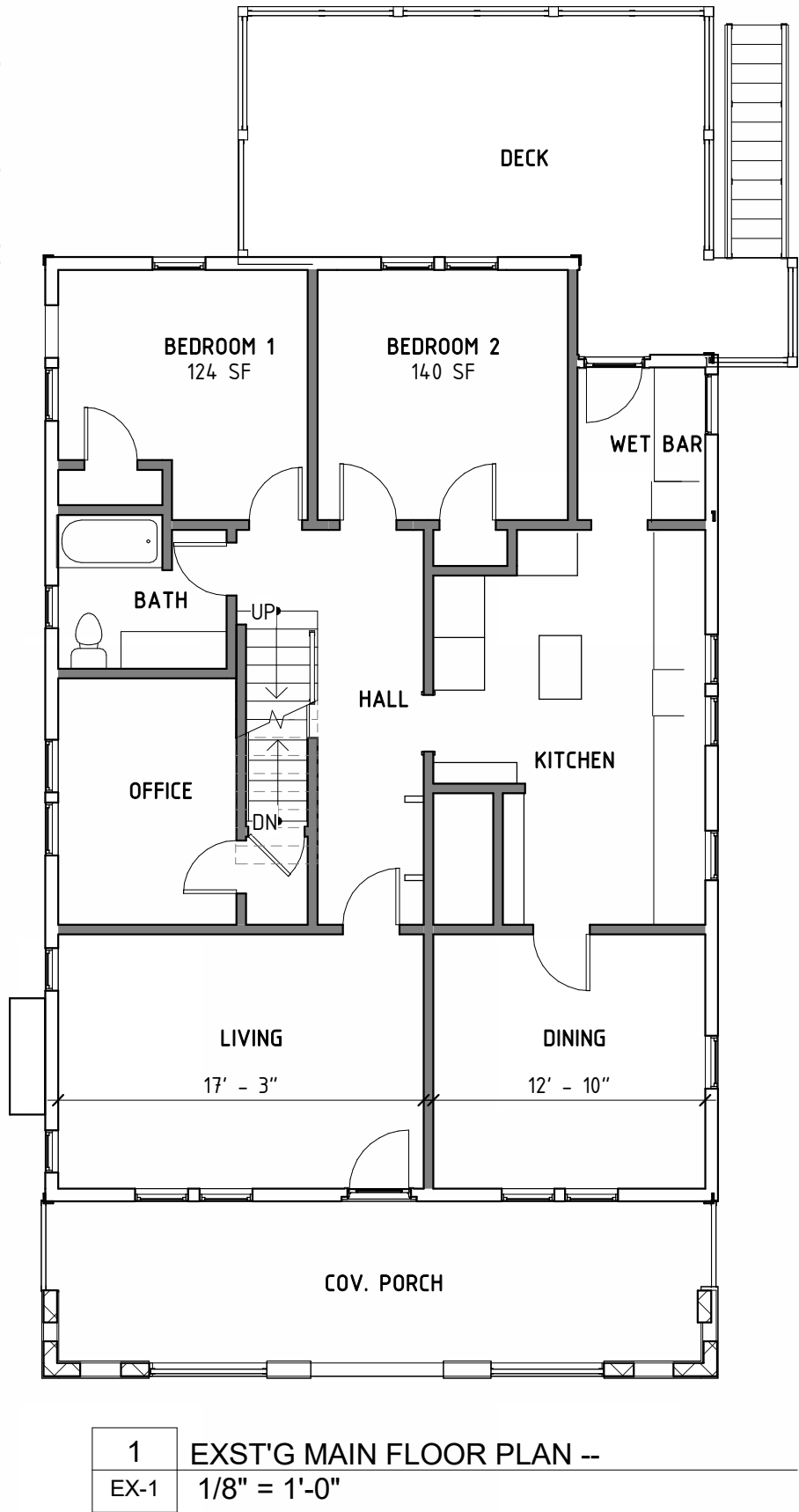
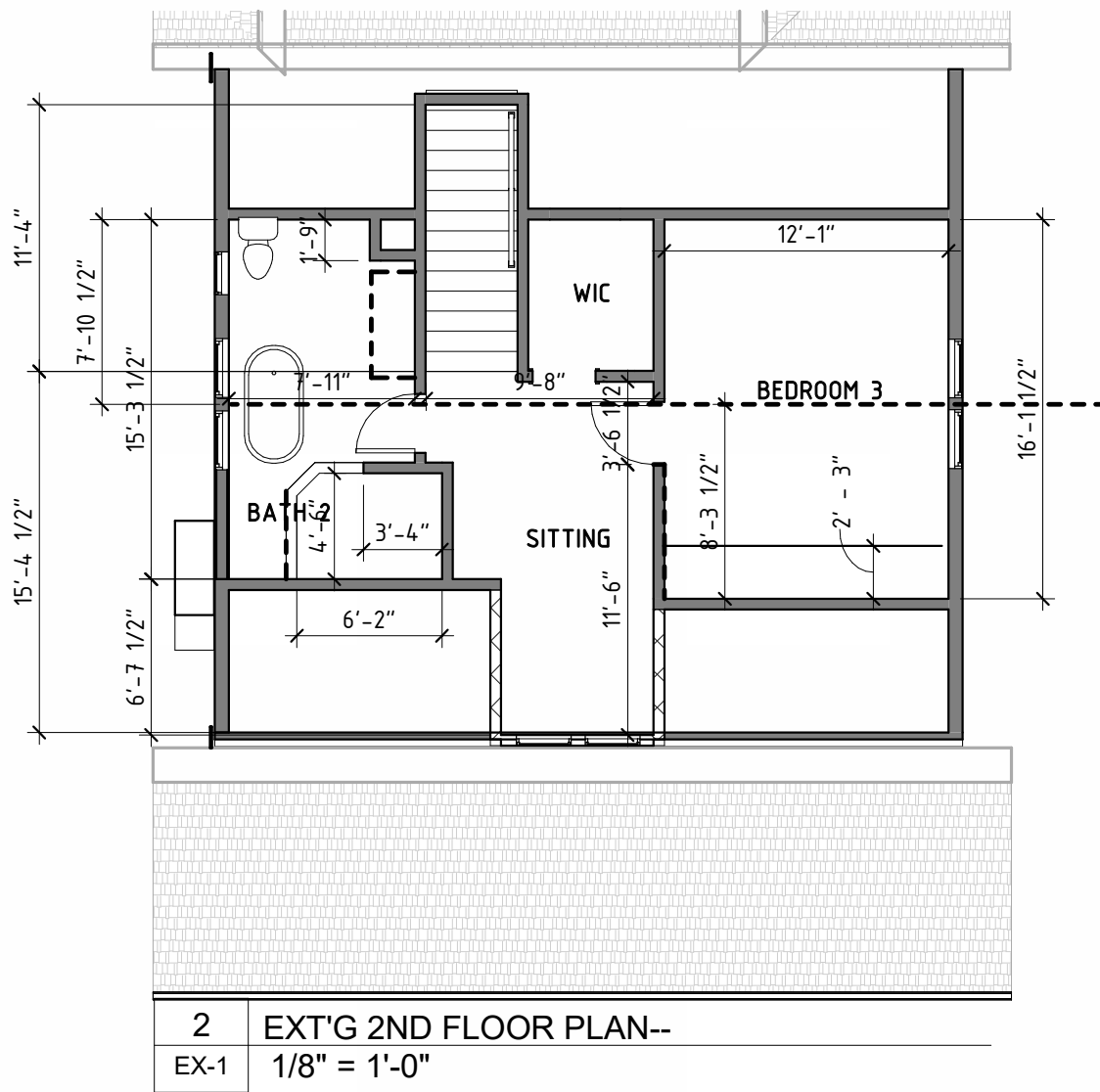
