



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

Replace windows and restore storefronts; alter siding and concrete slab; install new scuppers and downspouts; install mailbox, install lighting fixtures; install mechanical equipment; install metal awnings; install address numbers

529 S Blount St

Address

Prince Hall

Historic District

Historic Property

COA-0150-2025

Certificate Number

11/4/2025

Date of Issue

5/4/2026

Expiration Date

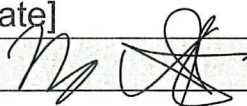
This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Collette K

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Type or print the following:			
Applicant name: Ben Steel			
Mailing address: PO Box 25967			
City: Raleigh		State: NC	Zip code: 27611
Date: May 1, 2025		Daytime phone #: [Private]	
Email address: [Private]			
Applicant signature: 			
Minor work (staff review) – one copy Major work (COA committee review) – ten copies Additions > 25% of building sq. footage New buildings Demolition of building or structure All other Post approval re-review of conditions of approval		Office Use Only Transaction #: _____ File #: COA-0150-2025 Fee: _____ Amount paid: _____ Received date: _____ Received by: _____ _____	
Property street address: 525-529 S Blount Street, Raleigh, NC 27601			
Historic district: Prince-Hall			
Historic property/Landmark name (if applicable): Acme			
Owner name: Acme Steel, LLC			
Owner mailing address: [Private]			

For applications that require review by the COA Committee (major work), provide addressed and stamped envelopes for owners for all properties with 100 feet on all sides of the property, as well as the property owner.

Property Owner Name & Address	Property Owner Name & Address

I understand that all major work applications that require review by the Raleigh Historic Development Commission's COA Committee must be submitted by 4 p.m. on the date of the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Will you be applying for rehabilitation tax credits for this project? ☒ Yes No Did you consult with staff prior to filing the application? Yes No	Office Use Only Type of work: <u>48, 49, 50, 68, 84, 85</u>
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Design Guidelines: please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief description of work (attach additional sheets as needed).

Minor Work Approval (office use only) Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until <u>05/04/2026</u> Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval. Signature (City of Raleigh) <u>Collette K</u> Date <u>11/04/2025</u>



Section	Topic	Description
3.2/3.6	Exterior Masonry Walls	CMU block structure is currently in poor condition, particularly on the second level. Repairs to masonry will be needed to close the wall assembly and reinforce the existing building elements. Existing block will be repointed. Any new portions of block will match the existing block dimensions and be painted to match the current building color. Existing block will be cleaned using the gentlest means possible. New portions of mortar will be matched as closely as possible to the existing portions.
3.3	Mailbox – Arch. Metals	New mailboxes will be placed beside main entry doors to tenant spaces as needed. Mailbox spec is the Mail Boss 7412 High Security Locking mailbox in black.
3.5	Roofs	Roof material will be replaced with new TPO and poly-iso insulation. Existing roof deck will be repaired as needed. Roof form will remain unchanged.
3.8	Entrance – Covered Inset	Non-original brick pavers covering the floor of the inset will be removed and a new broom-finished concrete slab will be poured to meet the existing heights of the interior floors. Non-original storefront addition under the covered inset facing Blount St will be rebuilt to help reinforce the second floor structure. TruExterior Nickel Gap siding will be installed vertically and painted to match existing walls. Non-original storefront addition under the covered inset facing Lenoir St will be removed to reuse former historic angled opening that is currently inside the building. A new storefront will be installed in the existing opening here.
3.9/3.7	Storefronts	New 2x4.5 black aluminum storefronts will be installed in former garage door openings as shown in the building elevations. These will be fabricated by Glass Depots.



3.7	Window and Glass Replacement	Replacement of all non-original double-hung windows on the second floor with new custom casement windows modeled after historic images of the building (Winco 3250 Steel Replica line) with simulated divided lites. An existing non-original window on the first floor of the south façade will be replaced with a window from the same line. Undivided windows on the first floor will be custom fabricated by glass depot in the same manner as the storefronts. Existing steel window on the east façade of the one-story addition will get new insulated, tempered glass in the existing frame.
3.7	Exterior Door Replacements	Exterior doors will be replaced with black aluminum full-lite doors fabricated by glass depot to match new storefronts. Profile will be squared. Doors will have 2'-4' tall ladder pulls.
3.10	Utility Retrofit – Exterior Mech Units	New mechanical systems will be installed for newly demised tenant spaces. All exterior units serving these systems will be located on the roof of the two-story building.
3.3	Gutter and Downspouts	New thru-wall scuppers, conductor heads, and downspouts from DMI will be installed in existing locations in a black finish.
2.7	Exterior Lighting Fixtures	LED cans will be installed below the covered inset along with decorative pendants. Sconces will be added along pedestrian paths and beside storefronts. Exterior emergency fixtures will be Exit Light Co EL-DEC Indoor-Outdoor Emergency Wall Light in Bronze. Fixture specs have been tagged on elevation sheets, and images have been added to pages below.
3.3/3.8	Awnings	New DAC 'Standard' awnings will be installed above uncovered entrances to tenant spaces. See elevation sheet for exact locations.
2.8	Addressing numbers	Address numbers will be hand-painted on the exterior side of the glass storefronts above the doors in black or white, depending on visibility. Font will be Proxima Nova or something similar.