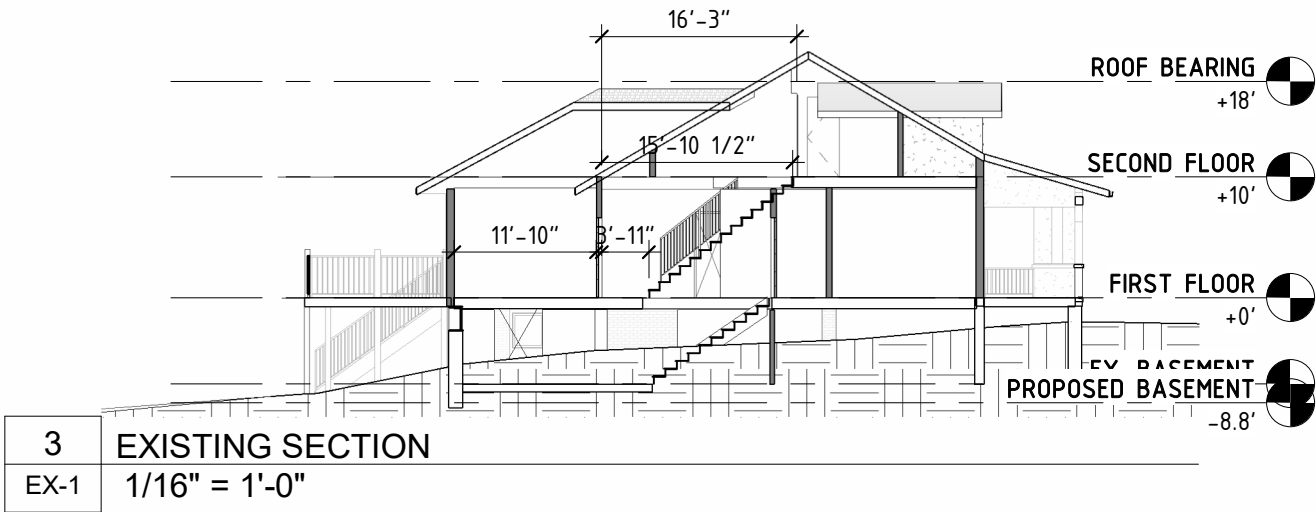


WINDOW SCHEDULE					
Mark	OPENING		SILL HEIGHT	MANF	NOTES
	W	HT			
A1	2' - 7 3/8"	5' - 4 1/2"	1' - 10"	LINCOLN	WOOD WINDOW DH
A2	2' - 7 3/8"	5' - 4 1/2"	1' - 10"	LINCOLN	WOOD WINDOW DH
A3	2' - 7 3/8"	5' - 4 1/2"	1' - 10"	LINCOLN	
A4	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A5	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A6	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A7	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A8	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A9	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A10	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
A11	2' - 7 3/8"	5' - 4 1/2"	2' - 0"	LINCOLN	WOOD WINDOW DH
B1	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH
B2	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH
B3	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH EGRESS
B4	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH
B5	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH EGRESS
B6	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH EGRESS
B7	2' - 7 3/8"	5' - 0 1/2"	1' - 0 1/2"	LINCOLN	WOOD WINDOW DH
C1	2' - 4"	1' - 10"	4' - 0"	LINCOLN	WOOD CASEMENT
C2	2' - 4"	1' - 10"	4' - 3"	LINCOLN	WOOD CASEMENT
C3	2' - 4"	1' - 10"	4' - 3"	LINCOLN	WOOD CASEMENT
C4	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
C5	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
C6	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
C7	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
C8	2' - 4 1/2"	2' - 1"	4' - 4"	LINCOLN	WOOD CASEMENT
D1	2' - 5 7/8"	3' - 5"	2' - 8"	LNCOLN	WOOD WINDOW DH
D2	2' - 5 7/8"	3' - 5"	2' - 8"	LNCOLN	WOOD WINDOW DH
D3	2' - 5 7/8"	3' - 5"	3' - 7"	LNCOLN	WOOD WINDOW DH
R1	2' - 6"	5' - 2"	2' - 2"	N/A	RELOCATED WINDOW