Exterior Lighting Selections

Fixtures above Signage Band – Montclair Light Works Angle Outdoor Gooseneck Wall Light in Black



Pendants on ceiling of covered inset – Troy Lighting Laguna Outdoor Pendant in Black





Sconces beside along pedestrian areas and window openings (L15) – Huxe Benigno Square LED Outdoor Wall Sconce in Black



Sconces beside main entries and along second floor (L16) – Huxe Fuero Downlight LED Outdoor Wall Sconce in Black, Size: Medium





Outdoor Emergency Fixtures – Exit Light Co EL-DEC Emergency Wall Light in Black



Mailbox Selection

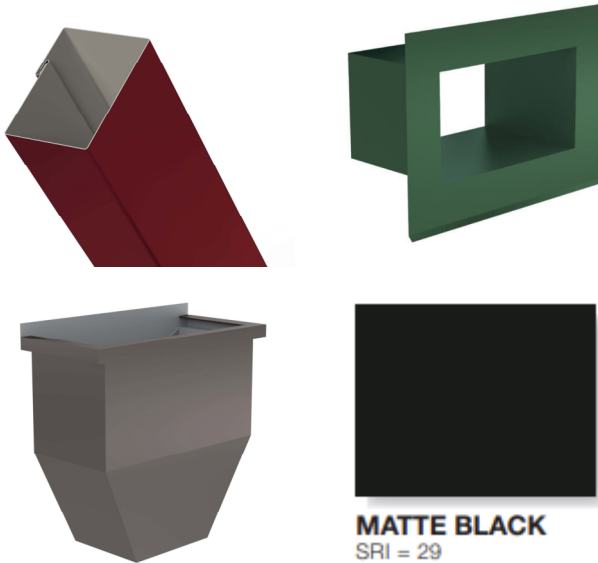
Mail Boss 7412 Wall Mounted Mailbox (shown in Black)





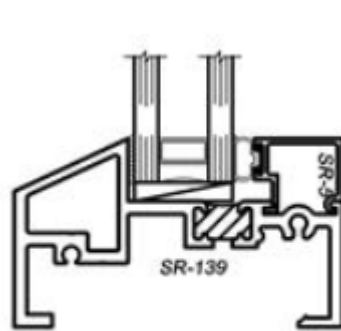
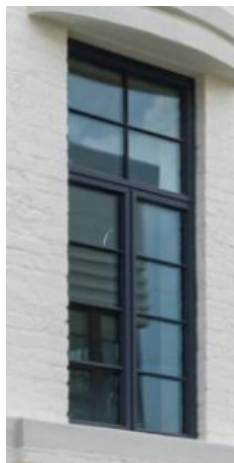
Gutters

DMI Box Downspout, Thru-Wall Scupper, and Conductor Head in Matte Black (24 ga. Galvalume)

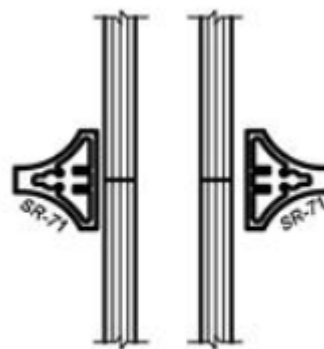


Windows

Recreation Steel Casement Windows on Second Floor and Divided Lite Fixed Window on First Floor – Winco 3250 Line using Historic Photos to match as closely as possible, simulated divided lite, SR-71 Grids on exterior and interior (section by manufacturer) (color: black anodized)



SR-139 Fixed Frame



SR-71



Storefront Windows and Undivided Windows – Custom black aluminum storefronts manufactured by Glass Depots, 2x4.5 profile (color: anodized black)



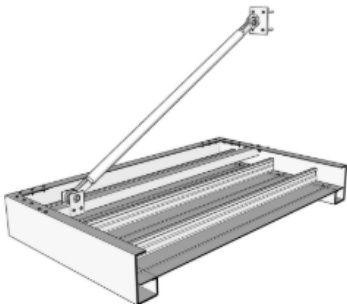
Doors

Exterior Doors to be provided by Glass Depots; Full lite Glass (color: anodized black)



Awnings

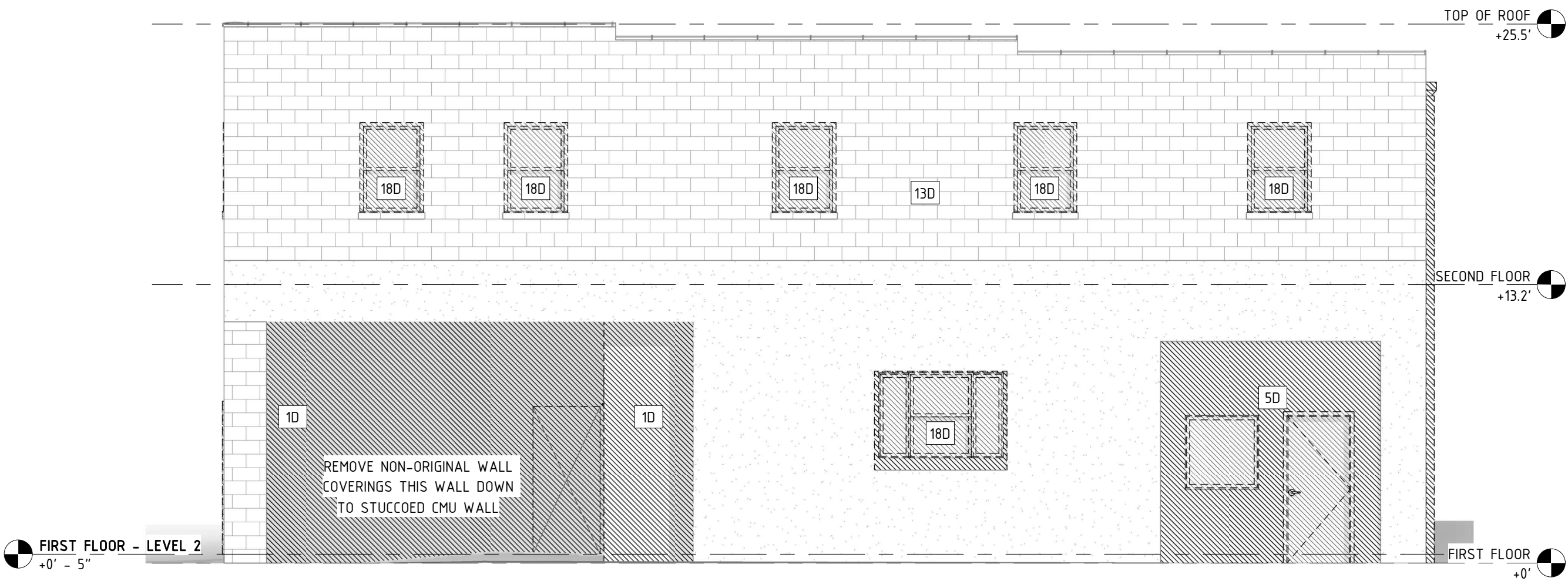
New metal awnings will be DAC 'Standard' awnings in black.