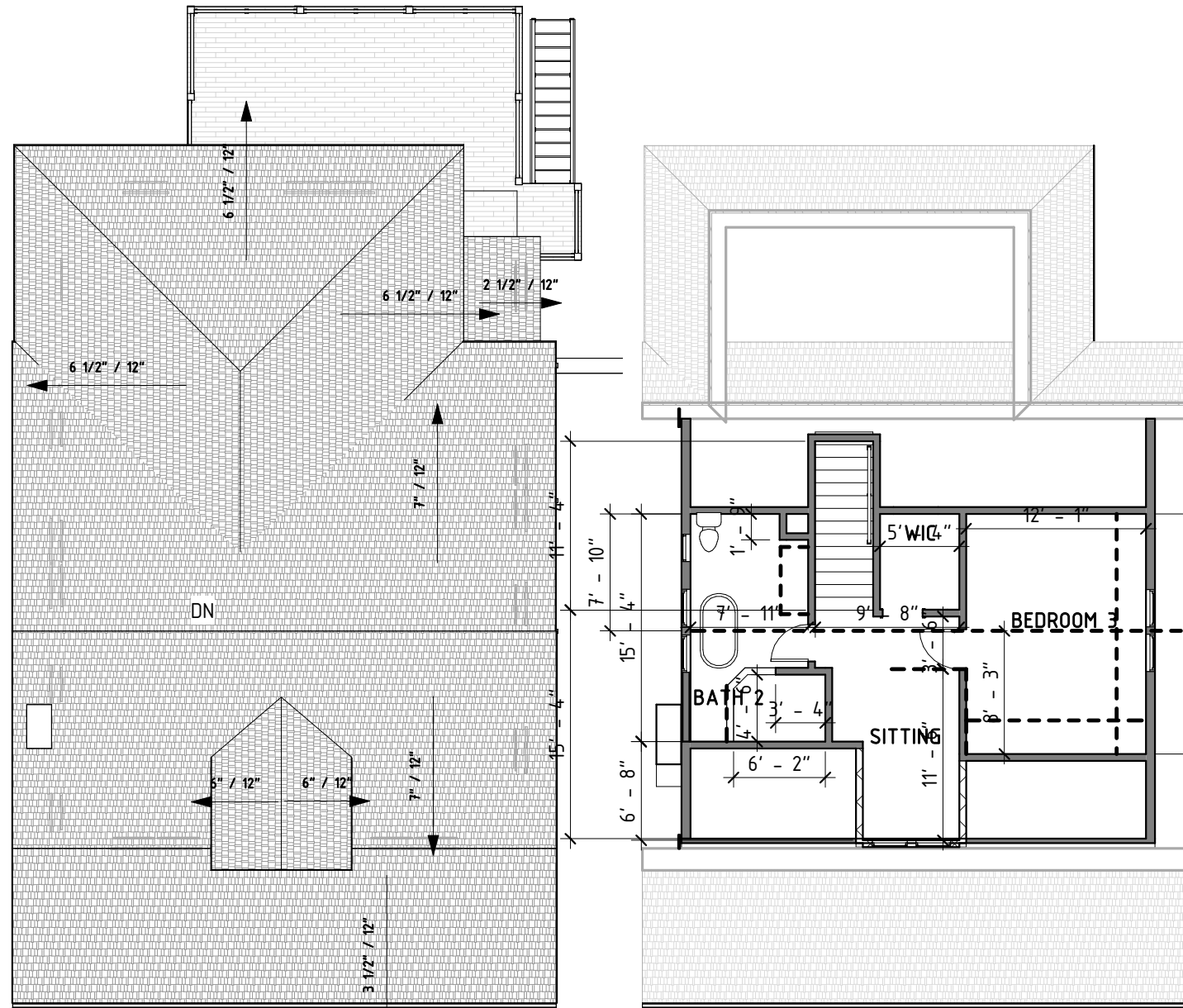
ALL WINDOWS TO BE WOOD WITH WOOD 4.5" WIDE TRIM AND 2" PVC PROJECTED SILL



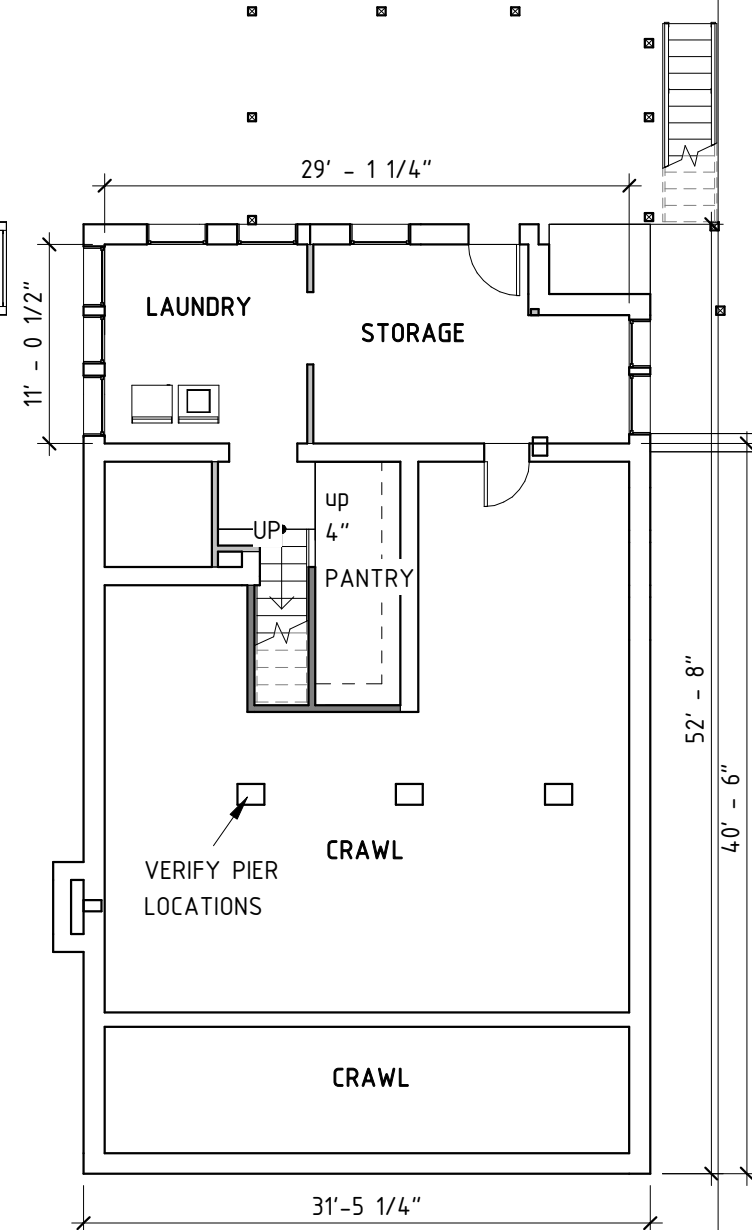
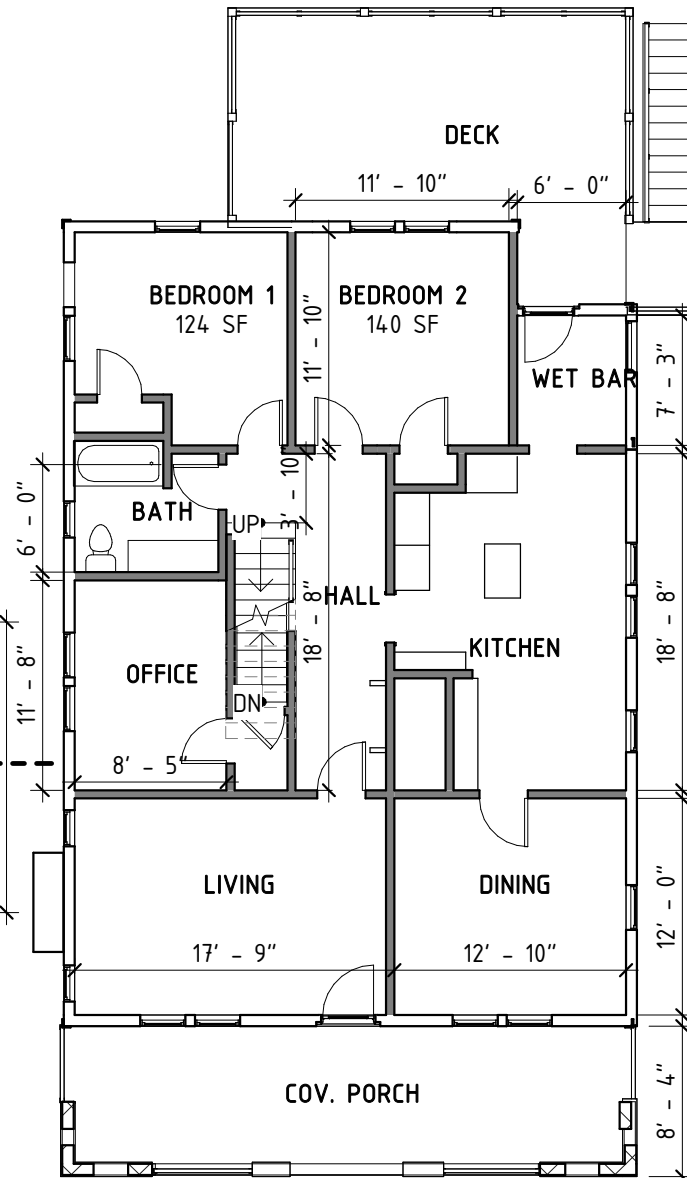
NOTES  
· ALL DIMENSIONS TO BE VERIFIED IN FIELD.







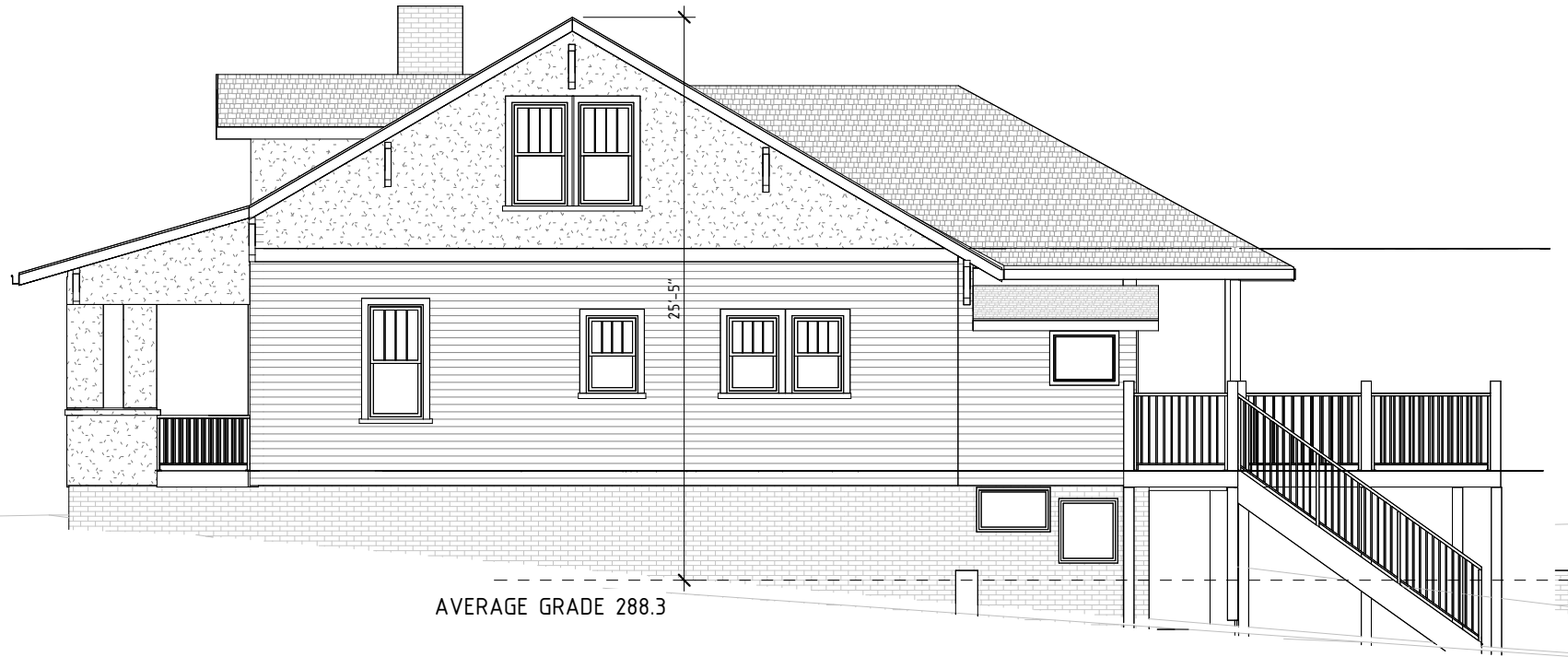
Floor plan of the first floor of a house. The plan shows a front porch leading into a sitting area (11' x 11') and a kitchen (6' x 2'). The kitchen is adjacent to a bathroom (7' x 11') which contains a toilet and a bathtub. A central staircase leads up. To the right of the staircase is a bedroom (12' x 11') and a sitting area (5' x 8'). The overall dimensions of the house are 24' x 24'.