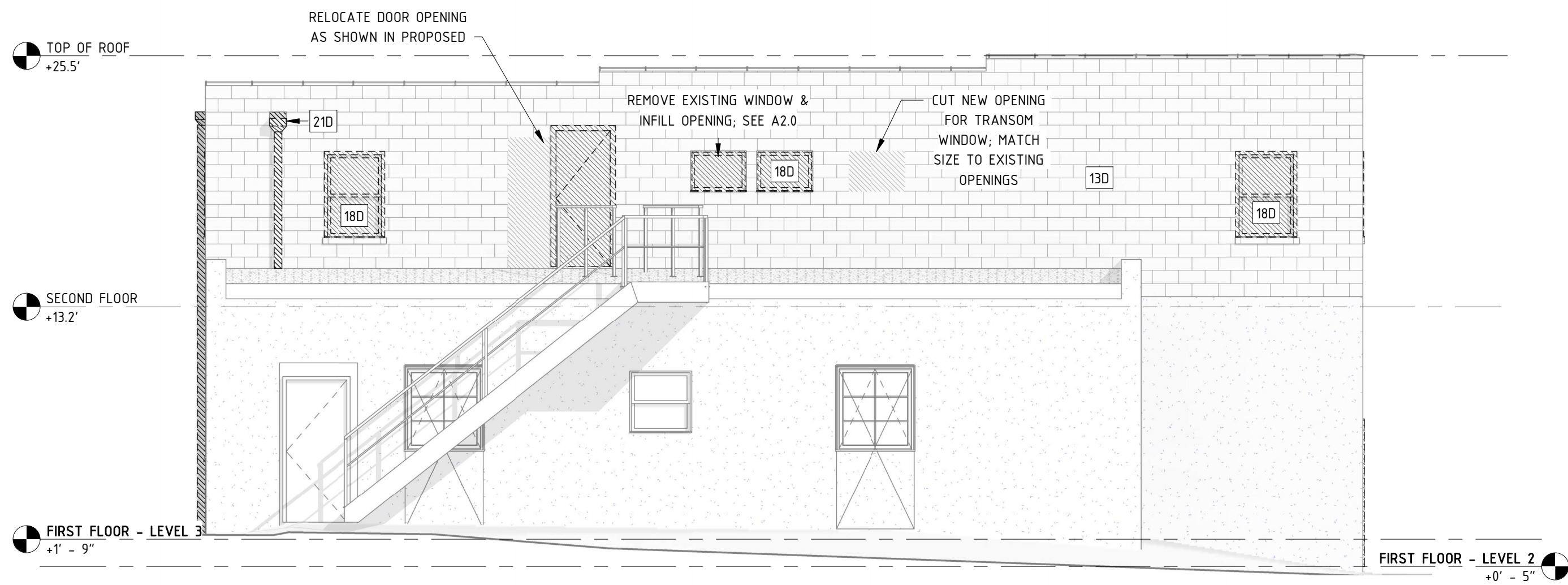
DEMOLITION KEYNOTES

NO.	DESCRIPTION
10	REMOVE EXISTING NON-ORIGINAL WALL
20	EXISTING STRUCTURE TO REMAIN; REFINISH AS NEEDED
30	REMOVE EXISTING PLUMBING FIXTURES; CAP OPENING
40	REMOVE EXISTING NON-ORIGINAL WOOD PANEL SIDING AND TRIM
50	REOPEN FORMER OPENING
70	REMOVE EXISTING DOOR; PREPARE FOR NEW DOOR IN EXISTING OPENING
100	EXISTING STEEL WINDOW TO REMAIN; REPAIR AS NEEDED
110	REMOVE EXISTING PLUMBING FIXTURES; REWOR LINES AS SHOWN IN PLUMBING DRAWINGS FOR NEW FIXTURE LOCATIONS
120	EXISTING STAIR TO REMAIN; REFINISH AS NEEDED
130	EXISTING EXPOSED CMU WALL TO REMAIN
140	REMOVE EXISTING DOOR; RELOCATE OPENING FOR NEW DOOR LOCATION AS SHOWN IN PROPOSED
150	REMOVE EXISTING NON-ORIGINAL FLOOR FINISHES THROUGHOUT
160	REMOVE EXISTING WINDOW & INFILL OPENING
170	NEW DOOR OPENING IN EXISTING WALL
180	REPLACE EXISTING WINDOW; SEE A2.0 FOR PROPOSED
190	REMOVE EXISTING WINDOW & DROP SILL FOR NEW DOOR OPENING; SEE PROPOSED
200	REMOVE EXISTING STAIR
210	REPLACE EXISTING SCUPPER, CONDUCTOR HEAD, & DOWNSPOUT

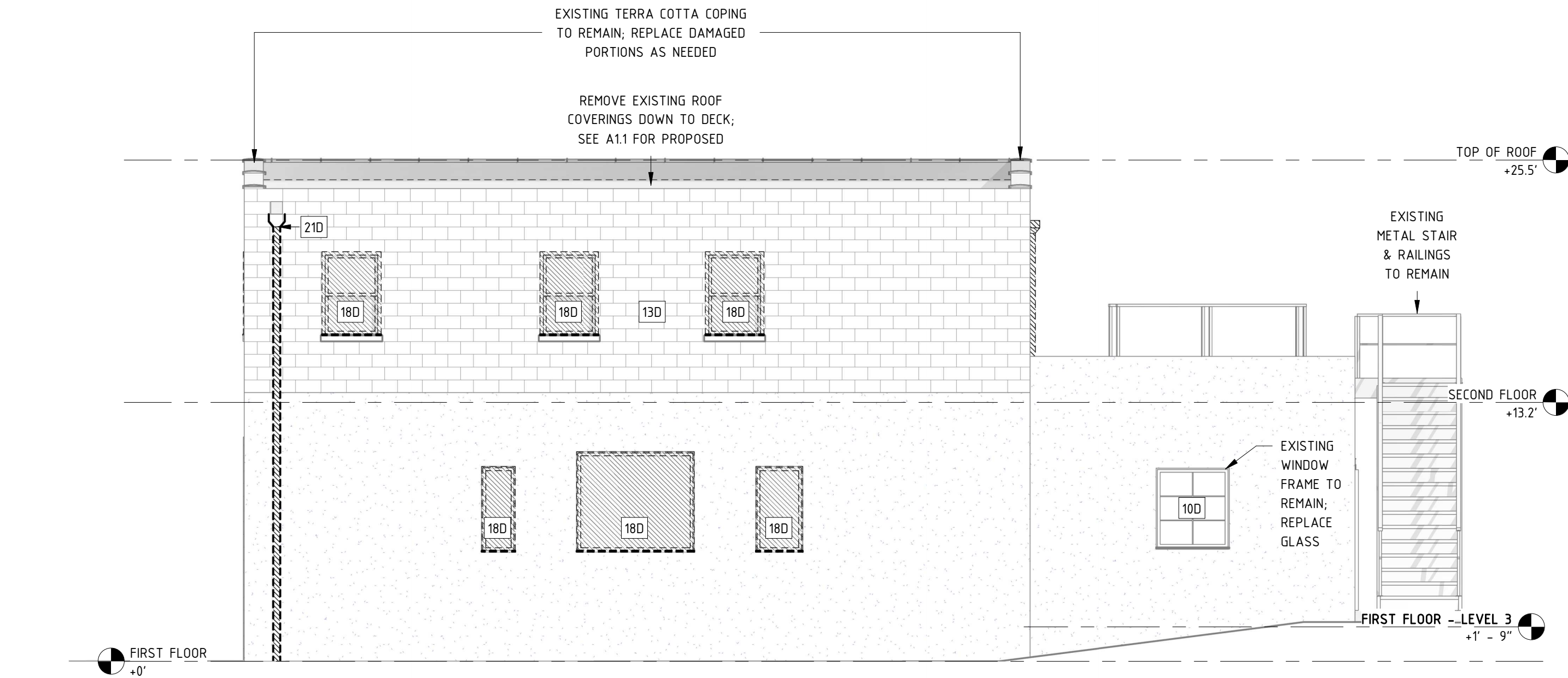
NOTE: REPLACE ALL EXISTING WINDOWS U.N.O.