8/14/2024  
REV 5: 9-18-24  
SK AB1



807 W. South Street  
EXISTING ELEVATIONS



4 W. ELEVATION - EXISTING  
SK AB2 1/8" = 1'-0"



3 S. ELEVATION - EXISTING  
SK AB2 1/8" = 1'-0"



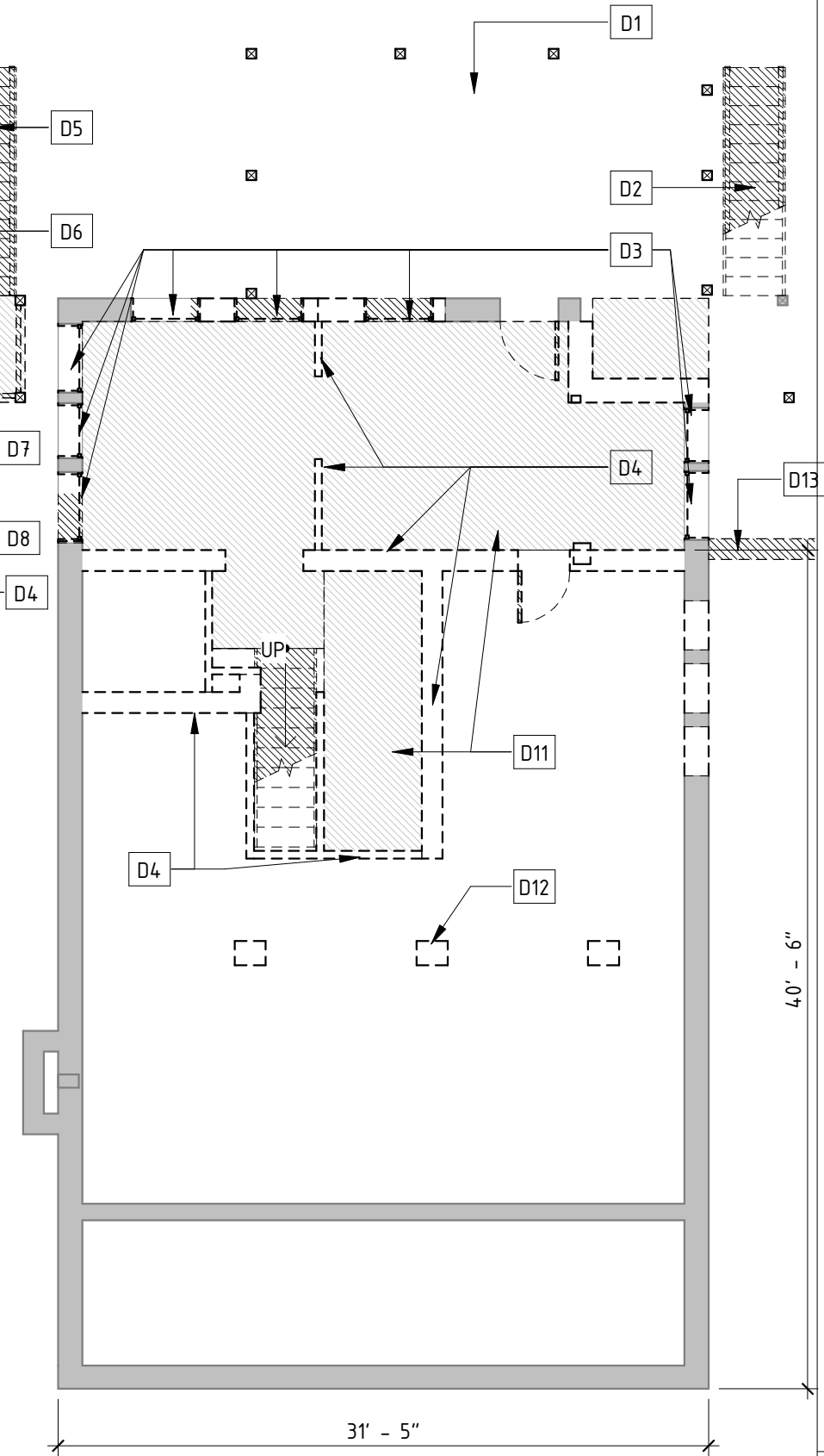
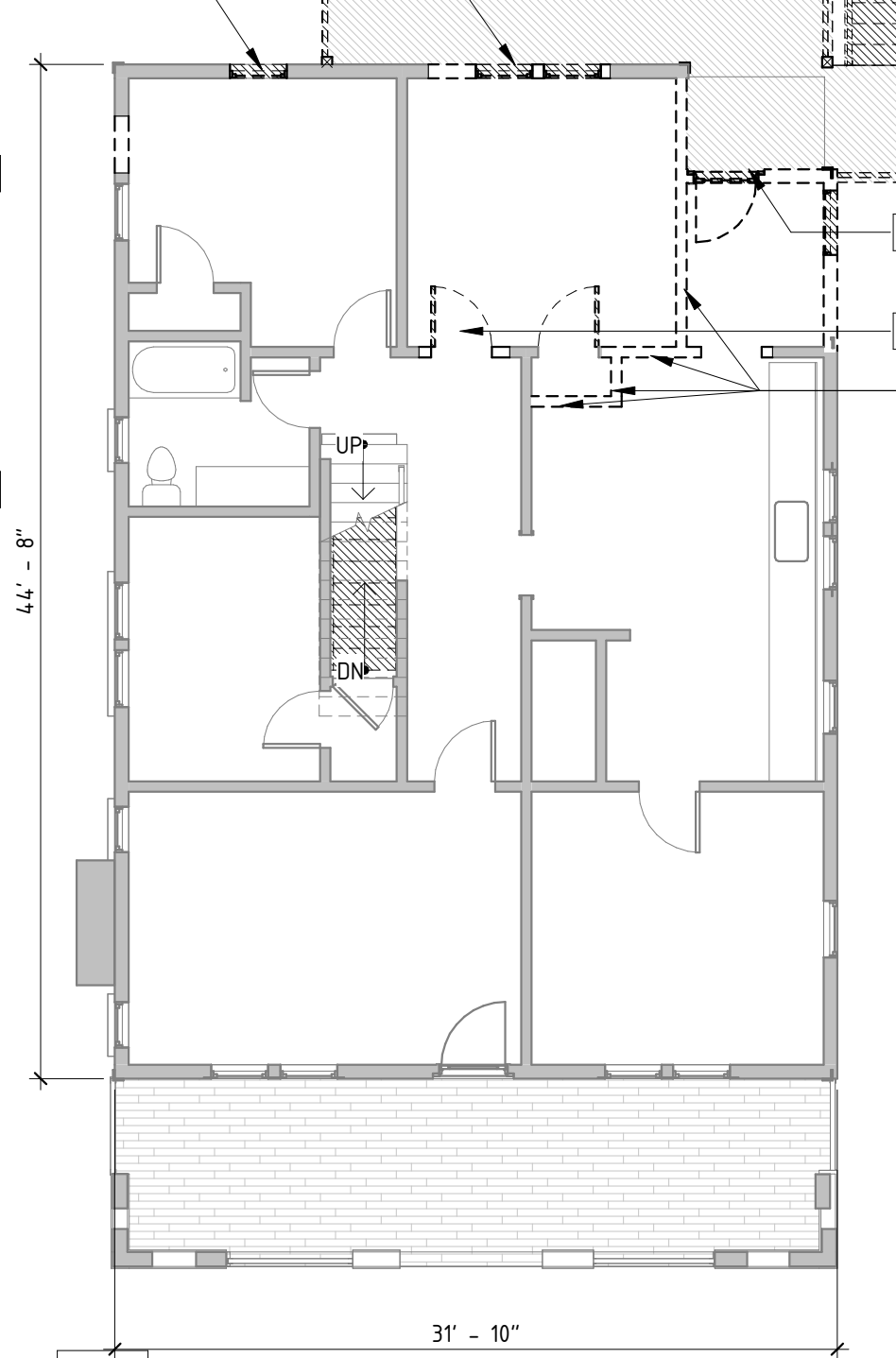
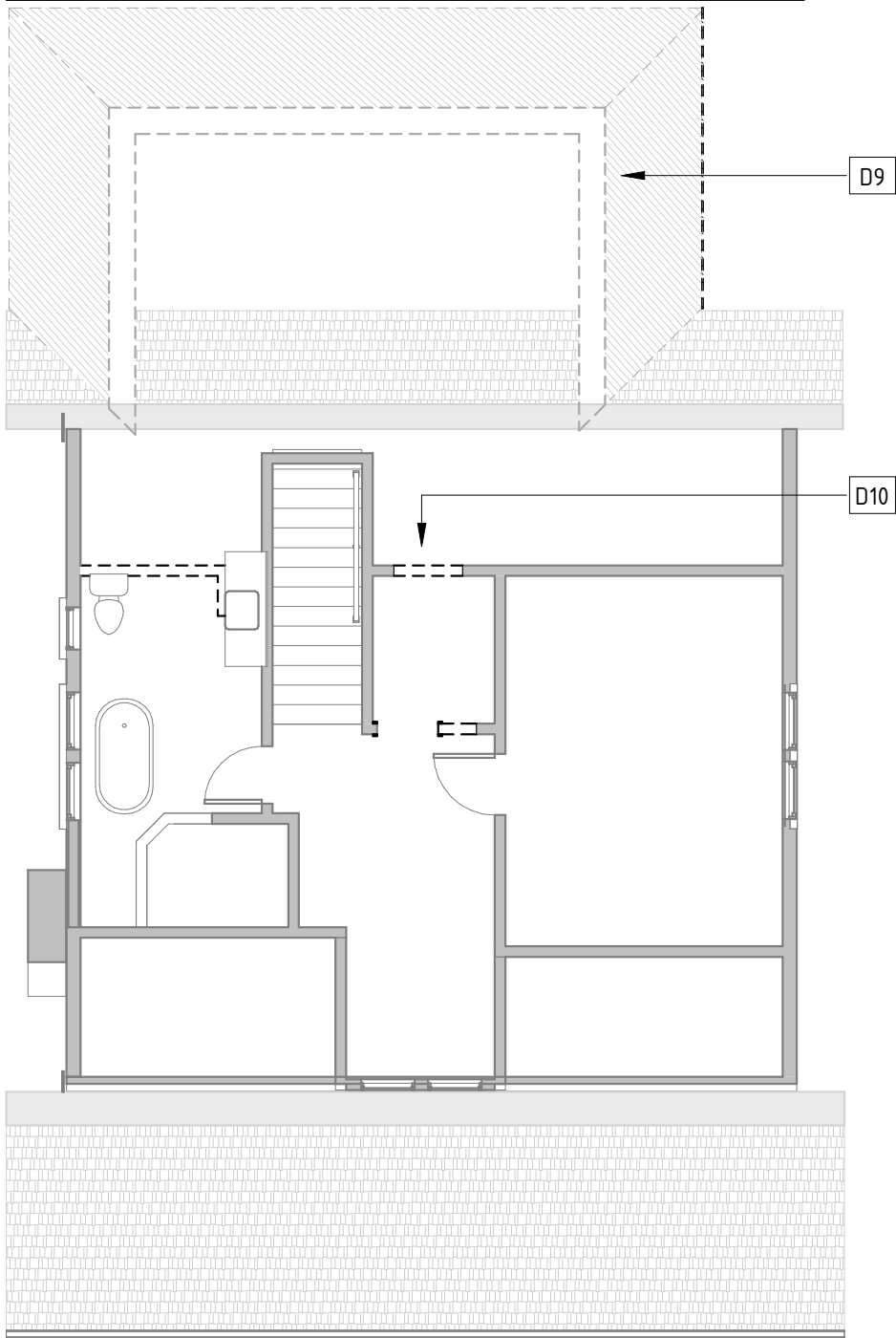
2 E. ELEVATION - EXISTING  
SK AB2 1/8" = 1'-0"