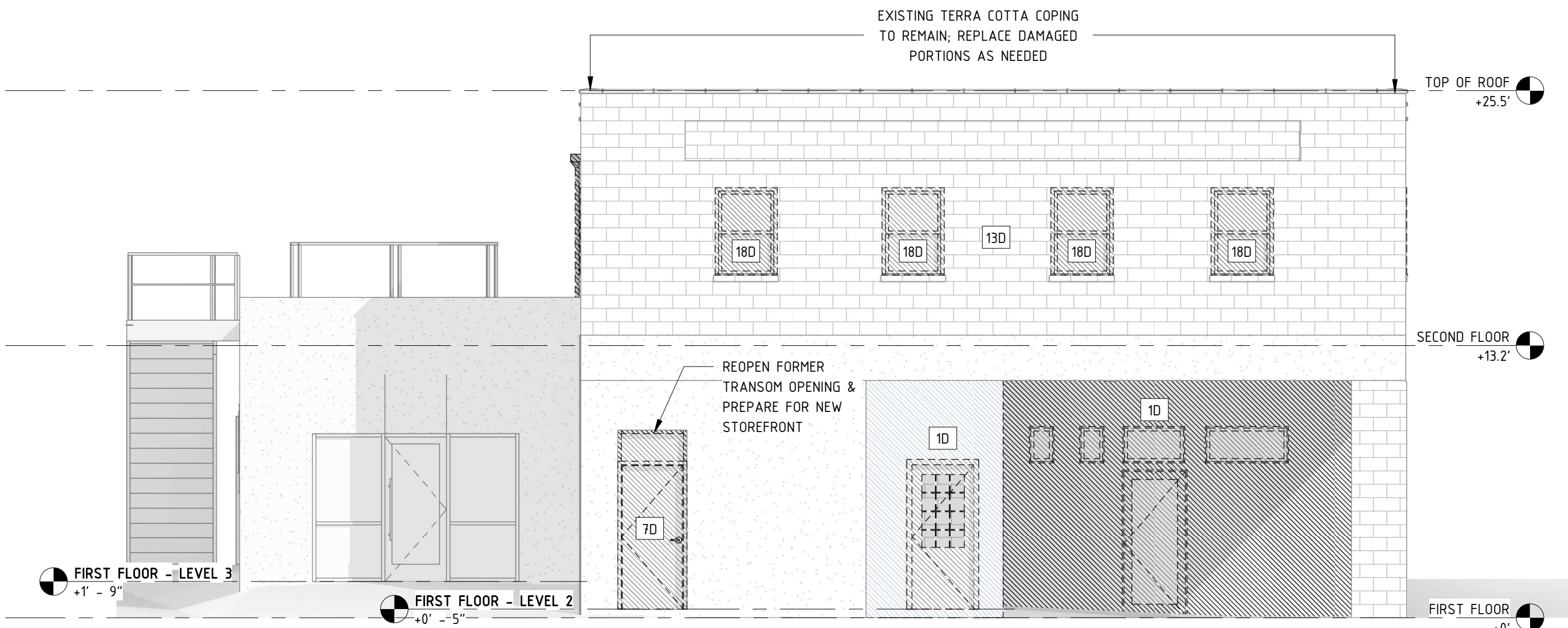
4 SOUTH ELEVATION - DEMOLITION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION - DEMOLITION
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION - DEMOLITION
SCALE: 3/16" = 1'-0"



3 WEST ELEVATION - DEMOLITION
SCALE: 3/16" = 1'-0"

NOT FOR
CONSTRUCTION
FOR REFERENCE
ONLY

PROJECT TYPE: CHANGE OF USE & LEVEL III ALTERATION

ACME

529 S. BLOUNT ST., RALEIGH, NC

DATE	10.20.2025
DR.	RP
CH.	MK
PROJ. #	23137

REVISIONS		
NO.	DESCRIPTION	DATE

DEMOLITION
ELEVATIONS

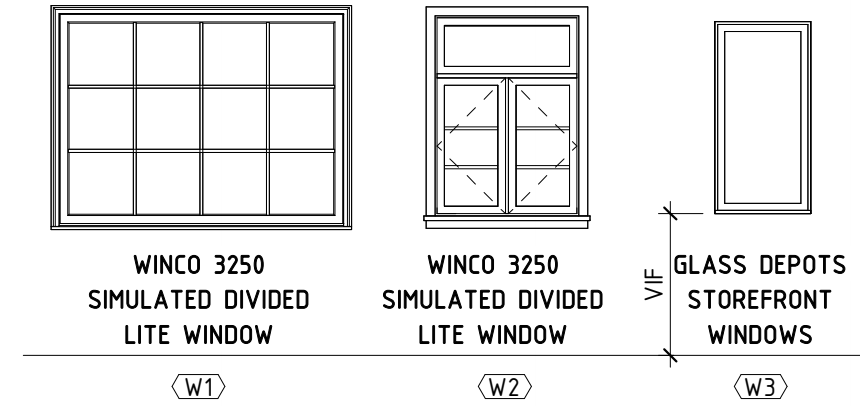
AD2.0

GENERAL EXTERIOR NOTES

1. REMOVE ALL VEGETATION, WIRING, PIPING, CLIPS, GUTTER, AND DOWNSPOUTS WITHOUT DAMAGING BRICK OR MORTAR JOINTS.
2. REMOVE ALL PLYWOOD COVERINGS OVER EXISTING WINDOW OPENINGS AS SHOWN ON THE DRAWINGS. EXISTING WINDOW TO REMAIN UNLESS NOTED OTHERWISE.
3. ALL EXTERIOR WOODWORK INCLUDING DOORS, WINDOWS, AND TRIM SHALL BE SCRAPPED OF ALL LOOSE PAINT, SANDED AND PAINTED.
4. INSTALL NEW REAR GUTTER AND HALF ROUND DOWNSPOUTS.
5. REMOVE ALL WINDOW HVAC DUCT AND OTHER EQUIPMENT.
6. REPOINTING MORTAR MUST MATCH THE COLOR, TEXTURE, STRENGTH, JOINT WIDTH AND JOINT PROFILE OF THE EXISTING HISTORIC MASONRY. SPECIFICATIONS AND REPOINTING SAMPLES SHOULD BE REVIEWED AND APPROVED BY THE STATE HISTORIC PRESERVATION OFFICE BEFORE PROCEEDING WITH THE WORK.
7. CLEAN ALL EXITING BRICK USING THE GENTLEST MEANS POSSIBLE WITHOUT DAMAGING THE SURFACE OF THE MASONRY. THIS WORK MUST BE ACCOMPLISHED IN ACCORDANCE WITH THE GUIDANCE PROVIDED IN PRESERVATION BRIEF 1. ASSESSING CLEANING AND WATER-REPELLENT TREATMENTS FOR HISTORIC MASONRY BUILDINGS.

EXTERIOR LIGHTING LEGEND

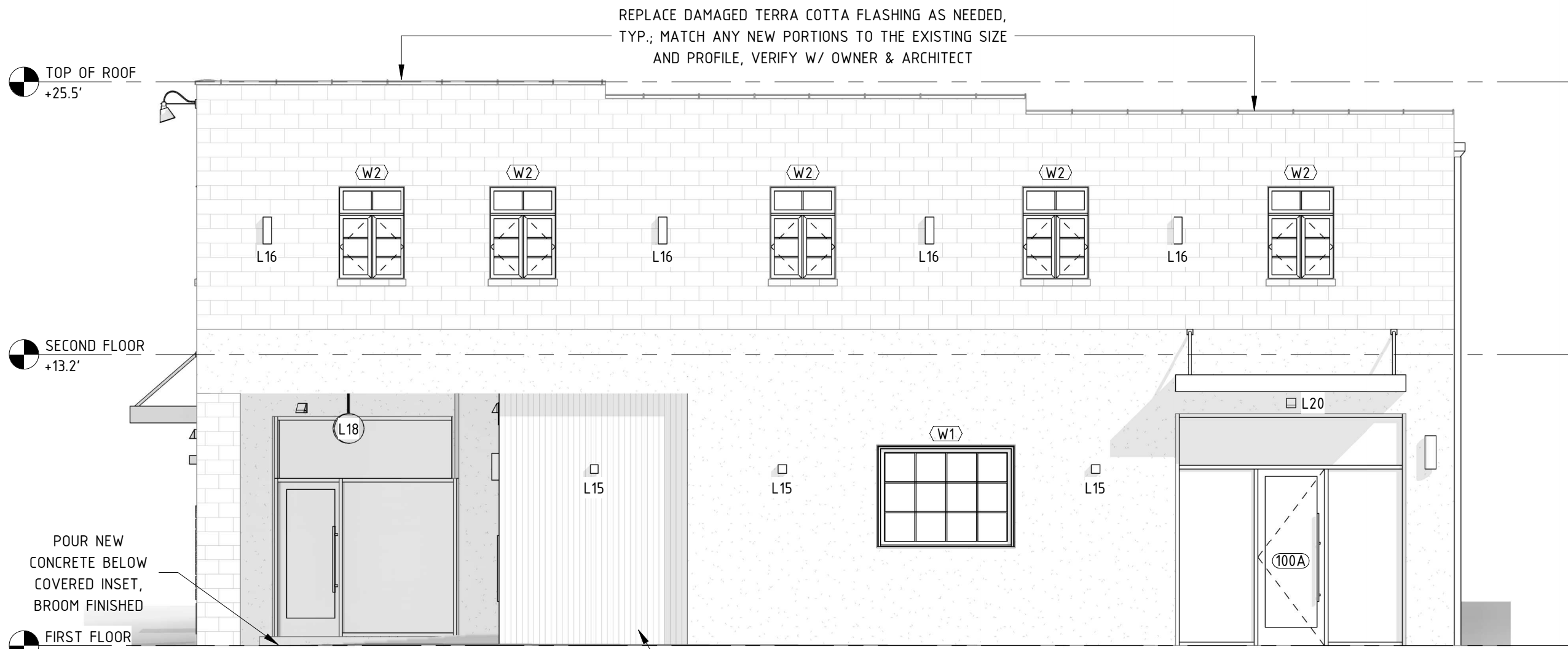
- L14 EXTERIOR GOOSENECK SCONCES ABOVE SIGNAGE
SPEC: MONTCLAIR LIGHT WORKS ANGLE OUTDOOR
GOOSENECK WALL LIGHT IN BLACK
- L15 5" OUTDOOR WALL SCONCE
SPEC: HUXE BENIGNO SQUARE LED OUTDOOR WALL SCONCE IN BLACK
- L16 14.5" OUTDOOR WALL SCONCE
SPEC: HUXE FUERO DOWNLIGHT LED OUTDOOR WALL SCONCE IN BLACK
- L18 EXTERIOR PENDANT
SPEC: TROY LIGHTING LAGUNA OUTDOOR PENDANT, 16" DIAMETER
- L19 EXTERIOR RECESSED CAN LIGHT
- L20 EXTERIOR EMERGENCY LIGHT FIXTURE
SPEC: EXIT LIGHT CO EL-DEC LIGHT IN BLACK



NOTE: APPLY MOCKUPS OF EACH PAINT COLOR AND FINISH INDICATED TO VERIFY PRELIMINARY SELECTIONS MADE AND TO DEMONSTRATE AESTHETIC EFFECTS AND SET QUALITY STANDARDS FOR MATERIALS AND EXECUTION.