1 N. ELEVATION - EXISTING  
SK AB2 1/8" = 1'-0"



DEMOLITION KEYNOTES	
NO.	DESCRIPTION
D1	REMOVE APPROX. 2" OF GRADE
D2	REMOVE DECK, STAIR AND RAILING
D3	REMOVE NON ORIGINAL FIXED WINDOWS
D4	REMOVE WALL
D5	REMOVE EXISTING DECK, COLUMNS, STAIR
D6	REMOVE WINDOWS
D7	REMOVE WALL & DOOR
D8	REMOVE DOOR TO ENLARGE OPENING
D9	REMOVE MAIN LEVEL ROOF
D10	REMOVE NON ORIGINAL ADDITION INCL. WALLS, WINDOWS, DOORS, ROOF, ETC.
D11	REMOVE SLAB
D12	REMOVE MASONRY PIERS- (REPLACE WITH NEW FOUNDATION WALL)
D13	REMOVE LANDSCAPE WALL



2

SK D1

SECOND FLOOR DEMOLITION PLAN

1/8" = 1'-0"

1

SK D1

MAIN LEVEL DEMOLITION PLAN

1/8" = 1'-0"

3

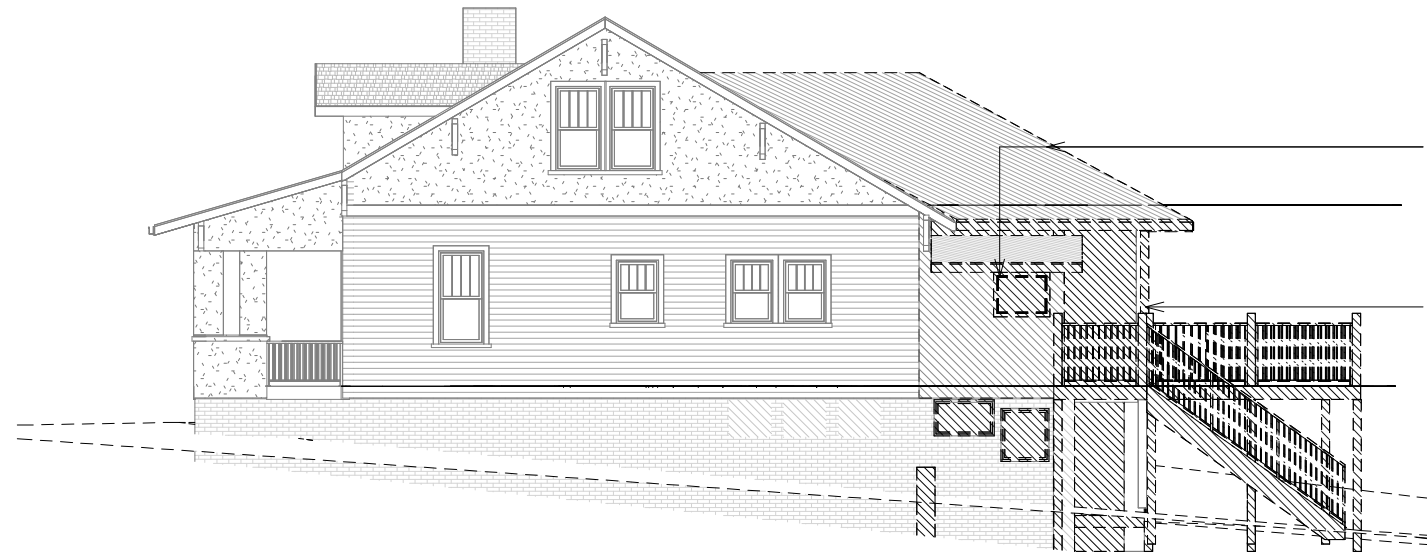
SK D1

BASEMENT DEMOLITION PLAN

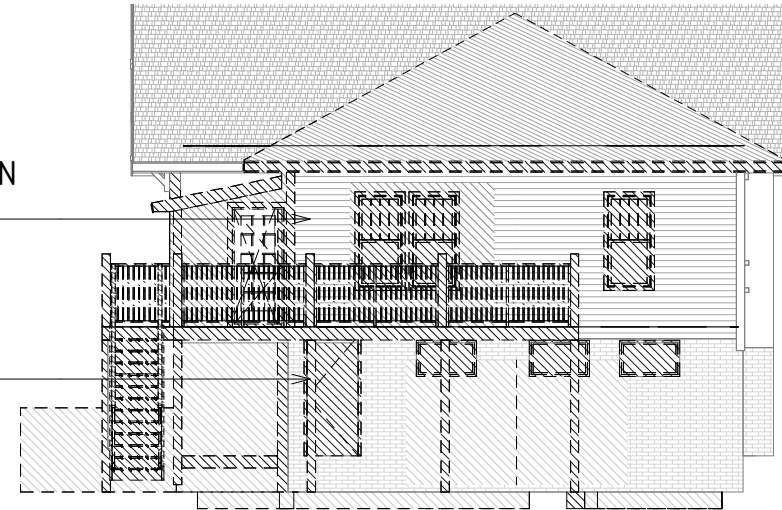
1/8" = 1'-0"



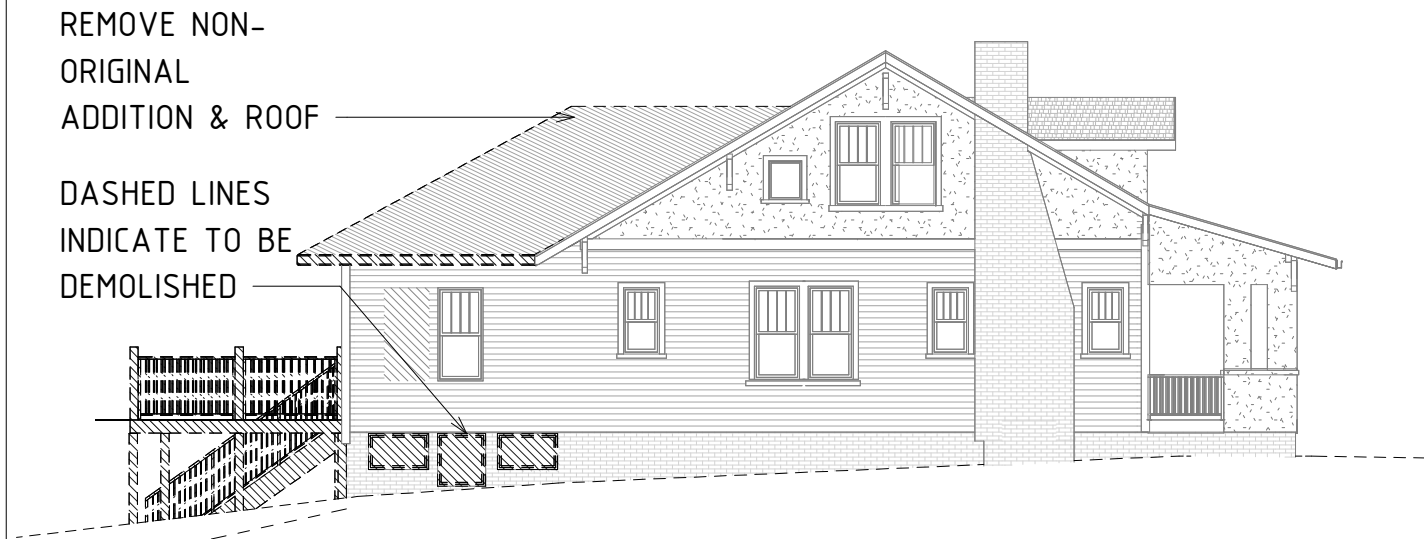
807 W. South Street  
DEMOLITION ELEVATIONS-



4 W. ELEVATION- DEMOLITION  
SK-D2 3/32" = 1'-0"



3 S. ELEVATION - DEMOLITION  
SK-D2 3/32" = 1'-0"



1 E. ELEVATION - DEMOLITION  
SK-D2 3/32" = 1'-0"



2 N. ELEVATION - DEMOLITION  
SK-D2 3/32" = 1'-0"

REMOVE  
DECK AND  
STAIRS