WINDOW LEGEND

SCALE: 1/4" = 1'-0"



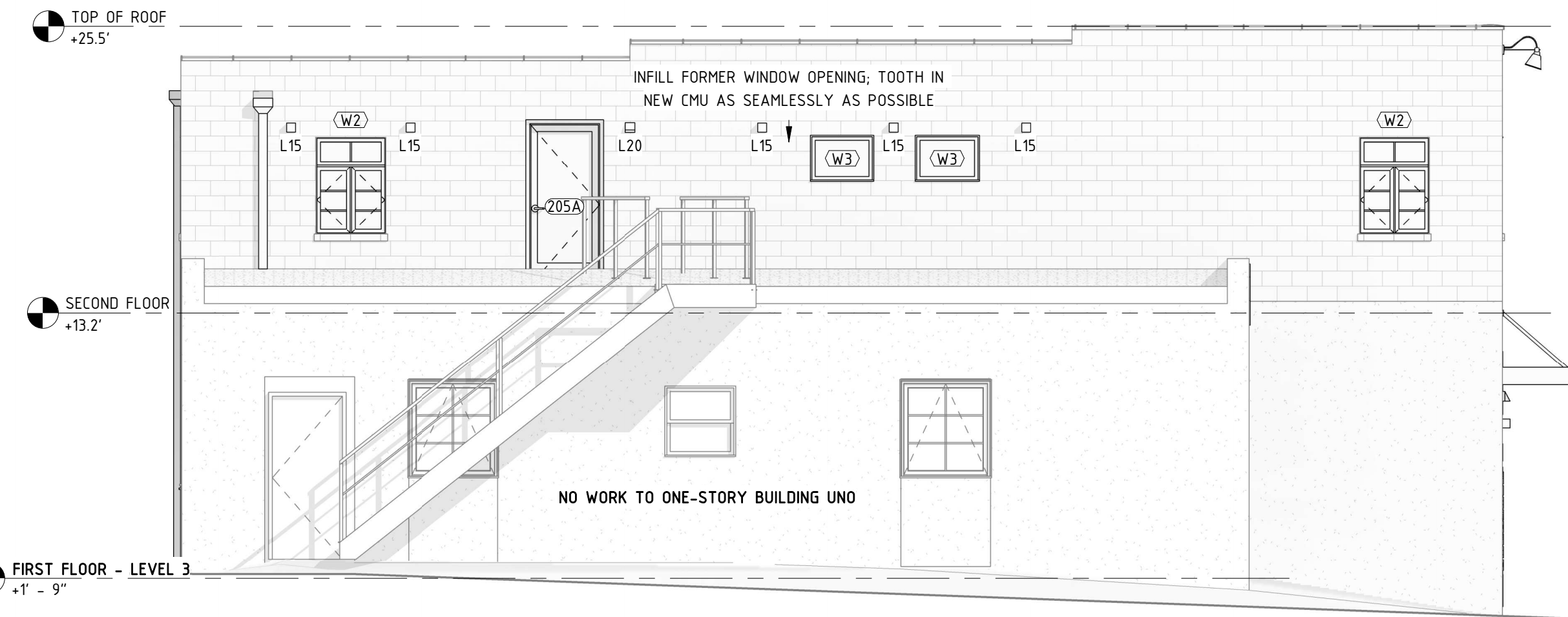
BUILDING ELEVATION - SOUTH

SCALE: 3/16" = 1'-0"

REPLACE DAMAGED TERRA COTTA FLASHING AS NEEDED, TYP., MATCH ANY NEW PORTIONS TO THE EXISTING SIZE AND PROFILE, VERIFY W/ OWNER & ARCHITECT

POUR NEW CONCRETE BELOW COVERED INSET, BROOM FINISHED

NEW TRUEXTERIOR POLYASH SIDING, 4" NICKEL GAP PROFILE, PAINTED TO MATCH EXISTING WALLS

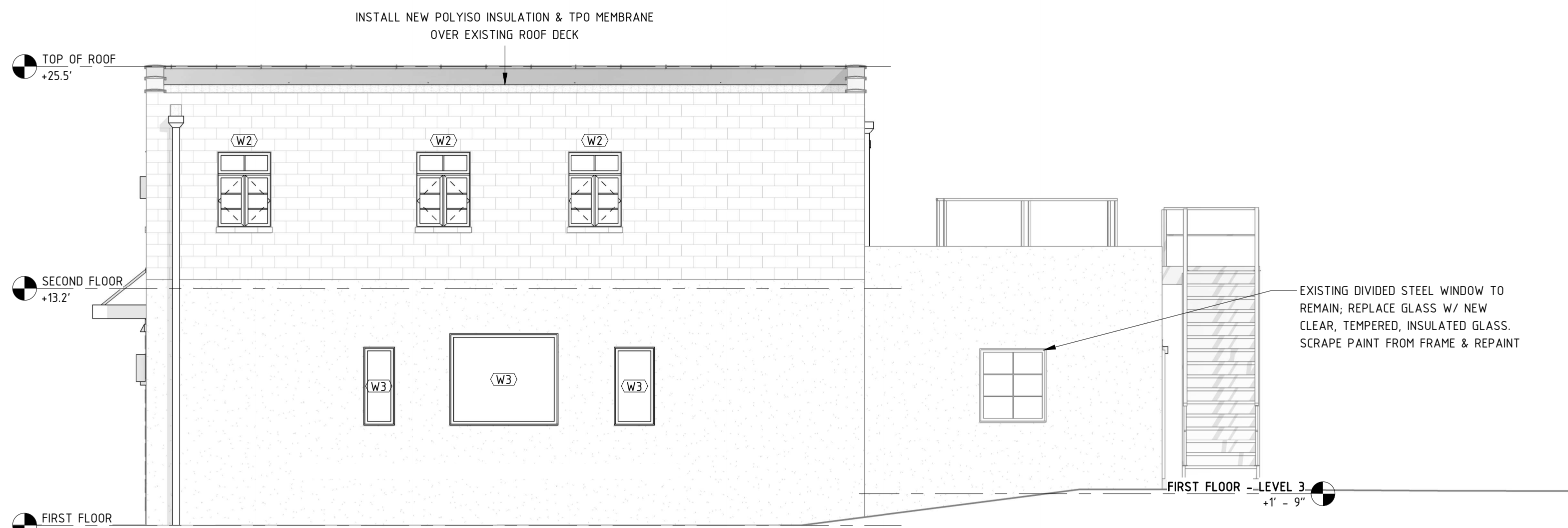


BUILDING ELEVATION - NORTH

SCALE: 3/16" = 1'-0"

INFILL FORMER WINDOW OPENING, TOOTH IN NEW CMU AS SEAMLESSLY AS POSSIBLE

NO WORK TO ONE-STORY BUILDING UNO



BUILDING ELEVATION - EAST

SCALE: 3/16" = 1'-0"

INSTALL NEW POLYISO INSULATION & TPO MEMBRANE OVER EXISTING ROOF DECK

EXISTING DIVIDED STEEL WINDOW TO REMAIN; REPLACE GLASS W/ NEW CLEAR, TEMPERED, INSULATED GLASS. SCRAPE PAINT FROM FRAME & REPAINT

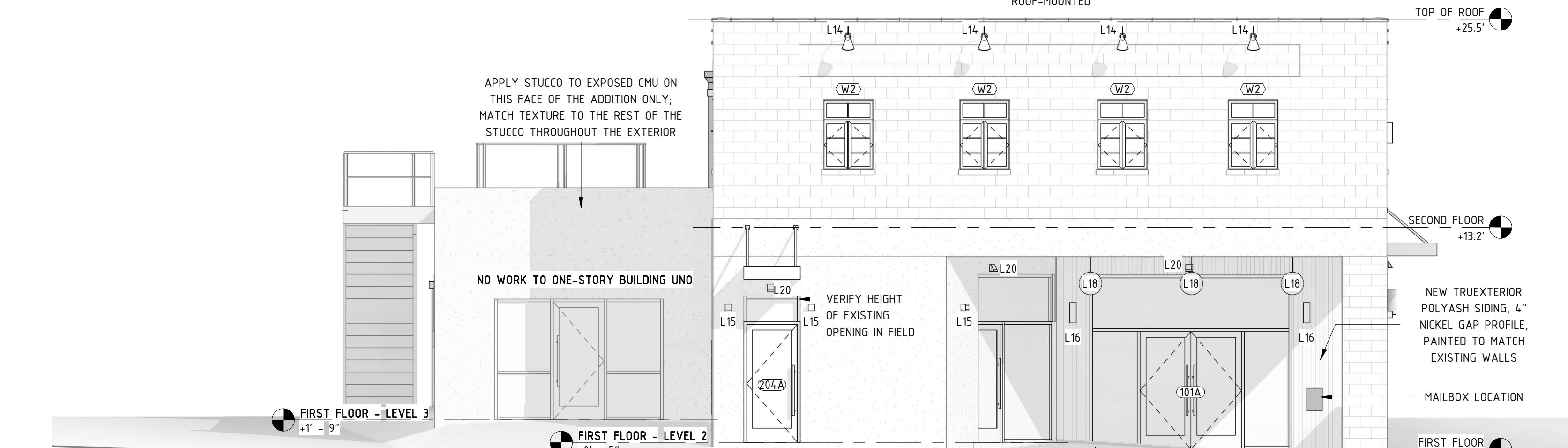
REPAIR DAMAGED AREAS OF STUCCO & APPLY A SKIM COAT TO EVEN OUT FINISH; TOP EDGE OF STUCCO SHOULD BE ALIGNED ON ALL SIDES OF THE BUILDING UNO

APPLY MUD-IN TRIM BEAD TO TOP EDGE OF STUCCO ANYWHERE THERE IS AN UNCOVERED EDGE AND APPLY CAULK ABOVE BEAD

REPOINT & REPAIR EXISTING CMU AS NEEDED & TOUCH UP PAINT THROUGHOUT; PAINT COLOR IS TO MATCH EXISTING

CLEAN EXISTING BLOCK WALLS USING GENTLEST MEANS POSSIBLE; MATCH ANY NEW PORTIONS OF MORTAR TO EXISTING

SEE STRUCTURAL SHEETS FOR SCOPE OF STRUCTURAL REPAIRS; REPLACE BLOCK AS NEEDED, MATCH EXISTING DIMENSIONS FOR ANY NEW PORTIONS



BUILDING ELEVATION - WEST

SCALE: 3/16" = 1'-0"

APPLY STUCCO TO EXPOSED CMU ON THIS FACE OF THE ADDITION ONLY; MATCH TEXTURE TO THE REST OF THE STUCCO THROUGHOUT THE EXTERIOR

NO WORK TO ONE-STORY BUILDING UNO

VERIFY HEIGHT OF EXISTING OPENING IN FIELD

ALL EXTERIOR MECH EQUIPMENT TO BE ROOF-MOUNTED

POUR NEW CONCRETE BELOW COVERED INSET, BROOM FINISHED

SQUARE PROFILE 2'-4" LADDER PULLS ON STOREFRONTS, TYP.

NEW TRUEXTERIOR POLYASH SIDING, 4" NICKEL GAP PROFILE, PAINTED TO MATCH EXISTING WALLS

MAILBOX LOCATION

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ACME

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DR.	RP
CH.	MK
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NO.	DESCRIPTION	DATE

BUILDING
ELEVATIONS

A2.0

WEST FACADE
(FACING
BLOUNT ST)



SOUTH FACADE
(FACING
LENOIR ST)



ACME

PHOTOS OF EXISTING BUILDING

EAST FACADE



NORTH FACADE



529 S BLOUNT ST

10/20/25

A1.36



